

Louisville Metro Planning Commission Public Hearing – February 15, 2018

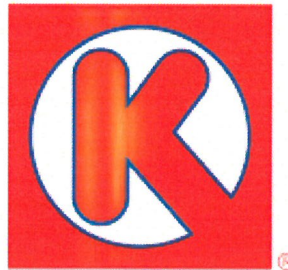
Louisville Metro Planning Commission Public Hearing – January 18, 2018 (Continued)

Land Development & Transportation Committee – December 14, 2017

Neighborhood Meetings - May 24, 2016, November 29, 2016

Docket No. 16ZONE1031

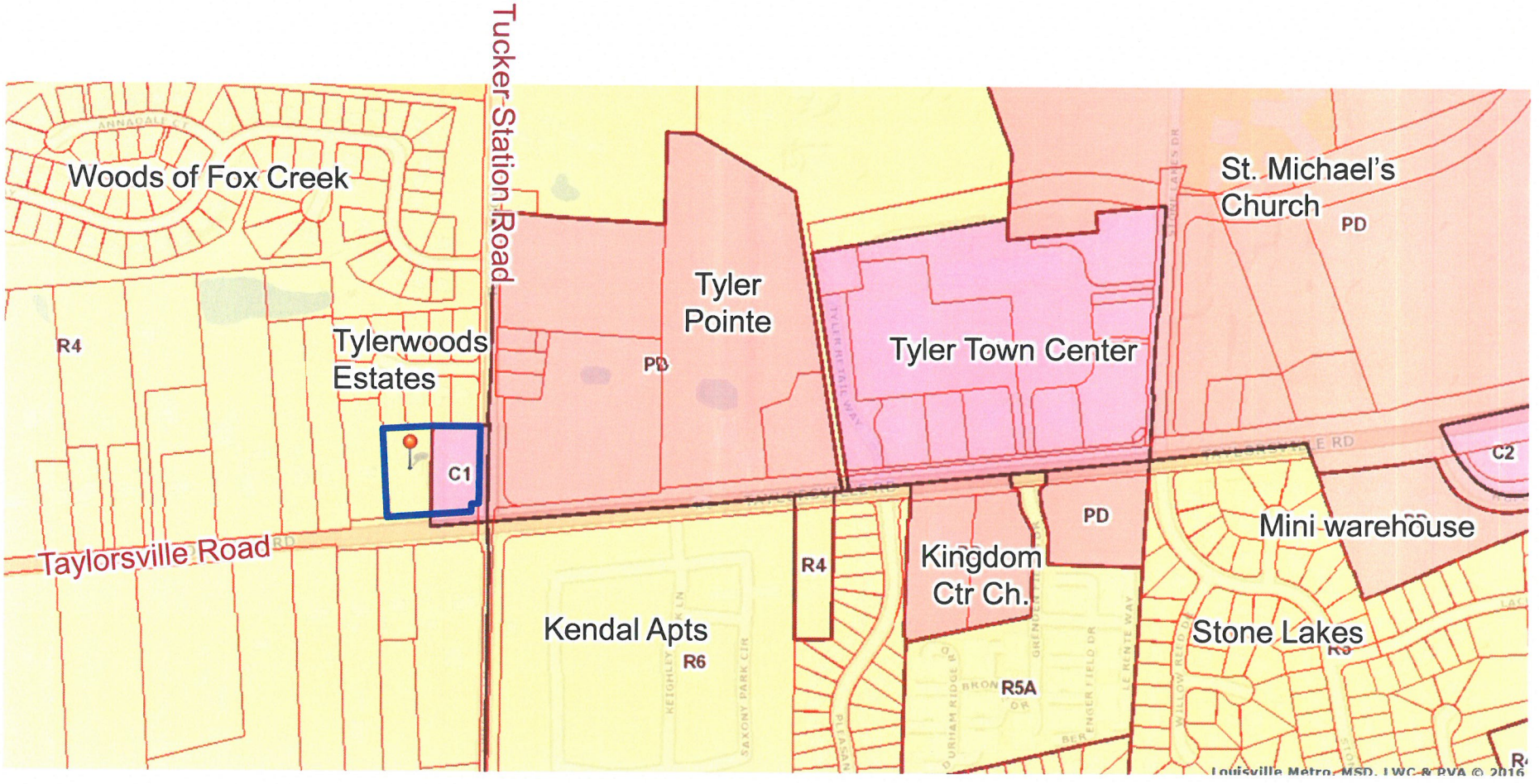
Zone change from R-4 to C-1 for an adjacent parcel in order to replace the existing C-1 zoned gas and convenience store with a new larger store on property located at 12411 and 12415 Taylorsville Road



Attorneys: Bardenwerper Talbott & Roberts, PLLC

Land Planners, Landscape Architects & Engineers: Classickle Engineering & BlueStone Engineers, PLLC

Architect: Architectural Investments







View looking north from Taylorsville Road.



Taylorville Road

View looking north from Taylorville Road.



View looking north from intersection of Taylorsville and Tucker Station Roads.



Taylorsville Road

Tucker Station Road

View looking north from intersection of Taylorsville and Tucker Station Roads.



View looking northwest from Tucker Station Road.



Taylorville Road

Tucker Station Road

View looking west from Tucker Station Road.

CIRCLE K - 12411 + 12415 TAYLORSVILLE RD



BARDENWERPER, TALBOTT & ROBERTS, PLLC

ATTORNEYS AT LAW

1000 N. HURSTBOURNE PARKWAY • BUILDING INDUSTRY ASSOCIATION OF GREATER LOUISVILLE BLDG. • SECOND FLOOR • LOUISVILLE, KENTUCKY 40223
(502) 426-6688 • (502) 425-0561 (FAX) • WWW.BARDLAW.NET

William B. Bardenwerper
Direct dial: 426-0388, ext. 125
Email: WBB@BARDLAW.NET

May 11, 2016

Dear Neighbor,

RE: Proposed change in zoning from R-4 to C-1 on 1.04 +/- acres on a total of 2.09 +/- acre site, 1.05 +/- acres of which are already zoned C-1, including a Revised Detailed District Development Plan ("RDDDP") and Detailed District Development Plan ("DDDP") for a Circle K gas and convenience store, located at the northwest quadrant of the Taylorsville and Tucker Station Roads intersection at 12411 & 12415 Taylorsville Rd.

We are writing to invite you to a meeting we have scheduled to present neighbors with our rezoning and revised detailed district development plan to allow a new Circle K gas and convenience store at this site. The new Circle K will be a larger facility which will better assist Circle K in providing customers' needs and wants in this high growth area. This 50% larger site will assure a more successful business.


Accordingly, we will file a plan for pre-application review on Monday, May 16th with the Division of Planning and Design Services (DPDS) that we would like to show and explain to neighbors so that we might hear what thoughts, issues and perhaps even concerns you may have.

Once the pre-application plan is filed, a case number and case manager will be assigned, and we will let you know what and who that is at the meeting. In that regard, a meeting will be held on **Wednesday, May 25th at 7:00 p.m.** at the **St. Michael School, in the cafeteria (a/k/a Griner Center)** located at 3703 Stone Lakes Drive.

If you cannot attend the meeting but have questions or concerns, please call either of us at 426-6688.

We look forward to seeing you.

Sincerely,


William B. Bardenwerper
Nicholas R. Pregliasco

Cc: Hon. Kevin Kramer, Councilman, District 11
Hon. Stuart Benson, Councilman, District 10
Tucker Station Neighborhood Association, c/o Steve Porter and David Kaelin
Gregg Guy, Real Estate Manager, Circle K
Brian Davis, supervisor with Division of Planning & Design Services
Anthony Sickles, land planners with Classickle Engineering

BARDENWERPER, TALBOTT & ROBERTS, PLLC

ATTORNEYS AT LAW

1000 N. HURSTBOURNE PARKWAY • BUILDING INDUSTRY ASSOCIATION OF GREATER LOUISVILLE BLDG. • SECOND FLOOR • LOUISVILLE, KENTUCKY 40223
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Nicholas R. Pregliasco
Direct dial: 426-0388, ext. 139
Email: NRP@BARDLAW.NET

November 14, 2016

Dear Neighbor,

RE: Follow-up meeting regarding the proposed change in zoning from R-4 to C-1 on 1.04 +/- acres on a total of 2.09 +/- acre site, 1.05 +/- acres of which are already zoned C-1, including a Revised Detailed District Development Plan ("RDDDP") and Detailed District Development Plan ("DDDP") for a Circle K gas and convenience store, located at the northwest quadrant of the Taylorsville and Tucker Station Roads intersection at 12411 & 12415 Taylorsville Rd. (Case No. 16ZONE1031, Julia Williams – Case Manager)


We are writing to invite you to a follow-up meeting to the one we held on May 25, 2016 to again present neighbors with our rezoning and revised detailed district development plan to allow a new Circle K gas and convenience store at this site. The new Circle K will be a larger facility which will better assist Circle K in providing customers' needs and wants in this high growth area. This 50% larger site will assure a more successful business.

Accordingly, this follow-up meeting will be held on **Tuesday, November 29th at 7:00 p.m.** at the **St. Michael School, in the cafeteria (a/k/a Griner Center)** located at **3703 Stone Lakes Drive.**

If you cannot attend the meeting but have questions or concerns, please call either of me at 426-6688.

We look forward to seeing you.

Sincerely,


Nicholas R. Pregliasco

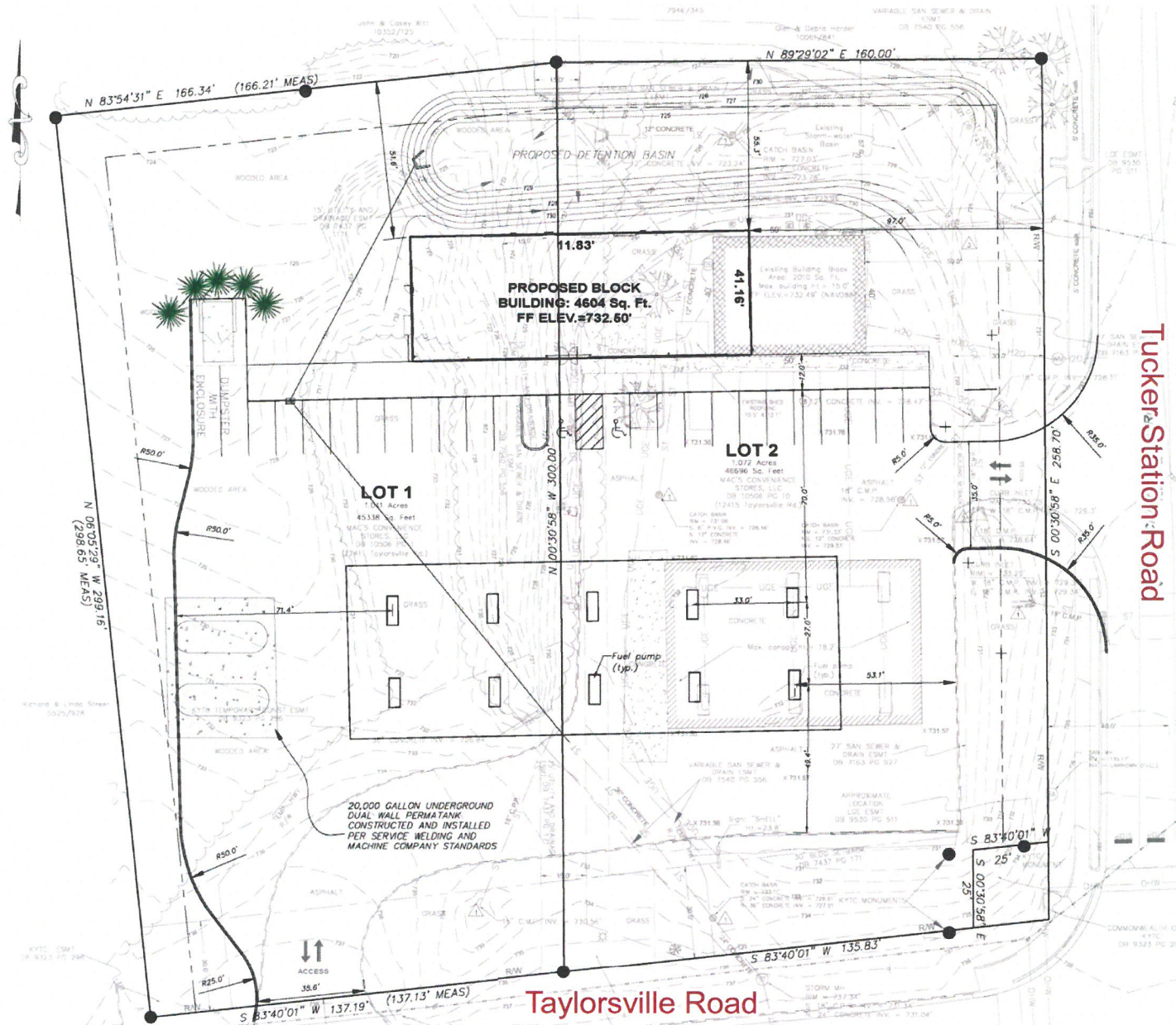
Cc: Hon. Kevin Kramer, Councilman, District 11
Hon. Stuart Benson, Councilman, District 20
Tucker Station Neighborhood Association, c/o Steve Porter and David Kaelin
Gregg Guy, Real Estate Manager, Circle K
Julia Williams, case manager with Division of Planning & Design Services
Anthony Sickles, land planners with Classickle Engineering

Neighborhood Meeting Summary

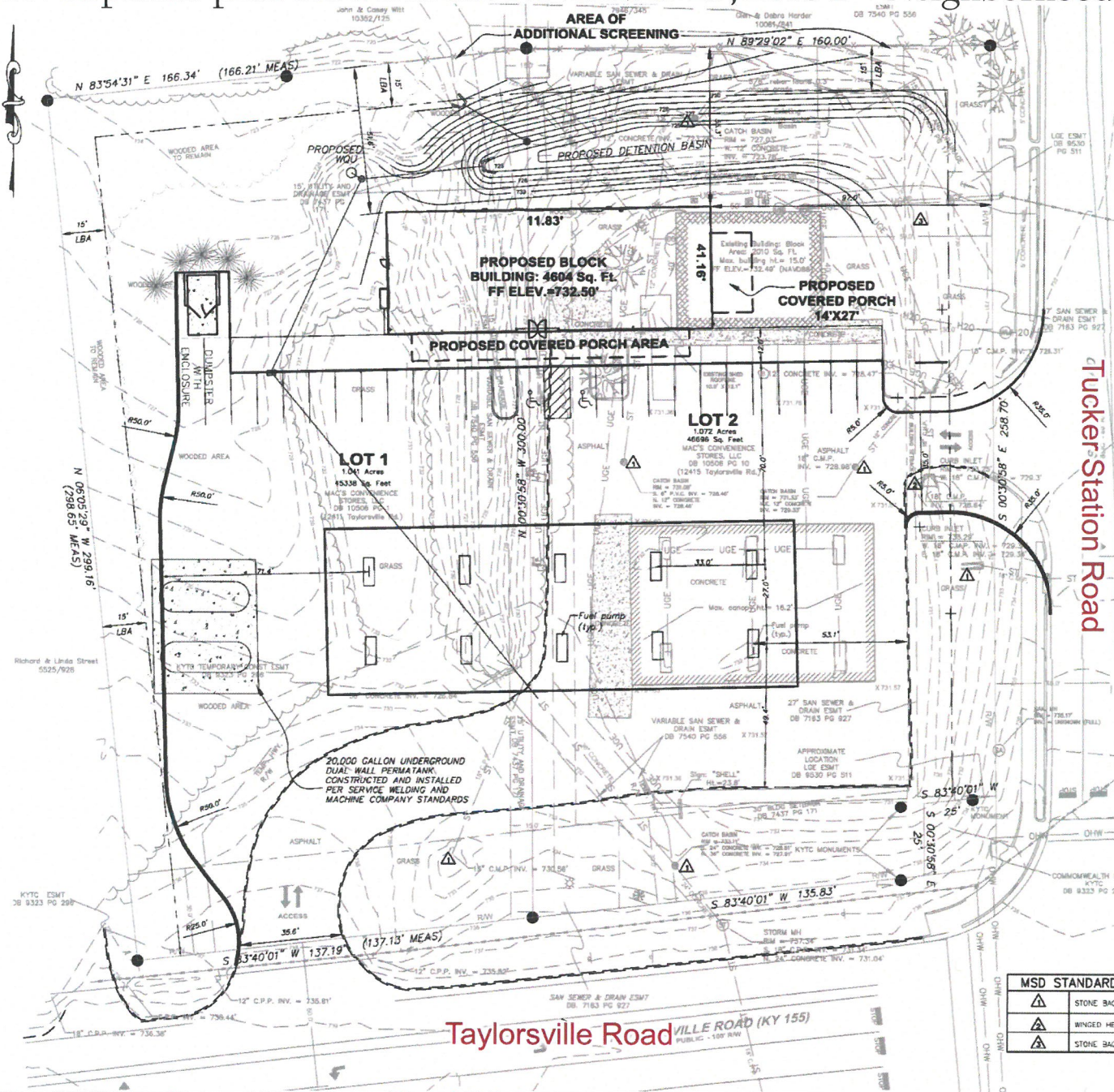
A neighborhood meeting was held on Wednesday, May 25, 2016 and Tuesday, November 29, 2016 at 7:00 p.m. at the St. Michael School located at 3703 Stone Lakes Drive.

Those in attendance included the applicant's representatives, Nick Pregliasco, attorney and Chris Crumpton, land planner and engineer with Bluestone Engineers, as well as the applicant. At the first neighborhood meeting, Nick Pregliasco presented a powerpoint presentation as to the site, the existing Circle K gas station that has been in existing for some time, and the proposed new Circle K gas station which is larger and will also include the adjoining residential property to the West, with the current gas station site already properly zoned. Nick Pregliasco showed the new proposed Development Plan and answered questions along with Chris Crumpton as to same, including traffic, the buffering along the properties to the North, the detention basin proposed and the drainage. The two existing curb cuts are proposed to remain. Chris answered questions as to the technical questions on the drainage, tree canopy, and setbacks. At the meeting, questions were asked as to the Tyler Rural Settlement District Neighborhood Plan. Due to the concerns raised on the style and design at this meeting, the Applicant and its representatives met with Steve Porter and representatives of the Tyler Neighborhood Association to discuss proposed changes to the building layout and the style and design of the gas station. After the meeting, Nick Pregliasco continued to work with Mr. Porter and representatives of the Neighborhood Association on new elevations and renderings with new ones sent over for review. Afterward, due to the changes both to the Development Plan and the style and design of the gas station, another neighborhood meeting was scheduled and conducted on November 29, 2016 to show the new Development Plan and the new proposed elevations to explain the changes made, along with Applicant's architect Kevin Burns. A new powerpoint was presented, showing the full proposal for those not in attendance at the first neighborhood meeting and then showing in detail all of the changes made from the first meeting. Kevin explained all the changes to the building, the proposed sign, and the proposed gas canopy and took questions as to the changes made and the ones that couldn't be made for various reasons. Neighbors to the North expressed concerns as to the screening and buffering and those were discussed as to what was requested. Concerns over potential crime were discussed with the new apartment project across Taylorsville Road. Questions as to the outdoor storage area were discussed along with possibly proposed change to the porch area on the East side of the property to make this storage instead of a porch (which was added based upon the Tyler Rural Settlement Plan). This idea would allow the style and design of showing a porch but not leave it as an area for loitering. Neighbors also discussed the idea of not having the building centered on the parking and gas station tanks. At the meeting, Chris answered questions as to trees on the site and those that would remain.

Previous development plan shown at the May 24, 2016 Neighborhood Meeting



Previous development plan shown at the November 29, 2016 2nd Neighborhood Meeting



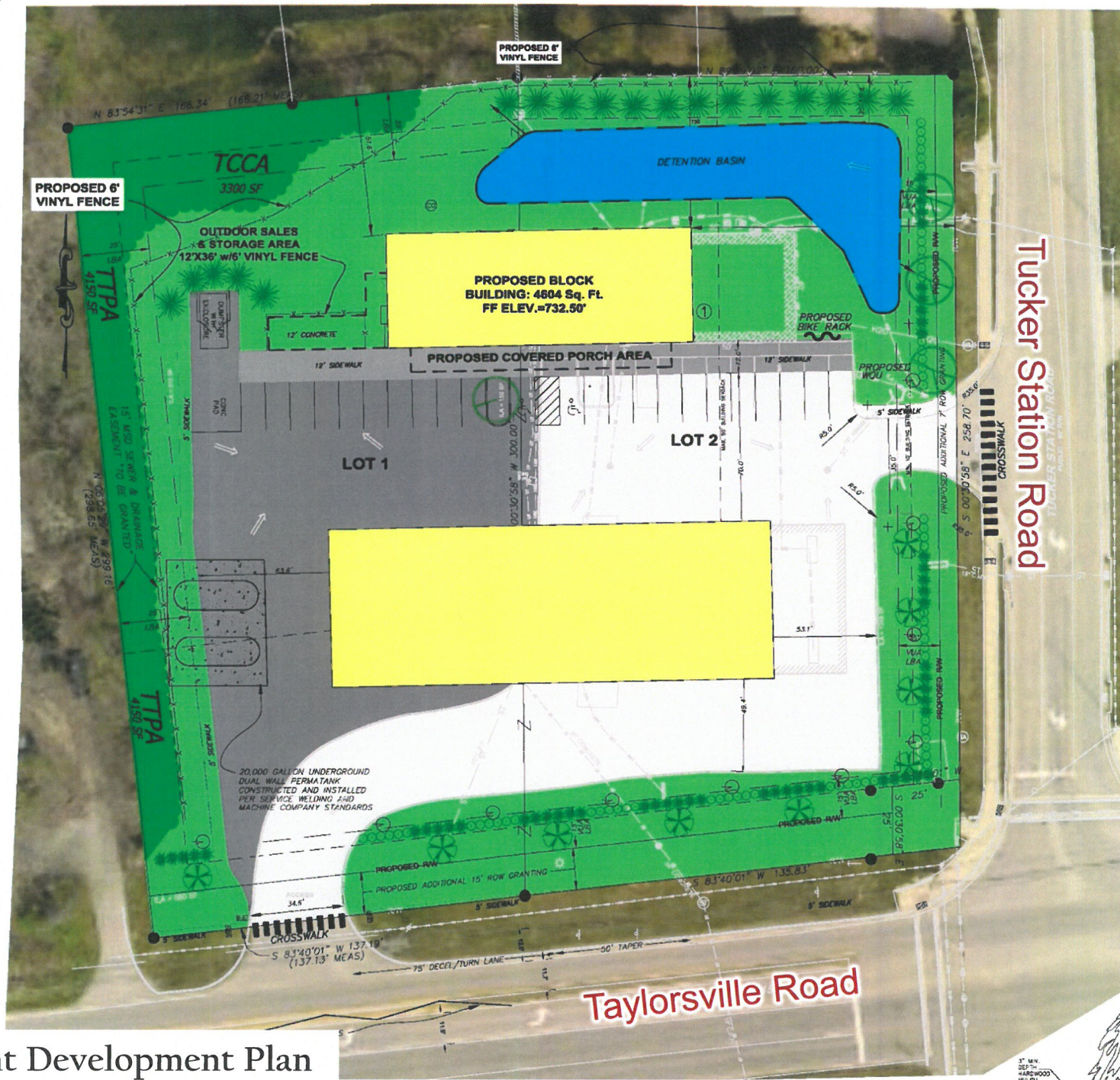
MSD STANDARD	
	STONE BAG
	WINGED HEEL
	STONE BAG

Taylorsville Road (KY 155)

Tucker Station Road



Current Development Plan

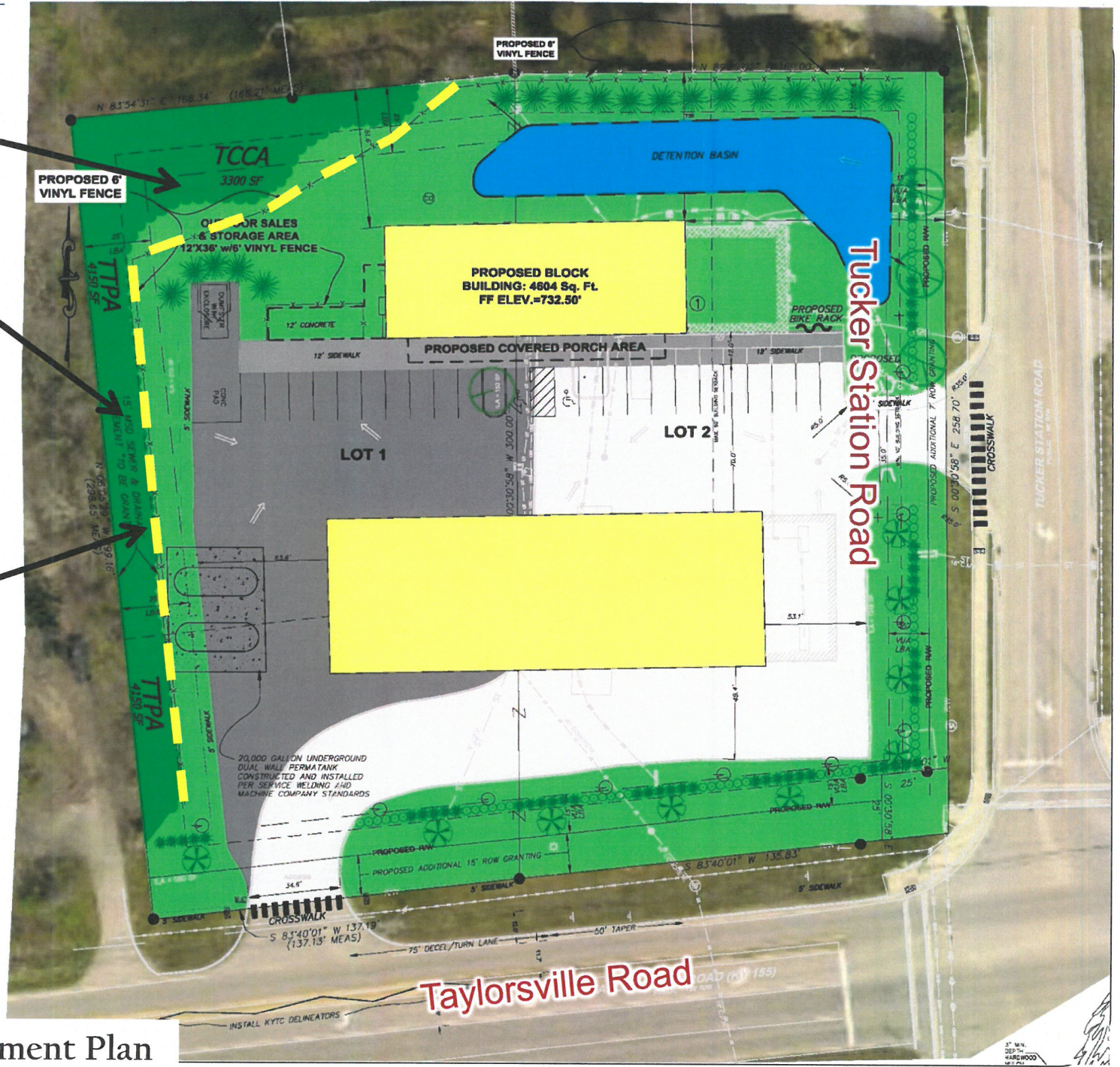


Current Development Plan

Handwritten signature and date: *[Signature]*
4/16/20

Woodland Protection Area per agreed upon Binding Element

8 ft fence



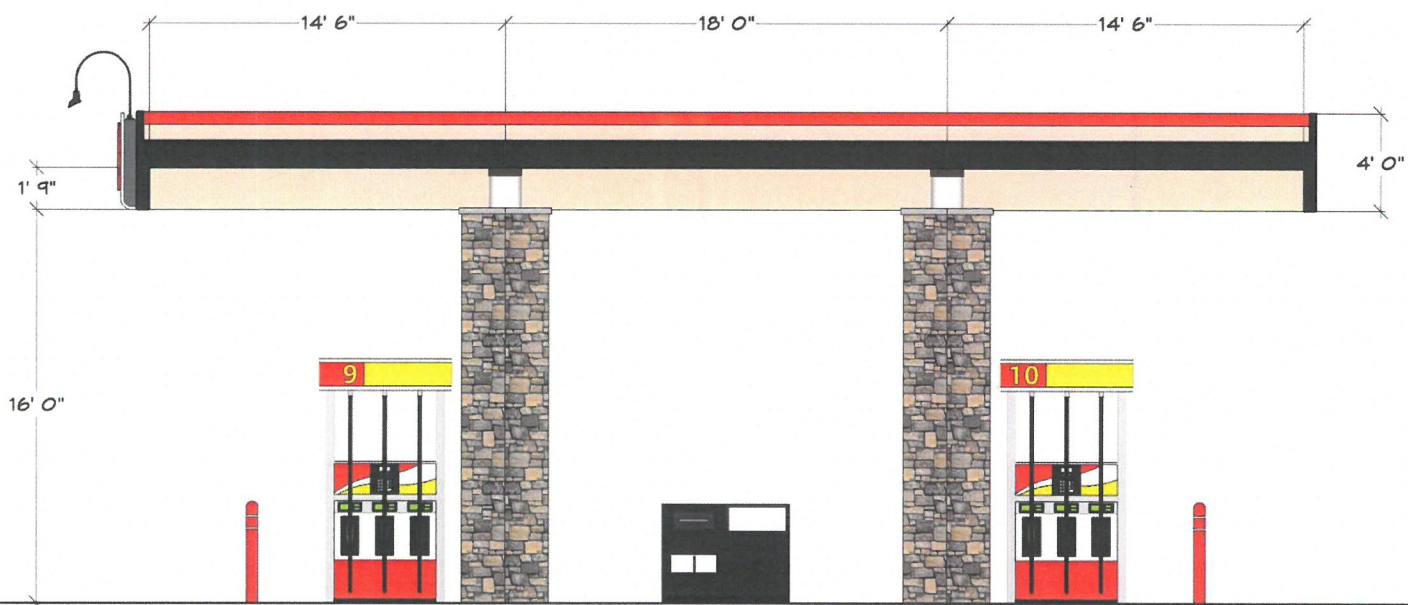
Current Development Plan

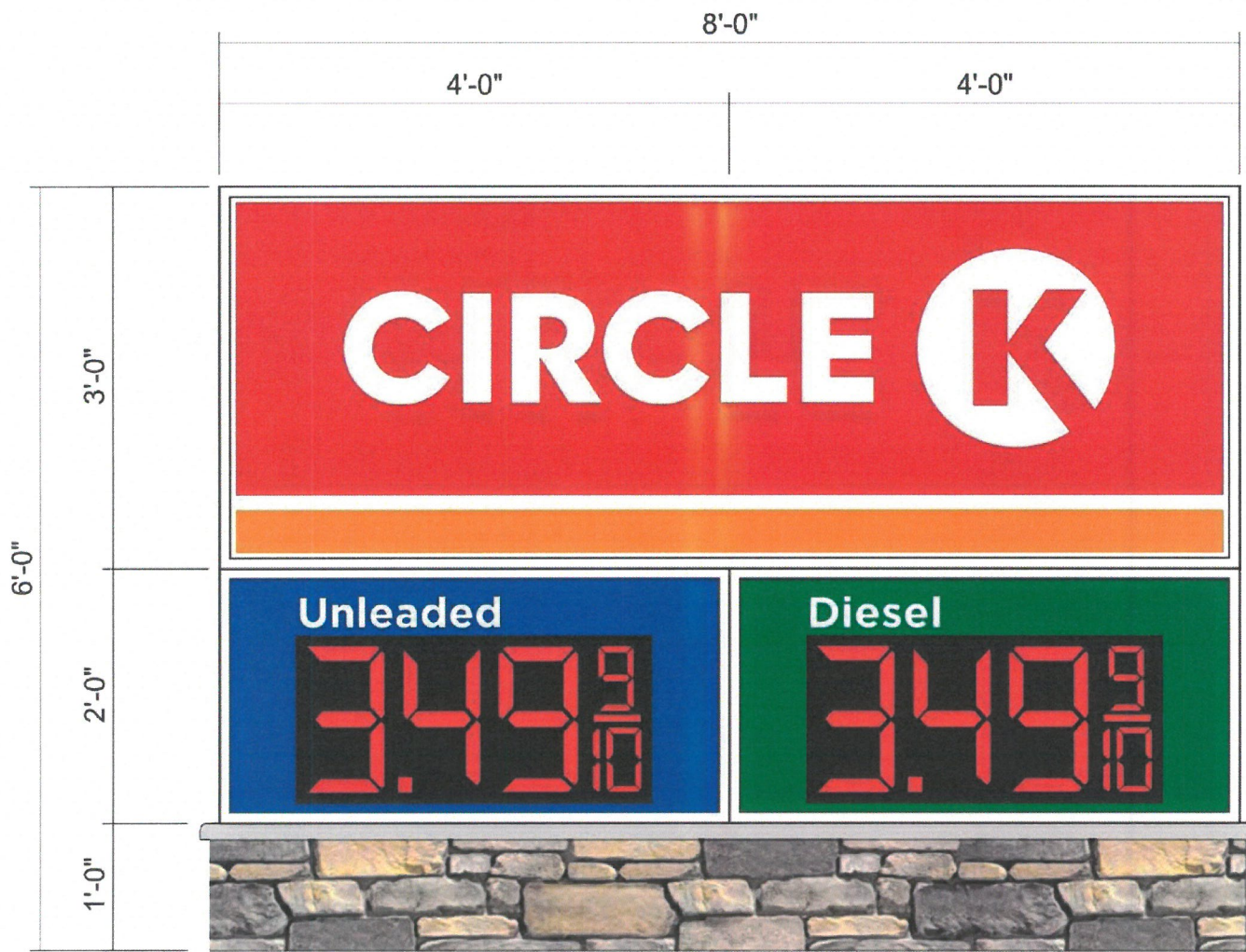
31' MIN. CLEARANCE
309' MIN. CLEARANCE
4/1/21











14" LED Digits










Depiction of 8 ft tall solid fence per agreed upon Binding Element



Depiction of 8 ft tall solid fence per agreed upon Binding Element

PLANT LEGEND

QTY	NOTE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	TREE TYPE	SPACING
3	RM		<i>Acer rubrum</i> 'October Glory'	OCTOBER GLORY RED MAPLE	1 3/4" Cal.	A	AS SHOWN OR 30' O.C.
1	WO		<i>Quercus phellos</i>	WILLOW OAK	1 3/4" Cal.	A	AS SHOWN OR 30' O.C.
53	JU		<i>Juniperus chinensis</i> 'Nick's compacta'	NICK'S COMPACT JUNIPER	18" Ht. (Min.) (2 Gal. Container)		4.0' O.C.
64	BW		<i>Buxus sempervirens</i> green velvet	GREEN VELVET BOXWOOD	18" Ht. (Min.) (2 Gal. Container)		3.0' O.C.
18	PI		<i>Pinus strobus</i>	WHITE PINE	8" Ht. (Min.)	A	AS SHOWN OR 30' O.C.
10	AH		<i>Ilex opaca</i>	AMERICAN HOLLY	8" Ht. (Min.)	A	AS SHOWN OR 30' O.C.
9	AH		<i>Halesio carolina</i>	CAROLINA SILVERBELL	1 3/4" Cal.	B	AS SHOWN OR 30' O.C.

red leonard associates

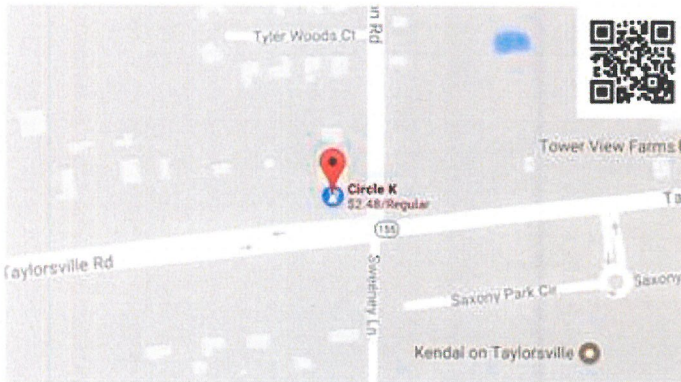
1340 KEMPER MEADOW DR.
FOREST PARK, OH 45240
513-574-9500

RL-4884-S1-R1

02/05/18

CIRCLE K

12415 TAYLORSVILLE RD
LOUISVILLE, KY



EXTERIOR
LIGHTING LAYOUT

CHANGING THE INDUSTRY STANDARD USING YOUR INTERACTIVE SITE PLAN



TO USE THE INTERACTIVE FEATURES OF THIS PLAN, MAKE SURE YOU ARE VIEWING IT IN ADOBE READER.
IF YOU DO NOT HAVE ADOBE READER INSTALLED ON YOUR SYSTEM, IT IS AVAILABLE FOR DOWNLOAD AT THE FOLLOWING LINK:
[HTTPS://GET.ADOBE.COM/READER/](https://get.adobe.com/reader/)



TO USE QR CODES, YOU CAN CLICK ON YOUR SCREEN OR SCAN WITH YOUR SMARTPHONE.

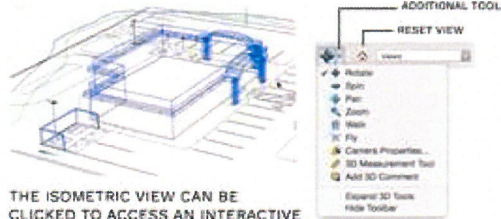
QR SCANNERS ARE AVAILABLE BY VISITING REDLEONARD.COM OR YOUR APP STORE.

HOW TO USE YOUR INTERACTIVE SITE PLAN



CLICK OR SCAN FOR INSTRUCTIONS

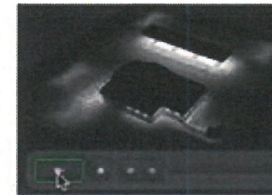
INTERACTIVE PLAN MODEL



THE ISOMETRIC VIEW CAN BE CLICKED TO ACCESS AN INTERACTIVE 3D VERSION OF THE SITE PLAN.

RIGHT-CLICK AND CHOOSE "DISABLE CONTENT" TO RETURN TO THE ISOMETRIC PLAN VIEW.

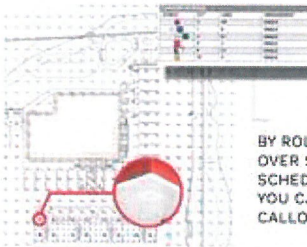
SITE VIDEO



CLICKING THE BLACK AND WHITE SITE IMAGE PLAYS A VIDEO THAT PANS AROUND THE ENTIRE SITE. YOU CAN PAUSE THE VIDEO AT ANY TIME FOR A BETTER LOOK.

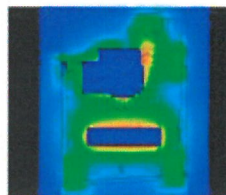
RIGHT-CLICK AND CHOOSE "DISABLE CONTENT" TO RETURN TO THE DEFAULT IMAGE.

FIXTURE CALLOUTS



BY ROLLING YOUR CURSOR OVER SYMBOLS IN THE SCHEDULE, YOU CAN VIEW VISUAL CALLOUTS OF EACH FIXTURE.

PSEUDO COLOR VIEWS



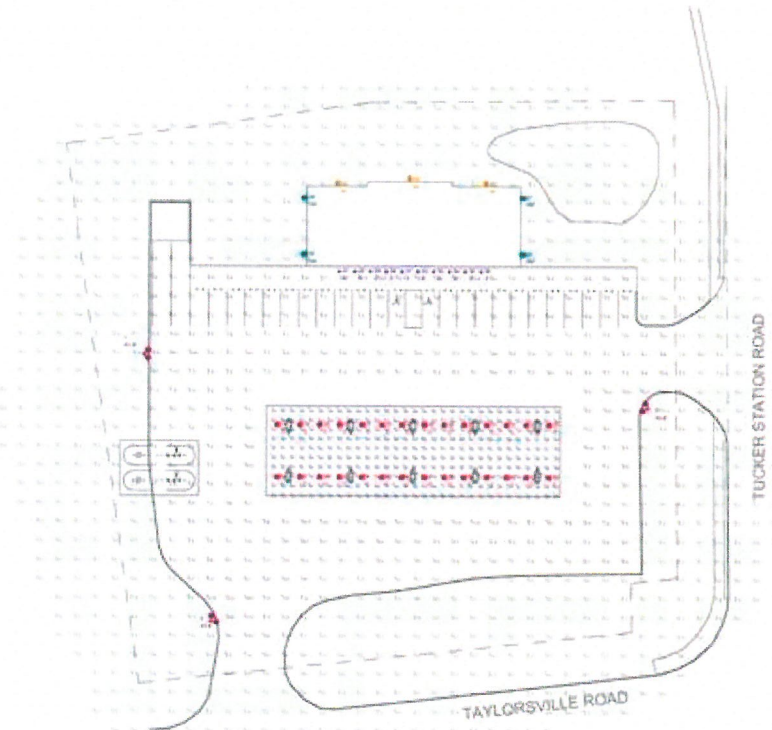
THE PSEUDO COLOR VIEWS CAN BE CLICKED TO ACCESS A SLIDESHOW WHERE YOU CAN PAN BETWEEN IMAGES FOR COMPARISON USING THE ARROWS.

RIGHT-CLICK AND CHOOSE "DISABLE CONTENT" TO RETURN TO THE PSEUDO COLOR PLAN VIEWS.

ADDITIONAL INFORMATION



ADDITIONAL INFORMATION FOR EACH FIXTURE IS AVAILABLE BY CLICKING OR SCANNING THE QR CODE ABOVE THE SPECIFICATION SHEETS. ONCE ON THE PRODUCT PAGE, YOU CAN FIND INDIVIDUAL SPEC SHEETS, DIMMING OPTIONS, ACCESSORIES AND ANY AVAILABLE INSTALLATION INSTRUCTIONS BY NAVIGATING TO THE "DOCUMENTATION" TAB.



LUMINO	LABEL	MTD HT
1	A10	11
2	A10	11
3	A10	11
4	C	16
5	C	16
6	C	16
7	C	16
8	C	16
9	C	16
10	C	16
11	C	16
12	C	16
13	C	16
14	C	16
15	C	16
16	C	16
17	C	16
18	C	16
19	C	16
20	C	16
21	C	16
22	C	16
23	C	16
24	C	16
25	C	16
26	C	16
27	C	16
28	C	16
29	C	16
30	C	16
31	C	16
32	C	16
33	C	16
34	C	16
35	C	16
36	C	16
37	C	16
38	C	16
39	C	16
40	C	16
41	C	16
42	C	16
43	C	16
44	C	16
45	C	16
46	C	16
47	C	16
48	C	16
49	C	16
50	C	16

NOTE:
ALL AREA LIGHTS MOUNTED ON EXISTING POLES

LANE	AVG	MAX	MIN	AVG/SEC	MAX/SEC
PAVED AREA	4.21	16.6	0.3	14.33	16.3
UNPAVED	0.97	10.6	0.0	10.6	10.6
UNDER CANOPY	10.66	16	0	2.03	2.74

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LUF	WATTAGE	TOTAL WATTAGE	MANUFACTURER	DESCRIPTION
[Symbol]	2	W1	2 @ 10 COLUMN	1100	1100	200	400	One Inc	UPGRADE 1000 LUMEN A COLUMN
[Symbol]	18	C	GROUP	1000	1800	140.0A	4081.13	One Inc	UPGRADE LOW BAY, WHITE
[Symbol]	10	C	GROUP	800	1300	74.0A	188.0	One Inc	UPGRADE
[Symbol]	5	W	GROUP	1000	1000	50	250	ONE INC	1000 LUMEN WIDE BAY 4-6-8-10-15-20
[Symbol]	4	W1	GROUP	600	1000	80	240	RETIRED A LOW BAY ROAD LIGHTING	RETIRED LOW BAY ROAD LIGHTING

REV	BY	DATE	DESCRIPTION
01	PLB	04/16	ISSUED FOR BIDDING & RECORD

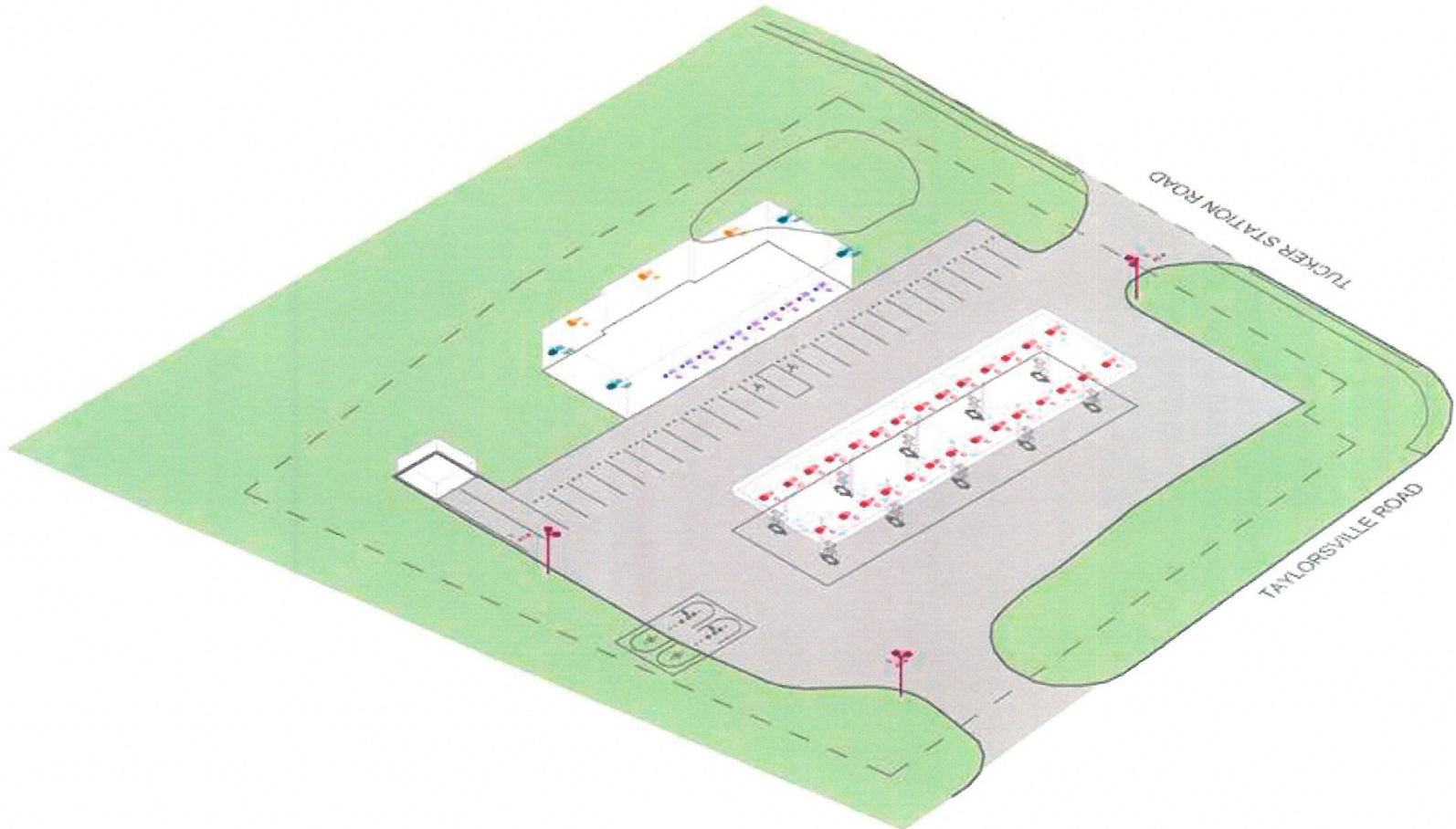
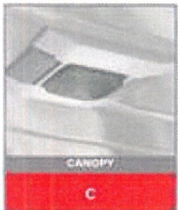
ROLL YOUR CURSOR OVER EACH FIXTURE ON THE LUMINAIRE SCHEDULE TO SEE A FIXTURE IMAGE ON THE PLAN.



CIRCLE K
LOUISVILLE KY
RL-4984-S1-R1

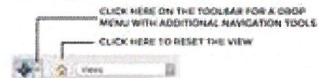


RL-4884-S1-R1



CLICK OR SCAN HERE FOR EXTERIOR OPTIONS

3D CONTENT QUICK HELP GUIDE

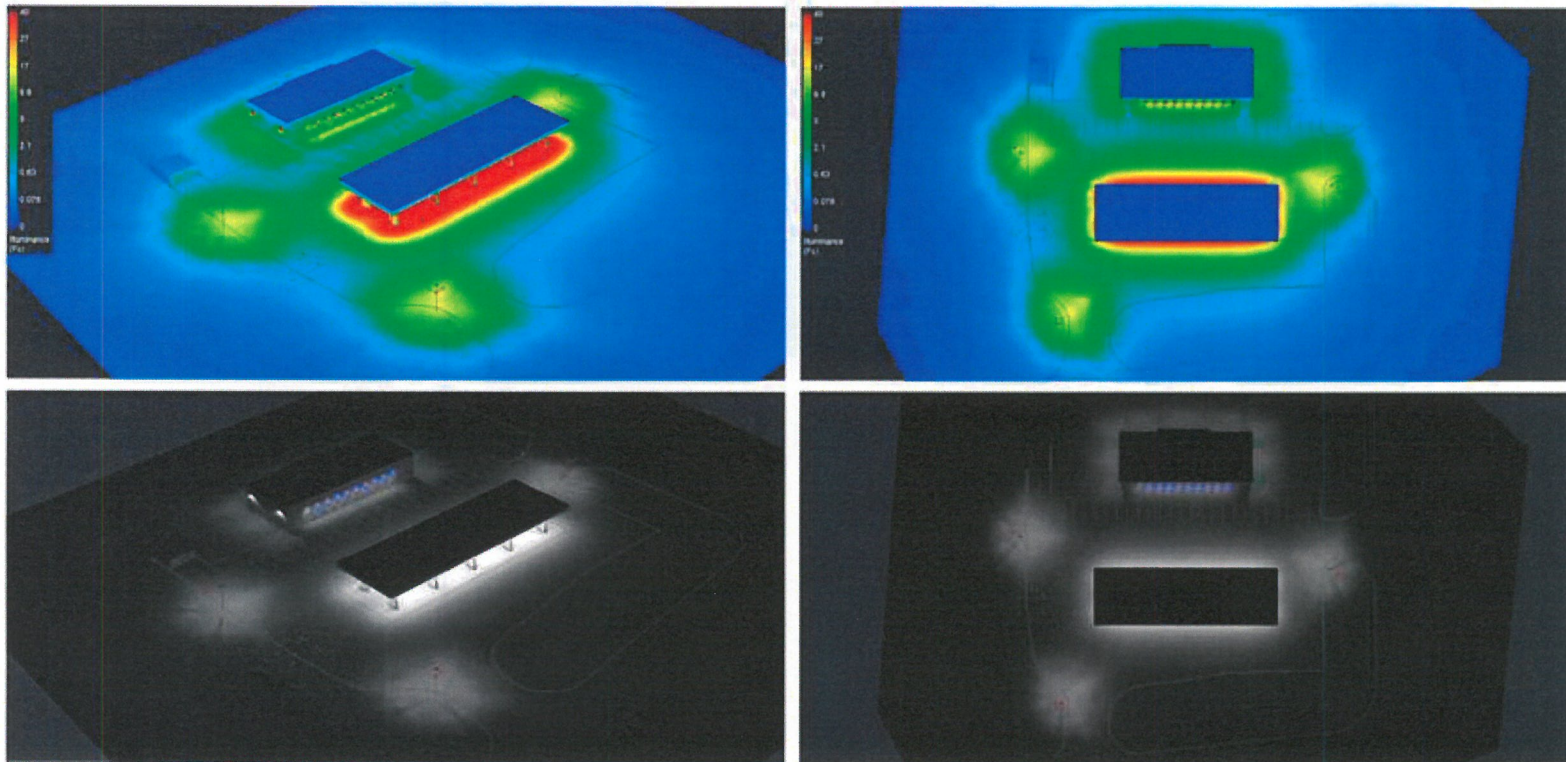


CLICK THE IMAGE TO ACTIVATE THE 3D CONTENT / RIGHT CLICK TO DISABLE



RL-4884-S1-R1

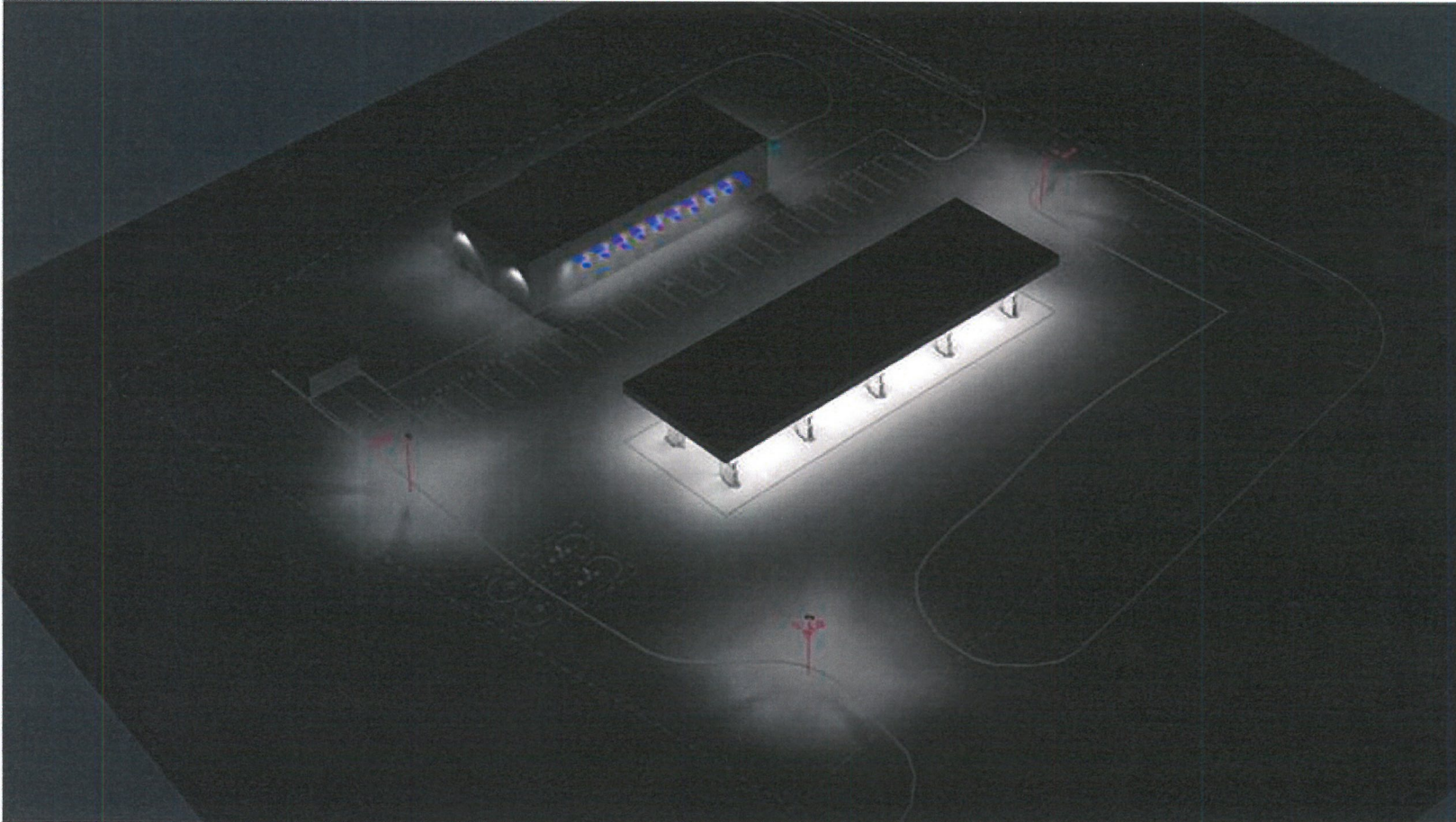
CLICK THE IMAGE TO ACTIVATE THE
SLIDESHOW / RIGHT CLICK TO DISABLE





RL-4884-S1-R1

CLICK THE IMAGE TO ACTIVATE THE VIDEO / RIGHT CLICK TO DISABLE





AREA



SYMBOL:	QTY:	LABEL:
C	3	A1-9

OSQ-XX + OSQ-A-NM-4ME-K-57K-UL-XX

CANOPY



SYMBOL:	QTY:	LABEL:
R	28	C

CPY250-B-DM-D-E-UL-WH-57K

SOFFIT



SYMBOL:	QTY:	LABEL:
P	10	S

LR6-10L-40K

WALL MOUNTED



SYMBOL:	QTY:	LABEL:
O	3	W
U	4	W4

SEC-EDG-3M-WM-04-E-UL-BZ-525-57K

SEC-EDG-4M-WM-04-E-UL-BZ-525-57K

Cree Edge™ Series

Product Description:
The Cree Edge™ Series is a line of high-performance LED lighting fixtures designed for wall mounting. It offers a variety of beam spreads and lumen outputs to suit different applications.

Key Features:
• High-efficiency Cree LED chips
• Dimmable options available
• Multiple beam spread choices
• Rugged, industrial-grade construction

Applications:
Ideal for use in commercial, industrial, and outdoor settings where reliable, long-lasting lighting is required.

Model	Beam Spread	Output (lm)	Input (W)	Height (in)	Weight (lb)
SEC-EDG-3M-WM-04-E-UL-BZ-525-57K	30°	525	57	3.0	0.5
SEC-EDG-4M-WM-04-E-UL-BZ-525-57K	40°	525	57	4.0	0.7

Technical Specifications:

Parameter	Value
LED Type	Cree LED
Beam Spread	30° / 40°
Output (lm)	525
Input (W)	57
Height (in)	3.0 / 4.0
Weight (lb)	0.5 / 0.7

Dimensions:

Notes:
• All dimensions are in inches unless otherwise specified.
• Mounting hardware is sold separately.

OSQ Series

Product Description:
The OSQ Series is a line of high-performance LED lighting fixtures designed for area lighting. It offers a variety of beam spreads and lumen outputs to suit different applications.

Key Features:
• High-efficiency Cree LED chips
• Dimmable options available
• Multiple beam spread choices
• Rugged, industrial-grade construction

Applications:
Ideal for use in commercial, industrial, and outdoor settings where reliable, long-lasting lighting is required.

Model	Beam Spread	Output (lm)	Input (W)	Height (in)	Weight (lb)
OSQ-XX + OSQ-A-NM-4ME-K-57K-UL-XX	30°	525	57	3.0	0.5

Technical Specifications:

Parameter	Value
LED Type	Cree LED
Beam Spread	30°
Output (lm)	525
Input (W)	57
Height (in)	3.0
Weight (lb)	0.5

Dimensions:

Notes:
• All dimensions are in inches unless otherwise specified.
• Mounting hardware is sold separately.

CPY Series - Version B

Product Description:
The CPY Series - Version B is a line of high-performance LED lighting fixtures designed for canopy lighting. It offers a variety of beam spreads and lumen outputs to suit different applications.

Key Features:
• High-efficiency Cree LED chips
• Dimmable options available
• Multiple beam spread choices
• Rugged, industrial-grade construction

Applications:
Ideal for use in commercial, industrial, and outdoor settings where reliable, long-lasting lighting is required.

Model	Beam Spread	Output (lm)	Input (W)	Height (in)	Weight (lb)
CPY250-B-DM-D-E-UL-WH-57K	30°	525	57	2.5	0.4

Technical Specifications:

Parameter	Value
LED Type	Cree LED
Beam Spread	30°
Output (lm)	525
Input (W)	57
Height (in)	2.5
Weight (lb)	0.4

Dimensions:

Notes:
• All dimensions are in inches unless otherwise specified.
• Mounting hardware is sold separately.

LR Series

Product Description:
The LR Series is a line of high-performance LED lighting fixtures designed for soffit lighting. It offers a variety of beam spreads and lumen outputs to suit different applications.

Key Features:
• High-efficiency Cree LED chips
• Dimmable options available
• Multiple beam spread choices
• Rugged, industrial-grade construction

Applications:
Ideal for use in commercial, industrial, and outdoor settings where reliable, long-lasting lighting is required.

Model	Beam Spread	Output (lm)	Input (W)	Height (in)	Weight (lb)
LR6-10L-40K	40°	4000	40	1.0	0.1

Technical Specifications:

Parameter	Value
LED Type	Cree LED
Beam Spread	40°
Output (lm)	4000
Input (W)	40
Height (in)	1.0
Weight (lb)	0.1

Dimensions:

Notes:
• All dimensions are in inches unless otherwise specified.
• Mounting hardware is sold separately.

red leonard associates

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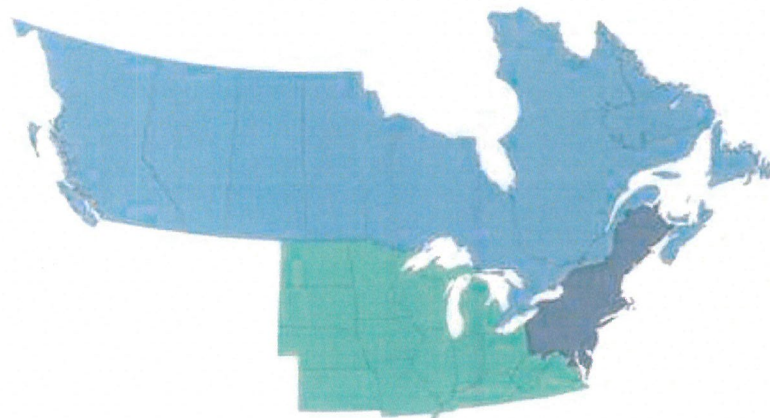
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paul.kelcamp@redleonard.com
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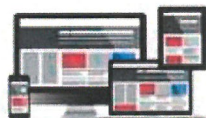
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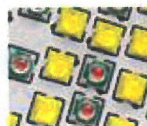
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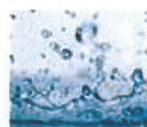
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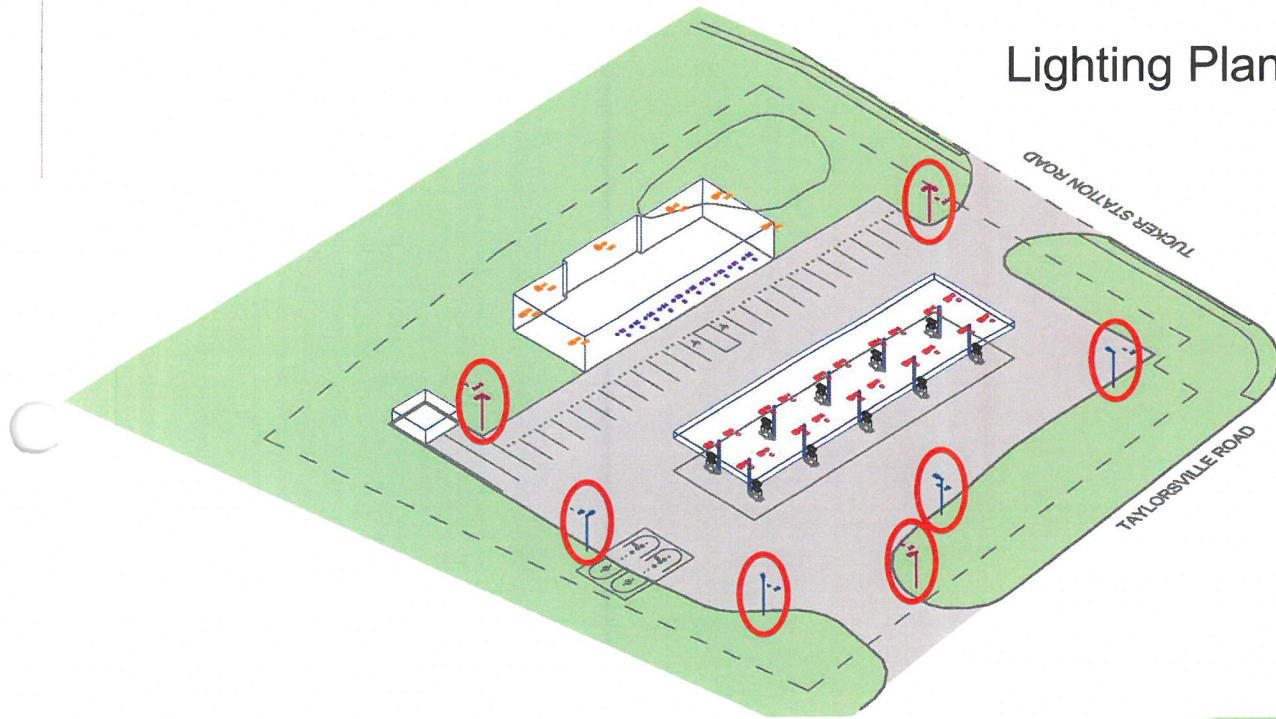


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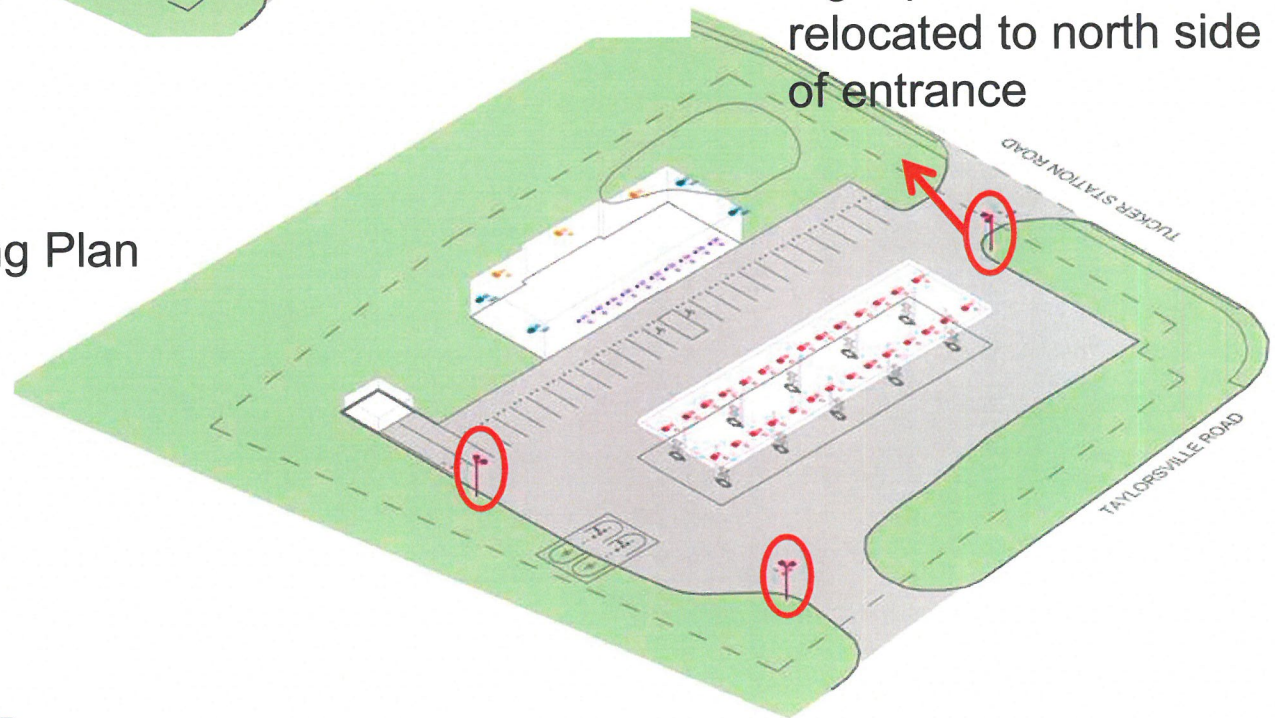
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Lighting Plan from 1/18/18 PC PH
7 light poles



Light pole to be
relocated to north side
of entrance

Current proposed Lighting Plan
3 light poles



16ZONE1031
Binding Elements proposed by Neighbors

1. Lighting

a) All exterior lighting, whether freestanding or attached to any structure, including parking lot pole lights and lighting for any signage, shall be fully shielded, shall utilize flat or hidden lenses, and shall be pointed directly to the ground. In addition to the Land Development Code requirements, lighting shall be designed to avoid any glare from adjoining property or street. All lighting shall respect the "Dark Sky".

b) No LED or metal halide lighting shall have a correlated color temperature (CCT) exceeding 4000 Kelvins.

c) The lighting on the site shall be in accordance with the lighting plan presented at the February 15, 2018 Planning Commission public hearing with two changes:

i. Pole #3 along Tucker Station Road shall be moved to the north side of the entrance and directed south;

ii. There shall be no lighting on the north side of the building (the rear); and

iii. The canopy lights shall have flat lenses.

2. **Windows** - The east façade of the building shall have ~~real~~ or faux windows consistent with the appearance of the south façade.

3. **Signage** - One freestanding commercial sign, substantially similar to the ~~façade~~ presented at the ~~January 18, 2018~~ Planning Commission hearing, shall be allowed, made of materials similar to the building construction and no higher than eight feet off the ground. Signage shall be lighted by downlighting mounted from above.

4. **Fuel sales** - No diesel fuel pumps designed for semi-trucks shall be allowed. Car and small diesel fuel sale shall be allowed.

5. **Woodland Protection** - All areas west and north of the proposed fence shall be placed in a Woodland ~~Protection~~ Area.

6. **Noise and Operations** - No construction activities, trash removal, deliveries or parking lot cleaning (except snow and ice) shall occur between the hours of 10:00 PM and 6:00 AM.

Feb 15
2018



OK

monument
style sign

Preserved

Hours of op shall be
from 6am to 11pm

Feb 15
2018

7. Fence

An eight foot tall solid fence, substantially similar to the fence presented at the ~~January 18, 2018~~ Planning Commission hearing, being constructed of brick or stone (real or faux) or of wood, or of durable materials copying the appearance of wood, brick or stone, such as vinyl, shall be constructed and maintained in the area shown on the Detailed District Development Plan. The fence shall be located in such a manner to protect and preserve as much vegetation and tree canopy as possible along the western and northern boundaries of the property.

8. Historic Marker - The Tyler Settlement historic marker shall be retained.