



Historic Landmarks and Preservation Districts Commission

Report to the Committee

To: Cherokee Triangle Architectural Review Committee
Thru: Savannah Darr, Historic Preservation Officer
From: Drake Watson, Planner I – Urban Design
Date: August 7, 2026 *SDarr*

Case No: 26-COA-0163
Classification: Committee Review

GENERAL INFORMATION

Address: 1206 Cherokee Rd

Applicant: Charles Williams
1626 Windsor Pl
Louisville, KY 40204

Owner: Amy Nguyen
1206 Cherokee Rd
Louisville, KY 40204

Project Cost: \$ 220,000

Description of proposed exterior alterations:

The applicant requests approval to demolish a contributing, historic, one-car garage, see **Figure 1**. The applicant also seeks approval to construct an approximately 26' W x 20' D x 28' H two-story carriage house, with a 9' W 9' W x 10' D bump out on the northwest rear corner for an enclosed stairway. It will be located at the rear of the property, on the footprint of the historic garage proposed for demolition, 2' from the side property lines, and 0' from the rear property line. It will feature a 7/12 slopped, intersecting hipped, standing-seam metal roof. The roof will overhang by 1' and will have an ogee (k-channel) gutter system. The carriage house will be clad in smooth, traditional lap, Hardie board siding on the first-floor and above the band board will be composite Hardie shake siding on the second. A historic concrete mix concrete apron will also be poured to provide access from the alley to the carriage house.

- South, alley facing façade:
 - Two, 8 panel single-car garage doors
 - A 2' deep, standing seam metal awning with a 12/12 slope above the garage doors.
 - On the second story, a pair of two 1/1 double-hung, and a single double-hung aluminum-clad wood window.

- West, side façade:
 - No openings are proposed
- North, interior facing façade:
 - 6' W x 9' D covered patio area, featuring a 7/12 sloped, standing seam metal roof with supported by 4 composite wrapped wooden columns.
 - Two aluminum-clad wood casement windows on the first-floor
 - A two panel metal door to access garage.
 - Two gangs of three, and one single aluminum-clad full-lite casement window on the second-floor.
- East, side façade:
 - Half-lite metal pedestrian door under proposed covered patio to access enclosed staircase.
 - One aluminum-clad casement window on the second-floor

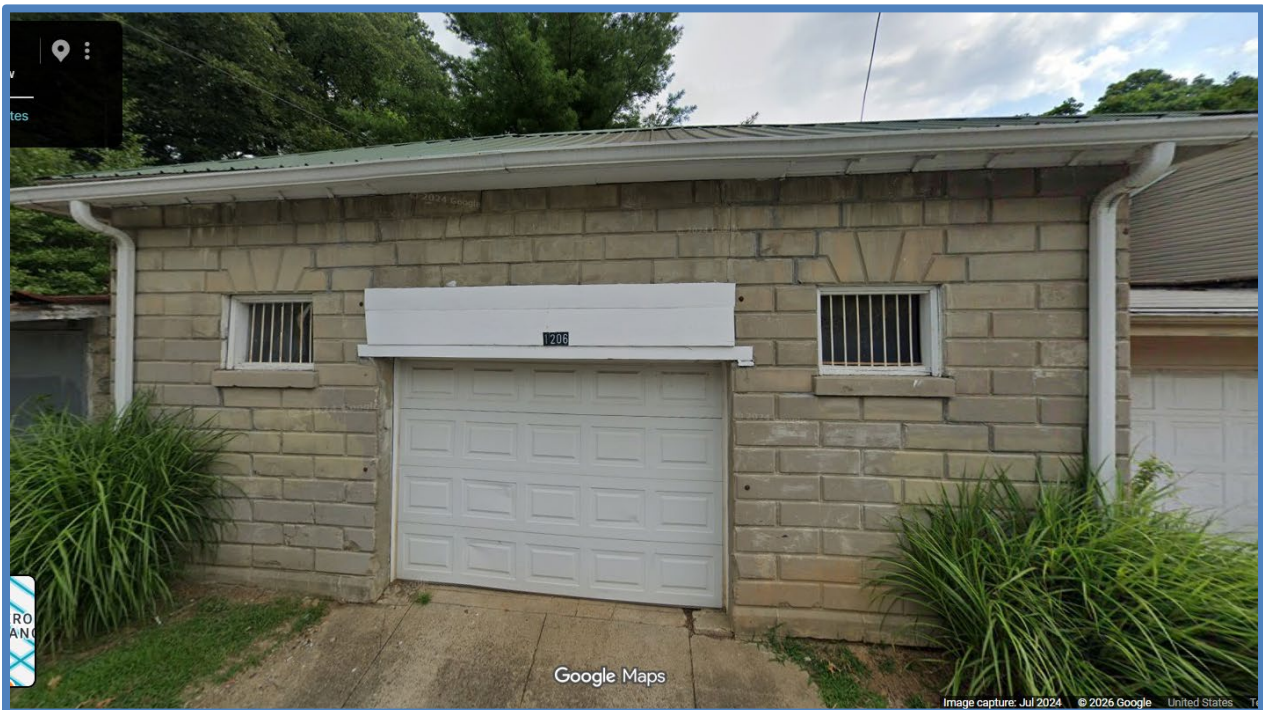


Figure 1: Existing garage proposed for demolition. Source: July 2024 Google Street View

Communications with Applicant, Completion of Application

An application was submitted on July 15, 2026 and assigned to a case manager on July 20, 2026. Final correspondence was received on August 3, 2026, at which time, the application was considered complete and requiring committee level review.

The case is scheduled to be reviewed by the Cherokee Triangle Architectural Review Committee (ARC) on Wednesday, August 12, 2026 at 4:30 PM, in Room 101 of the Metro Development Center located at 444 South 5th Street.

FINDINGS

Guidelines

The following design review guidelines, approved for the Cherokee Triangle Preservation District, are applicable to the proposed exterior alteration: **Demolition, Archeology, Garages and Secondary Structures**, and **Site**. The report of the Commission Staff's findings of fact and conclusions with respect to these guidelines is attached to this report. The following additional findings are incorporated in this report:

Site Context/ Background

The property is located on the south side of Cherokee Rd, three lots east of Patterson Ave. The lot contains three-story masonry structure and a circa 1920's historic, one-story, masonry, single-car garage (as shown in **Figure 2**). The garage features two clerestory height casement windows with metal bars and decorative art deco lintels, which are character defining for the structure. It is surrounded by other properties with garages and carriage houses in a variety of styles, eras, and massing, as well as commercial buildings that front Bardstown Rd.

Previous COAs include:

- S-05-100-CT for rear window replacements, approved by staff in June 2005
- 26-COA-0092 for two rear additions, approved by staff in June 2026.

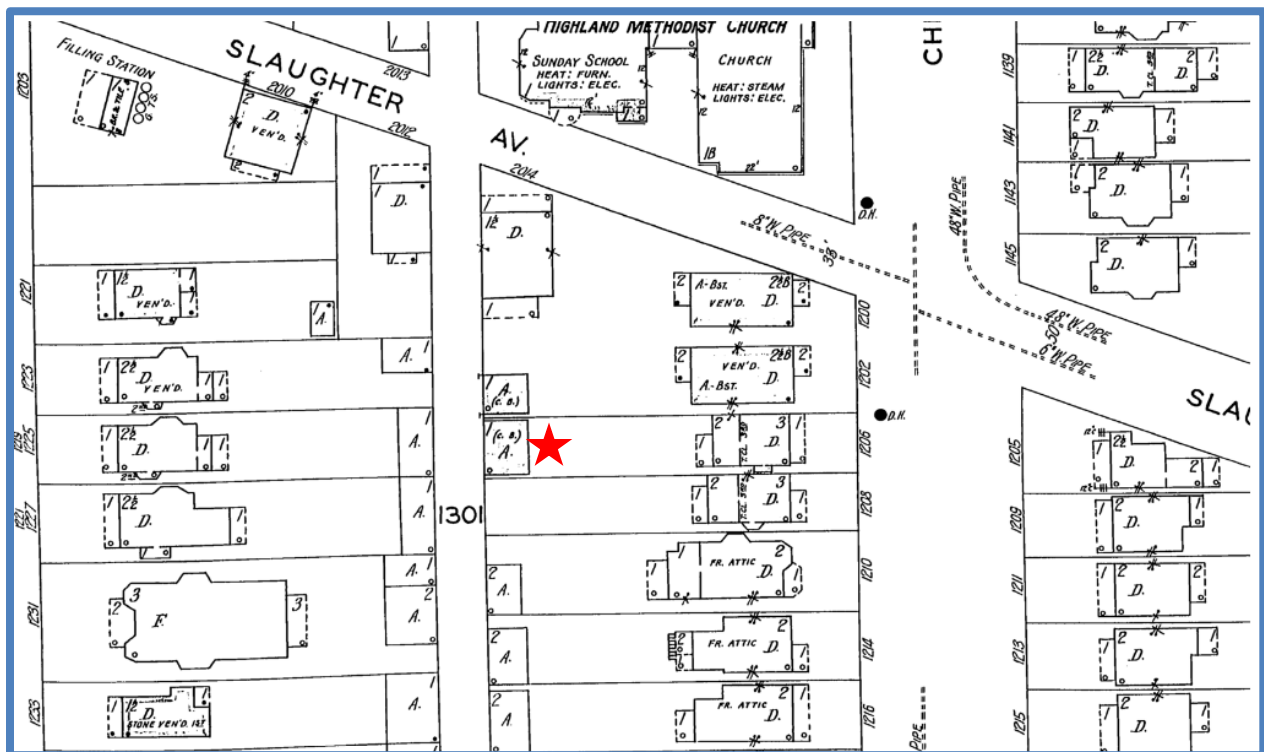


Figure 2: One-story concrete block accessory structure at 1206 Cherokee Rd. Source: Sanborn Fire Insurance Maps Louisville 1928-1941 vol. 6, 1928, Sheet 653.

Conclusions

The proposed demolition of the historic and contributing one-story, single-car garage does not meet the guidelines for **Demolition**, specifically **D.1, D.2, and D.3**, and **Garages and Secondary Structures** guideline **G.1**. The existing garage is historic, appearing on the 1928 Sanborn Fire Insurance Map and has been determined by staff to be contributing to the district. It features art deco lintels, which are character defining to the structure. The

existing structure is structurally stable and does not pose an imminent threat to life or the surrounding structures.

The proposed demolition does mostly meet guideline **D.4**. Although the structure is historic and contributing, it is not uniquely significant to the district because it is a secondary-structure and many properties have secondary structures, some of which are from a similar era of construction.

The demolition does meet guidelines **D.7 and D.8** for demolition because there is a proposal to replace the historic one-story, one-car garage with a two-story carriage house. The proposed carriage house is consistent with the guidelines for **Garages and Secondary Structures**. The location in the rear yard, use of materials, such as Hardie siding, standing-seam metal roofing, and the utilization of two articulated single-car garage doors meets the guidelines for **Garages and Secondary Structures**. The proposed carriage house is also subordinate to the historic home, meeting guideline **G.4**. Guideline **ST.4** is also met because the carriage house reduces the visual impact of parking areas by providing enclosed space for two vehicles rather than the one car the current garage can accommodate.

RECOMMENDATION

On the basis of the information furnished by the applicant and the applicable design guidelines, Staff recommends the application for a Certificate of Appropriateness be **denied**.

However, if the Cherokee Triangle ARC finds that the application meets the applicable Design Guidelines, staff recommends the following conditions:

1. **If found during construction, archaeological discoveries such as artifacts, features, and other archaeological deposits shall be reported to staff.**
2. **Demolition plans along with a detailed schedule shall be submitted to staff prior to demolition taking place.**
3. **All new concrete shall be historic concrete mix or shall be stained or tinted to match the surrounding historic concrete.**
4. **Detailing for the new concrete apron shall be submitted to staff prior to construction. Should historic stone curbing be found, detailing for how the stone curbing will be preserved with the construction of the new apron shall be submitted to staff prior to construction.**
5. **All exposed wood shall be clear coated, stained, or painted within 12 months of construction.**
6. **The new siding shall be smooth traditional lap and shake style. Dutch lap siding shall not be used.**
7. **Complete construction drawings shall be submitted to staff for review and approval prior to demolition and building permit issuance.**
8. **The applicant shall submit cutsheets for all products to staff for review and approval prior to work taking place.**
9. **Provisions shall be made for screening and storing trash receptacles.**
10. **Mechanical systems shall be integrated into the new construction in such a way that the rooftops facing the street remain uncluttered. Mechanical**

12. All other required permits or approvals shall be obtained prior to work taking place.

Date

+	Meets Guidelines	NA	Not Applicable
-	Does Not Meet Guidelines	NSI	Not Sufficient Information
+/-	Meets Guidelines with Conditions		

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	Guideline	Finding	Comment
	2. The proposed replacement development will strengthen the viability of the surrounding historic context. If demolition of a contributing structure or an individual landmark is approved, Landmarks Commission Staff, the ARC, or the Landmarks Commission may set the degree of documentation required according to several factors: primary vs. secondary structure, historic value, and historic contribution. A survey form through the Kentucky Heritage Council may be required.		
D.2	Consider the current significance (contributing or noncontributing) of the structure previously determined to be historic.	-	The structure has existed on the site since at least 1928, and through research and evaluation by staff, is considered contributing to the district.
D.3	Consider the condition of the structure in question. Demolition may be more appropriate when a structure is deteriorated or in poor condition. It can also impact the historic integrity of the structure. This may require a property owner to seek the advice or services of a structural engineer, contractor, or other design professional.	-	The historic garage is sound and not in need of immediate repair. The garage does not pose an immediate threat to life or property.
D.4	Consider whether the structure is uniquely significant to the neighborhood, county, or region.	+	The garage, although historic and contributing, is a secondary-structure and is not uniquely significant to the district, because many properties have secondary structures, some of which are from a similar era of construction.
D.5	Consider the impact that demolition will have on surrounding structures including neighborhood properties; properties on the same block or across the street; or properties throughout the whole preservation district.	NSI	Details regarding how the structure will be demolished were not provided at this time. The applicant will provide demolition information to staff before demolition. See conditions of approval.
D.6	Consider whether the structure is part of an ensemble of historic buildings that create a neighborhood.	+	The garage is a secondary structure located at the rear of the property, fronting an alley. As such it is part of the character of the district and helps to create the neighborhood's uniqueness. The alley does feature other historic structures, new construction, and is adjacent to commercial buildings.
D.7	Consider the future utilization of the site. An application for demolition must have a proposed plan for replacement. Demolishing historic structures for parking areas is discouraged.	+	The proposed two-story carriage house will enclose the rear parking areas and will provide an additional dwelling unit.
D.8	If a development is proposed to replace a demolished historic structure, determine that the proposed replacement	+	The demolition of the historic structure is proposed to be

	Guideline	Finding	Comment
	structure is consistent with the guidelines for new residential or commercial and institutional construction.		replaced with a new carriage house which complies with the Garages and Secondary Structures guidelines.
D.9	See the Archaeology Guidelines for information on potential archaeological impacts during demolition.	NSI	
D.10	Do not demolish a noncontributing structure or addition in a way that will threaten the integrity of an existing contributing structure.	NA	
D.11	Upon demolition of a noncontributing alteration or addition to a historic structure, minimize damage to the historic fabric.	NA	
D.12	Take steps to assure the integrity of a wall exposed to the elements by the removal of a non-historic addition.	NA	
D.13	Infill a non-historic opening in a historic wall that has been exposed as a result of the removal of the non-historic fabric.	NA	
D.14	Do landscape areas that are left vacant as the result of removals of noncontributing structures and additions. Topography should be made consistent with that of adjacent properties. The slope and grades of land left vacant after demolition should continue and be consistent with those features on adjacent properties.	NA	New construction is proposed immediately after demolition.
D.15	Do take measures to reestablish the street wall after demolition through the use of low fences, walls, and/or vegetation.	+	The proposed new construction will help to reestablish the street wall after demolition.

Archaeology

Standard Design Guideline Checklist

+	Meets Guidelines	NA	Not Applicable
-	Does Not Meet Guidelines	NSI	Not Sufficient Information
+/-	Meets Guidelines with Conditions		

	Guideline	Finding	Comment
AR.1	Do not disturb or destroy archaeological resources, nor allow artifact collectors, amateur archaeologists, or others to do so. Artifacts recovered through excavation, with the intent to collect artifacts or archaeological investigations, should not be sold.	NSI	If archaeological resources are discovered, staff will be notified. See conditions of approval.
AR.2	Report all archaeological discoveries such as artifacts, features, and other archaeological deposits to the Landmarks Commission. - Examples include Native American spear points and tools, historic objects (old bottles, dish fragments, marbles, bones, nails, etc.), historic trash pits/dumps, privies (outhouse pits), cisterns, wells, and foundations. - Property owners who wish to retain ownership of artifacts shall provide sufficient time for the Landmarks Commission to properly document the materials. - If something is discovered, a professional archaeologist as defined by the Kentucky Heritage Council shall write a letter stating what was found for the file.	NSI	See conditions of approval
AR.3	Notify the Landmarks Commission of a work schedule prior to any excavation, including repair or replacement of underground utilities.	NSI	See conditions of approval

AR.4	Design a research plan and proposal prior to beginning an archaeological investigation. - When qualified personnel are unavailable, the Landmarks Commission may design, research, and conduct archaeological investigations. - Do not begin an archaeological investigation prior to submitting and receiving approval from the Landmarks Commission for the research, design, and proposal.	NSI	See conditions of approval
AR.5	If an applicant plans to conduct archaeological investigations, or an archaeological investigation is required, a professional archaeologist as defined by the Kentucky Heritage Council should conduct the work. Present discovered artifacts to an acceptable curation facility (museum) to be curated (stored).	NSI	See conditions of approval

Garages and Secondary Structures

Standard Design Guideline Checklist

+	Meets Guidelines	NA	Not Applicable
-	Does Not Meet Guidelines	NSI	Not Sufficient Information
+/-	Meets Guidelines with Conditions		

	Guideline	Finding	Comment
	Appropriate Location: - Rear-yard - Align with adjacent secondary structures - Use to define and enclose rear yard - Minimize paving	+	The proposed carriage house will be located in the rear-yard fronting the alley.
	Appropriate Wall Materials: - Horizontal wood lap siding or fiber cement lap siding (3" or 4" exposure unless there is a precedent for another reveal) - Board and batten siding - Brick - Stucco - Cast-stone, molded concrete block - Concrete block with parge coat - Aluminum and vinyl siding (3" or 4" exposure unless there is a precedent for another reveal)	+	The proposed carriage house will be clad in traditional lap Hardie board siding on the first-floor and Hardie shake siding on the second-floor. The shake siding will speak to the shake siding on the primary structure.
	Inappropriate Wall Materials: - Painted concrete block - Smooth concrete block with no parge coat - T-111 plywood	NA	
	Appropriate Roofing Materials: - Asphalt, fiberglass, wood, vinyl, tile, or slate shingles - Metal roofing - Half round or ogee gutters - Approved gable-end ornament	+	The roof will be a standing-seam metal hipped roof.
	Inappropriate Roofing Materials, unless there is a site-specific precedent: Membrane roofing or low sloped roofing	NA	
	Appropriate Building Forms: - Simple, rectangular, prismatic volumes - Ell-shaped buildings - Slightly-projecting bays - Cantilevered second floors	+	The carriage house will be simple in shape with a slight "L" form due to the enclosed stairwell.
	Inappropriate Building Forms: Overly elaborate volumes	NA	
	Appropriate Roof Forms: - Single gable roofs with an appropriate slope - Hipped, shed, and flat roofs with parapets	+	The new roof will be hipped with a 7/12 slope, which

	Guideline	Finding	Comment
	- Intersecting gables - Overhanging eaves		mimics the existing historic roof form. The eaves will overhang by 1'.
	Inappropriate Roof Forms: - Flush eaves - No gutter system	NA	Standard K-channel gutters are shown in the elevations.
	Appropriate Doors: - Single-door openings - Surface-area of door broken up by articulated panels and/or stiles and rails to reduce scale - Double-doors that are articulated as two single-doors	+	The carriage house will feature two single-car articulated garage doors.
	Inappropriate Doors: - Triple-doors - Flush garage doors (they articulate the large size of the openings)	NA	
	Appropriate Windows: - Use window openings to break up wall surface - Security grills installed on the inside face of the window	+	The proposed carriage house will feature windows on the front and rear facades but will not feature windows on the side facades due to building code limitations. However, the applicant breaks up the wall surface with the use of a center band board and a change in siding material to provide interest.
G.1	Preserve a historic garage when feasible. - Keep a historic garage in good repair. - Preserve a character defining building component of a historically significant or contributing garage. - Preserve a historic window or door on a historically significant or contributing garage. - Do not move a historically significant or contributing garage from its original location.	-	The historic garage is proposed to be demolished to construct the two-story carriage house. The garage does not pose an imminent threat to life or the property.
G.2	Repair a historic garage with in-kind materials or with approved materials that mimic the historic materials. Relevant guidelines, such as Windows, should be used for these changes.	NA	
G.3	Preserve a historic paved feature when repairing or replacing a historic garage. - Preserve a historic stone curb or brick alley. - Repair a historic stone curb or brick alley. - When installing a new concrete apron, do not damage a stone curb or brick alley (see diagram).	NSI	If stone curbing is found it shall be retained, as well as any historic materials comprising the alley.
G.4	When replacing a deteriorated garage or constructing a new garage design a garage that is subordinate in size and form to the main structure as viewed from the public right-of-way and is compatible in form, color, and material to the primary building and to the surrounding historic context. - Design a new garage to reflect the scale, roof form, setback, and materials of nearby historic structures. - Orient the roofline of the garage to be parallel with the main house or follow the predominate pattern of existing secondary structures where a pattern exists. - Design a new garage to be minimally visible from the primary street. - Design a new garage with access from an alley or secondary street.	NA	New carriage house construction.

	Guideline	Finding	Comment
	- Place a new garage behind the primary structure, along an alley. - If locating a garage along an alley or at the rear of the property is not feasible, place a garage to have access along the side yard. - Where there is no alley or where there is historic precedence, the use of a side-yard driveway for access to a garage may be acceptable. - Where a side-yard driveway is being used instead of an alleyway, use appropriate landscaping to screen the driveway.		
G.5	Preserve a historic shed or outbuilding when feasible. - Keep a historic shed or outbuilding in good repair. - Preserve a character defining building component of a historically significant or contributing shed or outbuilding. - Preserve a historic window or door on a shed or outbuilding.	NA	
G.6	Repair a historic shed or outbuilding with in-kind materials, or with approved materials that mimic the historic materials. Relevant guidelines, such as Windows, should be used for these changes.	NA	
G.7	Preserve a historic paved feature when repairing or replacing a historic shed or outbuilding. - Preserve a historic stone curb or brick alley. - Repair a historic stone curb or brick alley. - When installing a new concrete apron, do not damage a stone curb or brick alley (see diagram).	NA	
G.8	When replacing a deteriorated shed or outbuilding, or constructing a new shed or outbuilding, design a structure that is subordinate in size and form to the main structure as viewed from the public right-of-way and is compatible in form, color, and material to the primary building and to the surrounding historic context. - Design the height of a new shed or outbuilding to be within the range seen in the surrounding historic context. - Use a simplified version of building components and details found in the surrounding historic context. - Place a new shed or outbuilding along an alley or at the rear of the main structure. Where that is not possible, locate a shed or outbuilding to have access along the side yard. - Use landscaping to screen the shed or outbuilding.	NA	
G.9	Preserve a historic carriage house when feasible. - Keep a historic carriage house in good repair. - Preserve a character defining building component of a historically significant or contributing carriage house. - Preserve a historic window or door on a historically significant or contributing carriage house.	NA	
G.10	Repair a historic carriage house with in-kind materials or with approved materials that mimic the historic materials. Relevant guidelines, such as Windows, should be used for these changes.	NA	
G.11	Preserve a historic paved feature when repairing or replacing a carriage house. Preserve a historic stone curb or brick alley.	NA	

	Guideline	Finding	Comment
	- Repair a historic stone curb or brick alley. - When installing a new concrete apron, do not damage a stone curb or brick alley (see diagram).		
G.12	When replacing a deteriorated carriage house or constructing a new carriage house, design a structure that is subordinate in size and form to the main structure as viewed from the public right-of-way and is compatible in form, color, and material to the primary building and to the surrounding historic context. - Design a new carriage house to reflect the scale, roof form, setback, and materials of nearby historic structures. - Design the height of a new carriage house to be within the range seen in the surrounding historic context. - Orient the roofline of the carriage house to be parallel with the main house or follow the predominate pattern of existing secondary structures where a pattern exists. - Design a new carriage house to be minimally visible from the primary street. - Design a new carriage house with access from an alley or secondary street. - Place a new carriage house behind the primary structure, along an alley. - If locating a carriage house along an alley or at the rear of the property is not feasible, place a carriage house to have access along the side yard. - Where there is no alley or where there is historic precedence, the use of a side-yard driveway for access to a carriage house may be acceptable. - Where a side-yard driveway is being used instead of an alleyway, use appropriate landscaping to screen the driveway	+	The proposed new two-story carriage house is subordinate in size and form to the three-story main structure as viewed from the public right-of-way. It is compatible in form, as it is rectangular, which mimics the rectangular form of the primary structure. It is compatible in color and material as the roof material and siding materials speak to the materials found on the primary structure. The new carriage house will be setback 0' from the alley and 2' from the side property lines, which are distances consistent with other secondary structures found in the surrounding historic context. The carriage house will have vehicular access from the alley and pedestrian access from the rear yard.
G.13	Preserve a historic carport when feasible. - Keep a carport in good repair. - Preserve a character defining building component of a historically significant or contributing carport.	NA	
G.14	Repair a historic carport with in-kind materials or with approved materials that mimic the original materials.	NA	
G.15	Preserve a historic paved feature when repairing or replacing a historic carport. - Preserve a historic stone curb or brick alley. - Repair a historic stone curb or brick alley. - When installing a new concrete apron, do not damage a stone curb or brick alley (see diagram).	NA	
G.16	When replacing a deteriorated carport or constructing a new carport, design a structure that is subordinate in size and form to the main structure as viewed from the public right-of-way and is compatible in form, color, and material to the primary building and to the surrounding historic context. - Design a new carport to be light in form with no ornate details. - Design the height of a new carport to be within the range seen in the surrounding historic context. - Use a simplified version of building components and details found in the surrounding historic context.	NA	

	Guideline	Finding	Comment
	- Design a new garage to be minimally visible from the primary street. - Design a new carport with access from an alley or secondary street. - Place a new carport behind the primary structure, along an alley. - If locating a carport along an alley or at the rear of the property is not feasible, place a carport to have access along the side yard. - Where there is no alley or where there is historic precedence, the use of a side-yard driveway for access to a carport may be acceptable. - Where a side-yard driveway is being used instead of an alleyway, use appropriate landscaping to screen the driveway.		

Site

Standard Design Guideline Checklist

+	Meets Guidelines	NA	Not Applicable
-	Does Not Meet Guidelines	NSI	Not Sufficient Information
+/-	Meets Guidelines with Conditions		

	Guideline	Finding	Comment
ST.1	Preserve established property line patterns as well as street and alley widths in a preservation district. If re-platting is considered, draw boundaries based on historic development patterns.	NA	
ST.2	Maintain a walkway that connects the street and building when this is a character defining feature in the surrounding context.	NA	
ST.3	Install a new sidewalk to be compatible with the historic ones in the area. - Maintain the existing width of neighboring sidewalks. - Use a traditional sidewalk material as seen in the surrounding context, such as historic concrete mix or pavers. Match the pattern of the historic sidewalks where that is character defining.	NA	
ST.4	Minimize the visual impact of parking and delivery areas. - Provide access to structures from an alley wherever one exists. - If alley access is unfeasible, locate driveways, parking areas, and loading docks to the side and rear of properties. - Use landscaping to screen a parking area. - Plant and landscape a large parking lot to soften the impact of paving. - Do not use paving in the front yard for a parking area unless necessary due to site specific conditions or historically appropriate to the surrounding context. - Do not create a new driveway or garage that opens onto a primary street unless necessary due to site specific conditions or historically appropriate to the surrounding context.	+	The proposed carriage house will have access from the alley and will minimize the visual impact of parking areas on the property.
ST.5	Maintain a historically significant fence or site wall.	NA	
ST.6	Repair a historic fence with materials that match existing sections of historic fencing in height and detail.	NA	

	Guideline	Finding	Comment
	If an exact match of materials cannot be made, a simplified design that is subordinate to the historic is appropriate.		
ST.7	Design a new fence to be compatible with the architectural style of the house and existing fences in the surrounding context. - Install a metal fence under 3' in the front yard where there is historic precedent. Wood may be used where there is historic precedent in the District. - Install a rear- or side-yard privacy fence to be set back from the side wall by at least 2'. - Install a rear- or side-yard privacy fence so the finished side is presented out. - Use stained or painted wood for a wood privacy fence. - Any privacy fencing shall be 7' feet in height or less, as measured from grade, including any retaining walls. - Do not install a masonry wall in a street-visible location unless it is used to retain earth at changes in grade, screen service areas, or unless a historic precedent exists. - Do not install chain-link, split-rail, or woven-wood fencing or concrete block walls in areas visible from the public view unless historically appropriate to the surrounding context.	NA	
ST.8	Preserve a large tree in the front yard unless it is diseased, dying, and/or damaging the historic building. A report from an arborist can determine this. Select and place trees or landscaping that minimize the likelihood of damage to structures once mature.	NA	
ST.9	Maintain original front yard topography, including grades, slopes, elevations, and berms. - Do not recontour front-yard berms into stepped terraces. - Do not use railroad ties, landscape timbers, or other historically inappropriate materials for retaining walls. - Do not carry out excavations or regrading within or adjacent to a historic building, which could cause the foundation to shift or destroy significant archaeological resources.	NA	
ST.10	Use low-water and non-evasive species when considering a new planting. Consider the use of plantings and placement that will assist in managing rainfall at the site. These Low Impact Design (LID) strategies help to control rainfall and storm water runoff at the source. It also helps distribute storm water across the site to replenish groundwater supplies and contribute to overall water efficiency.	NA	
ST.11	Match the grade of adjacent properties with new construction.	NA	
ST.12	Preserve and maintain a historic site wall or retaining wall. - Repair only the portion of a historic retaining wall or site wall that is deteriorated. - Preserve the character of a historic mortar joint when repointing a historic wall or retaining wall. - If an exact match cannot be made, a simplified design is appropriate.	NA	

	Guideline	Finding	Comment
ST.13	Explore alternatives before proposing significant site and topographical changes to a historic site. Alternatives include: - Construct a subterranean retaining wall to stabilize the slope, but that sits below the landscaped surface, and so remains invisible. - Use a stabilizing plant material or other ground cover that does not require mowing or a high degree of maintenance, rather than constructing a new retaining wall. - Construct a low, transparent fence at the top of the slope to provide an enclosed front yard area for children or pets, rather than replacing the slope with a new retaining wall. - Where low curbing (approximately 6") is prevalent, replicate this rather than constructing a wall.	NA	
ST.14	Avoid adding a new retaining wall until all alternatives have been explored. - Only add a new retaining wall that will alter the slope of a historic front yard area where at least one of the following conditions is present: - The slope is not a character defining feature of the preservation district or individual landmark. - There is a high level of variety in the treatment of front yard areas among adjacent properties, including retaining walls. - The front yard slope is unstable, threatens the foundation of a historic structure, and other strategies have been tested and been unsuccessful.	NA	
ST.15	If all other strategies have failed, locate and design a new retaining wall to minimize impacts on the preservation district or historic property. - Use a low-kick wall, up to 2' in height, to help stabilize the yard while maintaining most of the historic slope. - Design a new retaining wall to minimize visual impacts on the character defining features of the historic property, block, and district. - Use a material that is historically significant to the preservation district or that relates to the historic property. - Avoid using terraced retaining walls. - Do not completely replace the slope with a tall retaining wall.	NA	
ST.16	Preserve a historic site material when possible. - Maintain a brick, stone, or poured concrete step or pathway wherever present. - Maintain historic curbing whenever possible. - Any replacement should use historic materials. If replacement with historic materials is not technically or economically feasible, a substitute material may be used if it duplicates the color, texture, pattern, and visual appearance of the original. - Use paving materials that are compatible with adjacent sites and architectural character.	NSI	Apron details have not been provided at the time of this report. A new concrete apron will be required to accommodate the two, single-car doors on the proposed carriage house. See conditions of approval.
ST.17	Preserve and maintain a historic lighting fixture if it is character defining, when possible.	NSI	No lighting was proposed at this time.
ST.18	Design new or replacement lighting that is in character with the setting. Use a fixture that is compatible with architectural and site design elements.	NA	

	Guideline	Finding	Comment
	• When adding a new fixture, use an understated fixture that is subordinate to the historic building. • When installing a new fixture, attach it in a way that does not damage the historic fabric. • Design lighting to be contained within a site and to not spill over to a neighboring property. • Softly illuminate an architectural feature if desired. • Direct light down and away from a neighboring property. • For a commercial property, minimize free standing lighting. Instead, use ambient light from a storefront as a light source. • Do not use an imitation historic fixture that may convey a false sense of history. • Do not use a light source that creates a harsh glare or color. • Do not light parking lots in a harsh manner. • Do not use a blinking or animated light.		
ST19	Minimize the visual impact of a service area and its related fixtures. • Position an air conditioning unit, satellite dish, greenhouse addition, overhead wiring, or other fixture type on a secondary elevation where they do not detract from the character of the site. • Screen a cellular tower and associated fixture from view. • Install a utility line underground wherever possible. • Do not harm historic resources through road widening, driveway construction, or underground utility repair.	NA	
ST.20	Locate pools in the rear yard. Do not harm historic resources during the construction of a pool.	NA	