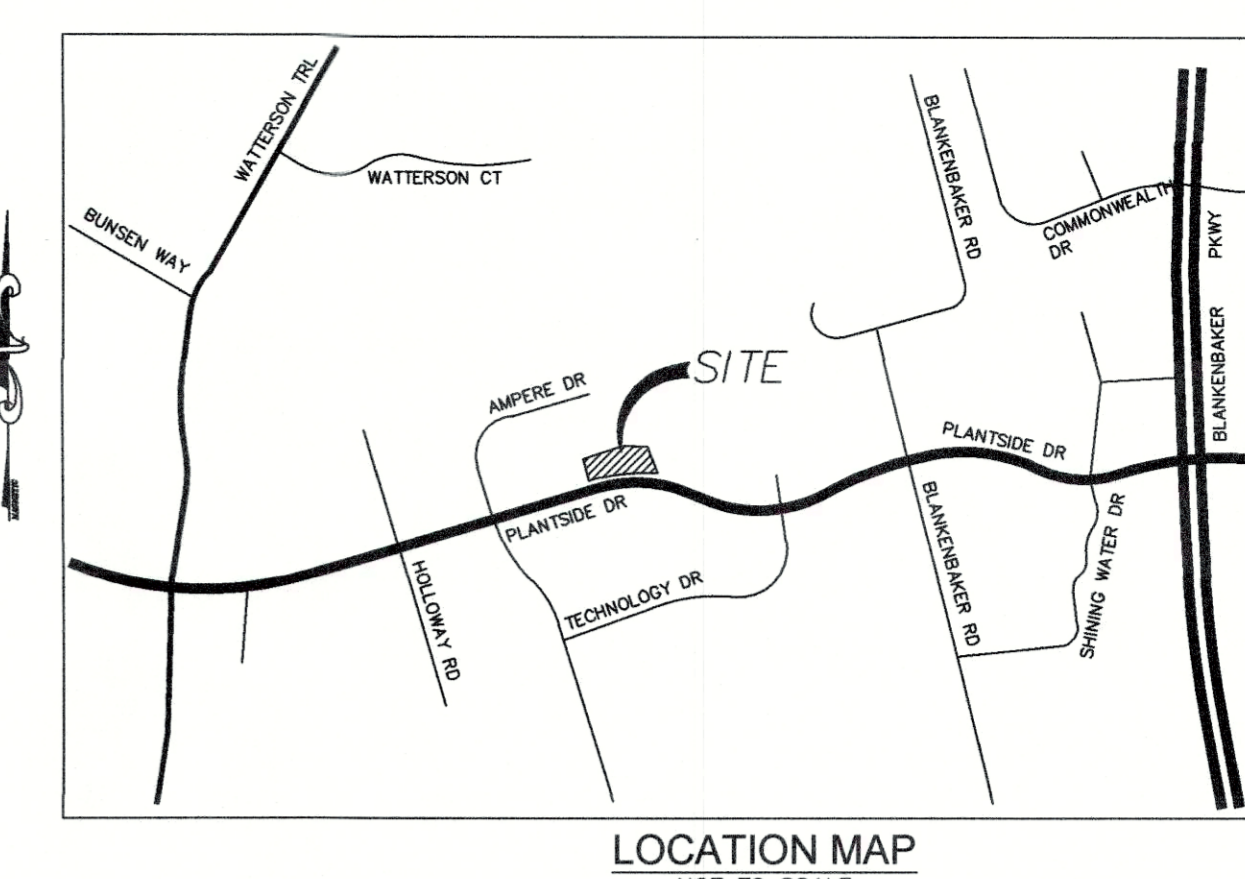


- LEGEND**
- FOUND BOUNDARY CORNER AS NOTED
  - SET 5/8" REBAR OR MILD NAIL AND COVER WITH SURVEY CAP - \*FORM THOMAS 325" UNLESS NOTED
  - EXIST. CONTOUR (5' INT.)
  - EXIST. CONTOUR (1' INT.)
  - EXIST. SANITARY SEWER
  - EXIST. WATER MAIN
  - EXIST. FIRE HYDRANT
  - EXIST. WATER METER
  - EXIST. WATER VALVE
  - EXIST. GAS LINE
  - EXIST. GAS METER
  - EXIST. GAS VALVE
  - EXIST. OVERHEAD ELECTRIC
  - EXIST. UNDERGROUND ELECTRIC
  - PROPOSED ASPHALT PAVING
  - PROPOSED CONCRETE PAVING
  - OVERLAND DRAINAGE FLOW
  - PROPOSED STORM SEWER
  - EXIST. LIGHT POLE
  - EXIST. ELECTRIC POWER POLE
  - EXIST. CITY WIRE
  - EXIST. TRANSFORMER
  - EXIST. ELECTRIC MANHOLE
  - EXIST. ELECTRIC PEDESTAL
  - EXIST. SIGNAL POLE
  - EXIST. UNDERGROUND CABLE TV
  - EXIST. CABLE TV PEDESTAL
  - EXIST. UNDERGROUND TELEPHONE
  - EXIST. OVERHEAD TELEPHONE
  - EXIST. TELEPHONE MANHOLE
  - EXIST. TELEPHONE PEDESTAL
  - EXIST. TELEPHONE POLE
  - EXIST. BENCH MARK
  - WAIVER REQUEST



**SITE DATA**

EXISTING ZONING DISTRICT:	PEC
FORM DISTRICT:	SW (SUBURBAN WORKPLACE)
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE/ WAREHOUSE
SITE AREA:	1.272 AC (53,399 SF)
PROPOSED BUILDING FOOTPRINT:	12,400 SF
GROSS BUILDING AREA:	12,400 SF
BUILDING HEIGHT:	26'
MAX. PERMITTED HEIGHT*:	50'
FAR:	0.23
MAX. FAR:	1.0
BUILDING LOT COVERAGE <50%:	23.2%

**TREE CANOPY REQUIREMENTS**

SUBJECT SITE AREA:	53,399 SF
EXISTING TREE CANOPY TO REMAIN:	0 SF (0%)
TREE CANOPY REQUIRED (CLASS B):	8,010 SF (15%)

**ILA CALCULATIONS**

PROPOSED VJA:	16,528 SF
ILA REQUIRED (7.5%):	1,240 SF (7.5%)
ILA PROVIDED:	1,266 SF (7.6%)
REQUIRED TREES:	4 TREES

**IMPERVIOUS AREA CALCULATIONS**

SITE AREA:	53,399 SF
EXISTING IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	29,668 SF
DIFFERENCE:	+55%

**PARKING CALCULATIONS**

OFFICE:	5,120 SF
WAREHOUSE EMPLOYEES:	0 EMPLOYEES
MINIMUM REQUIRED PARKING:	15 SPACES
PARKING PROVIDED:	16 SPACES

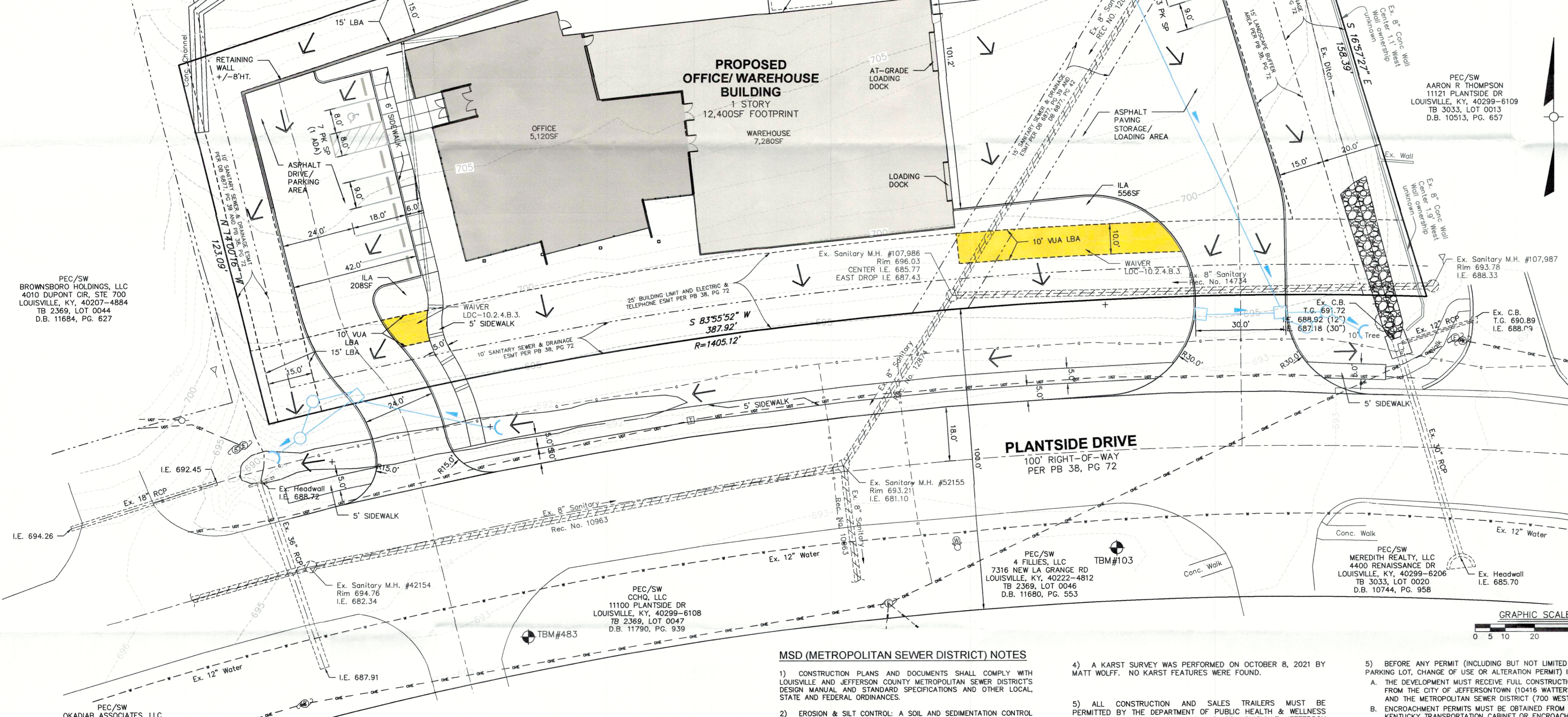
**BICYCLE PARKING**  
BICYCLE PARKING NOT REQUIRED PER 9.2.1 - \*\*OFFICE BUILDINGS BELOW 10,000SF OF GROSS FLOOR AREA ARE EXEMPT FROM BICYCLE PARKING REQUIREMENTS.

- WAIVER REQUEST**
1. WAIVER OF LDC 10.2.4.B.3. TO ALLOW THE REQUIRED VJA LBA TO OVERLAP A UTILITY EASEMENT 100%.
  2. WAIVER OF LDC 5.5.2.A.1. TO NOT PROVIDE A DOOR FACING PLANTSIDE DRIVE.

**UTILITY NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "B.U.D." (TOLL FREE PHONE NO. 1-800-382-5544) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS, SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, NATURE, AND STATUS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN ON THE PLANS OR NOT, AND SHALL EXTEND, ADJUST OR RECONSTRUCT TO THE SIZE AND LOCATION AS SHOWN ON THE ARCHITECT'S PLANS.



PEC/SW  
BROWNSBORO HOLDINGS, LLC  
4010 DUPONT CIR, STE 700  
LOUISVILLE, KY, 40207-4884  
TB 2369, LOT 0044  
D.B. 11684, PG. 627

PEC/SW  
OKADIAB ASSOCIATES, LLC  
9650 KENT ST  
ELK GROVE, CA 95624-9483  
TB 2369, LOT 0058  
D.B. 8796, PG. 450

**EPSC NOTES**

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY M.S.D.'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND M.S.D. STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDING AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDING, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCING.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER M.S.D. STANDARD DRAWING ER-92.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NOT LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LOADED GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

- EPSC PHASING**
1. INSTALL TEMP. CONSTRUCTION ENTRANCE, INLET PROTECTION & SILT FENCE.
  2. BEGIN CONSTRUCTION.
  3. REMOVE SILT FENCES AND INLET PROTECTION ONCE SITE IS STABILIZED & VEGETATION IS ESTABLISHED.

**MSD (METROPOLITAN SEWER DISTRICT) NOTES**

- 1) CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL STATE AND FEDERAL ORDINANCES.
- 2) EROSION & SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL STANDARDS SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.
- 3) THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA. FEMA MAP 21111C0064F, FEBRUARY 26, 2021.
- 4) SANITARY SEWER SERVICE WILL BE PROVIDED BY NEW PROPERTY SERVICE CONNECTION, SUBJECT TO FEES AND ANY APPLICABLE CHARGES. SEWAGE WILL BE TREATED AT THE CEDAR CREEK WATER QUALITY TREATMENT FACILITY.
- 5) DETENTION IS PROVIDED OFF SITE IN THE REGIONAL DETENTION BASIN. JEFFERSON TOWN APPROVAL AND CAPACITY SHALL BE VERIFIED TO THE REGIONAL DETENTION BASIN PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- 6) THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MGMT. PRACTICES.
- 7) JEFFERSON TOWN APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.

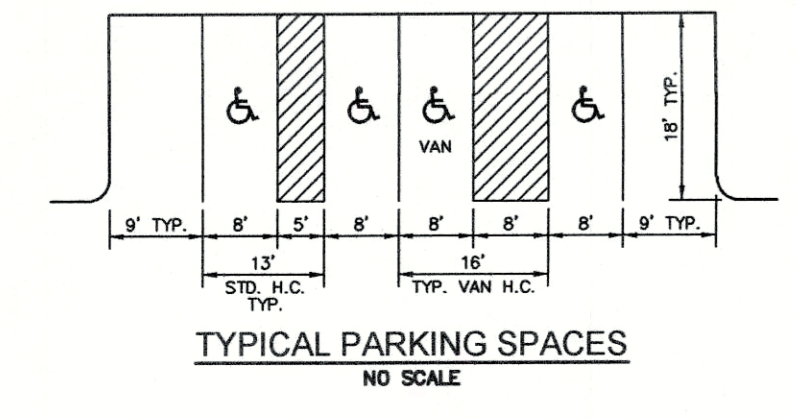
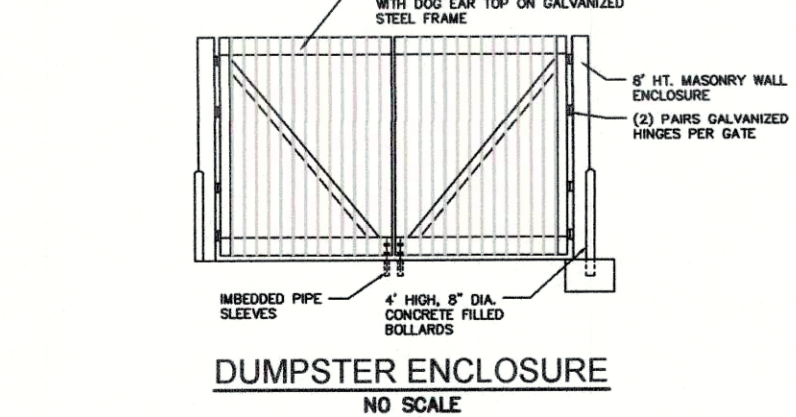
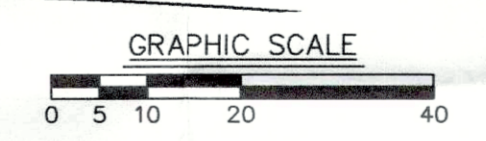
**GENERAL NOTES**

- 1) ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.D.A." REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
- 2) THE DEVELOPMENT LIES IN THE JEFFERSON TOWN FIRE DISTRICT.
- 3) ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH CHAPTER 10 OF THE LAND DEVELOPMENT CODE. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: PROpane TANKS, DUMPSTERS, HVAC UNITS, ELECTRIC TRANSFORMERS AND TELECOM BOXES.

- 4) A KARST SURVEY WAS PERFORMED ON OCTOBER 8, 2021 BY MATT WOLFF. NO KARST FEATURES WERE FOUND.
- 5) ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH & WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- 6) COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- 7) LOADING AREA TO BE SCREENED PER JEFFERSON TOWN LAND DEVELOPMENT CODE SECTION 5.5.2.B.2.

**JEFFERSON TOWN NOTES**

- 1) CATCH BASIN AT SOUTHEAST CORNER OF SITE AT PLANTSIDE DRIVE MAY REQUIRE REDESIGN TO CAPTURE STORMWATER RUNOFF. THE FINAL DESIGN OF THIS PROJECT MUST BE APPROVED BY THE JEFFERSON TOWN PUBLIC WORKS.
- 2) THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT PLAN, ALL APPLICABLE SECTIONS OF THE LAND DEVELOPMENT CODE (LDC) AND AGREED UPON BINDING ELEMENTS UNLESS AMENDED PURSUANT TO THE LAND DEVELOPMENT CODE. ANY CHANGES/ADDITIONS/ALTERATIONS OF THE PLAN SHALL BE SUBMITTED TO THE CITY OF JEFFERSON TOWN FOR REVIEW AND APPROVAL. ANY CHANGES/ADDITIONS/ALTERATIONS NOT SO REFERRED SHALL NOT BE VALID.
- 3) ALL OFF-STREET PARKING AREAS SHALL BE PERMANENTLY AND CONTINUALLY MAINTAINED IN GOOD CONDITION AND FREE FROM POTHOLES, WEEDS, DIRT, TRASH AND OTHER DEBRIS.
- 4) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.



**SABAK, WILSON & LINGO, INC**  
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS  
LOUISVILLE, KENTUCKY 40202  
608 S. THIRD STREET, LOUISVILLE, KY 40202  
(502) 584-6271

NO.	REVISION	DATE
1	AGENCY COMMENTS	9/23/21
2	WAIVER REQUEST	10/06/21

DETAILED DISTRICT DEVELOPMENT PLAN  
**BOSSE CONSTRUCTION OFFICE**  
PROJECT TITLE: 11101 PLANTSIDE DRIVE, LOUISVILLE, KY 40299, TAX BLOCK 2369, LOT 45A  
DEVELOPER: BOSSE CONSTRUCTION, INC., 2116 PLANTSIDE DRIVE, LOUISVILLE, KY 40299

RECEIVED  
OCT 08 2021  
PLANNING & DESIGN SERVICES

JOB NO. 3284  
SCALE: 1"=20'  
DATE: 08/24/21  
DRAWING NO. DDDP  
SHEET 1 OF 1