

EROSION CONTROL NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPP PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. SWPPP BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.

PRELIMINARY APPROVAL

DEVELOPMENT PLAN

CONDITIONS:

DATE: 2-9-14
LOUISVILLE/JEFFERSON COUNTY METRO PUBLIC WORKS

PRELIMINARY APPROVAL

Condition of Approval:

Development Review Date: 2/9/14

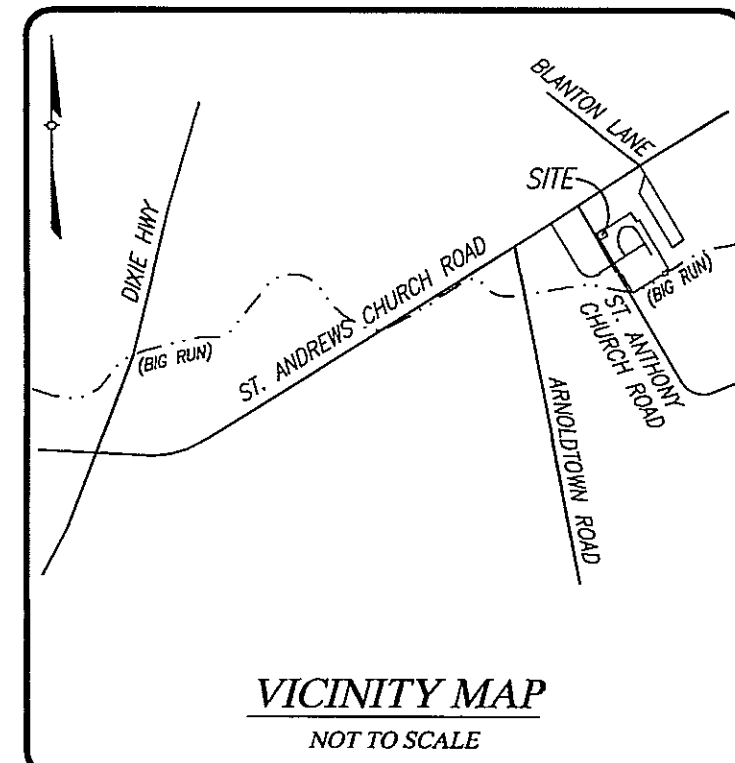
Date: 2/9/14

LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

LEGEND

FINISHED FLOOR ELEVATION
EXISTING
PROPOSED
SANITARY MANHOLE
STORM MANHOLE
EX. EDGE OF PAVEMENT
EX. FENCE
EX. FLOOD PLAN
EX. SWALE
EX. STORM SEWER W/ STONE BAG INLET PROTECTION
EX. SANITARY SEWER PROPERTY LINE
PR. PSC
PROPERTY SILT FENCE
PR. CONSTRUCTION ENTRANCE
PR. CONCRETE PAVEMENT

F.F.E.
EX.
PR.
SANMH
STRMH



NOTES

- 1) WASTEWATER: SANITARY SEWER WILL USE EXISTING PSC. EXISTING FLOWS TREATED AT THE DEREK R. GUTHRIE WATER QUALITY TREATMENT CENTER.
- 2) DOMESTIC WATER SUPPLY: SUBJECT SITE SERVED BY THE LOUISVILLE WATER COMPANY.
- 3) DRAINAGE: DRAINAGE PATTERN DEPICTED BY ARROWS (→) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
- 4) THE DEVELOPMENT LIES IN THE PLEASANT RIDGE PARK DISTRICT.
- 5) A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21111C0089E REV. DECEMBER 5, 2006).
- 6) ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJACENT RESIDENTIAL AREAS.
- 7) ANY PROPOSED DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH CHAPTER 10.
- 8) PRIOR TO ANY CONSTRUCTION ACTIVITY, AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL.
- 9) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT PARTICULATE MATTER FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- 10) EXISTING PARKING ON PARCELS OWNED BY GP ENTERPRISES, LLC. ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO THE CONDITIONS OF APPROVAL AND BINDING ELEMENTS ASSOCIATED WITH DOCKET #9-15-00.
- 11) FINISH FLOOR ELEVATION (F.F.E.) WILL BE ONE (1) FOOT ABOVE FLOODPLAIN ELEVATION. DIVISION OF WATER APPROVAL REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.

WAIVER REQUEST

- 1) A LANDSCAPE BUFFER AREA WAIVER OF 15'-FT. PER SECTION 10.2.4 AND SECTION 10.2.10 OF THE LAND DEVELOPMENT CODE.
- 2) A PERIMETER PLANTING WAIVER OF PLANT MATERIAL PER SECTION 10.2.5 AND SECTION 10.2.11 OF THE LAND DEVELOPMENT CODE.

IMPERVIOUS AREA

PRE 712 S.F.
POST 8,100 S.F.

PARKING SUMMARY

PROPOSED UNITS 8 UNITS
MIN. PARKING REQUIRED (199/1.5 UNITS) 12 SPACES
MAX. PARKING PERMITTED (199/3 UNITS) 24 SPACES
PARKING PROVIDED 19 SPACES
(INCLUDING 1 ADA SPACE)

*SHARED PARKING WITH ADJOINING PROPERTY OWNED BY GP ENTERPRISES, LLC.
PARKING SUMMARY OF ADJOINING PROPERTY:
UNITS 120 UNITS
MIN. PARKING REQUIRED (199/1.5 UNITS) 180 SPACES
MAX. PARKING PERMITTED (199/3 UNITS) 340 SPACES
PARKING PROVIDED 194 SPACES
(INCLUDING 6 ADA SPACES)

LANDSCAPE DATA

PROPOSED V.I.A. 3,368 S.F.
I.L.A. REQUIRED (NONE) 0 S.F.
I.L.A. PROVIDED 150 S.F.

TREE CANOPY CALCULATIONS

GROSS SITE AREA 20,809 S.F.
EXISTING TREE COVERAGE CLASS C (02-40%) 0 S.F. (0%)
PERCENTAGE OF TREE CANOPY PRESERVED 0 S.F. (0%)
PERCENTAGE OF TREE CANOPY REQUIRED 4,182 S.F. (20%)
PERCENTAGE OF TREE CANOPY PLANTED 4,182 S.F. (20%)

SITE DATA

7101 ST. ANTHONY CHURCH ROAD
LOUISVILLE, KY 40214
TAX BLOCK 1033, LOT 211
DEED BOOK 9151, PAGE 359

SITE AREA 0.462 ACRES
FORM DISTRICT NEIGHBORHOOD
EX. ZONING OR-3
EX. LAND USE VACANT
PR. LAND USE CONDOMINIUMS
MAX F.A.R. 4.0
MAX DENSITY 145 D.U./ACRE

SETBACK DATA

FRONT YARD 10' SUPPLEMENTAL SETBACK 10'
STREET SIDE YARD N/A
SIDE YARD 0'
REAR YARD 15'
MAX. BLDG HEIGHT 45'

OWNER / DEVELOPER

OLD 3RD PROPERTIES, LLC.
920 DUPONT ROAD
LOUISVILLE, KY 40207

RECEIVED
MAR 24 2014
PLANNING & DESIGN SERVICES

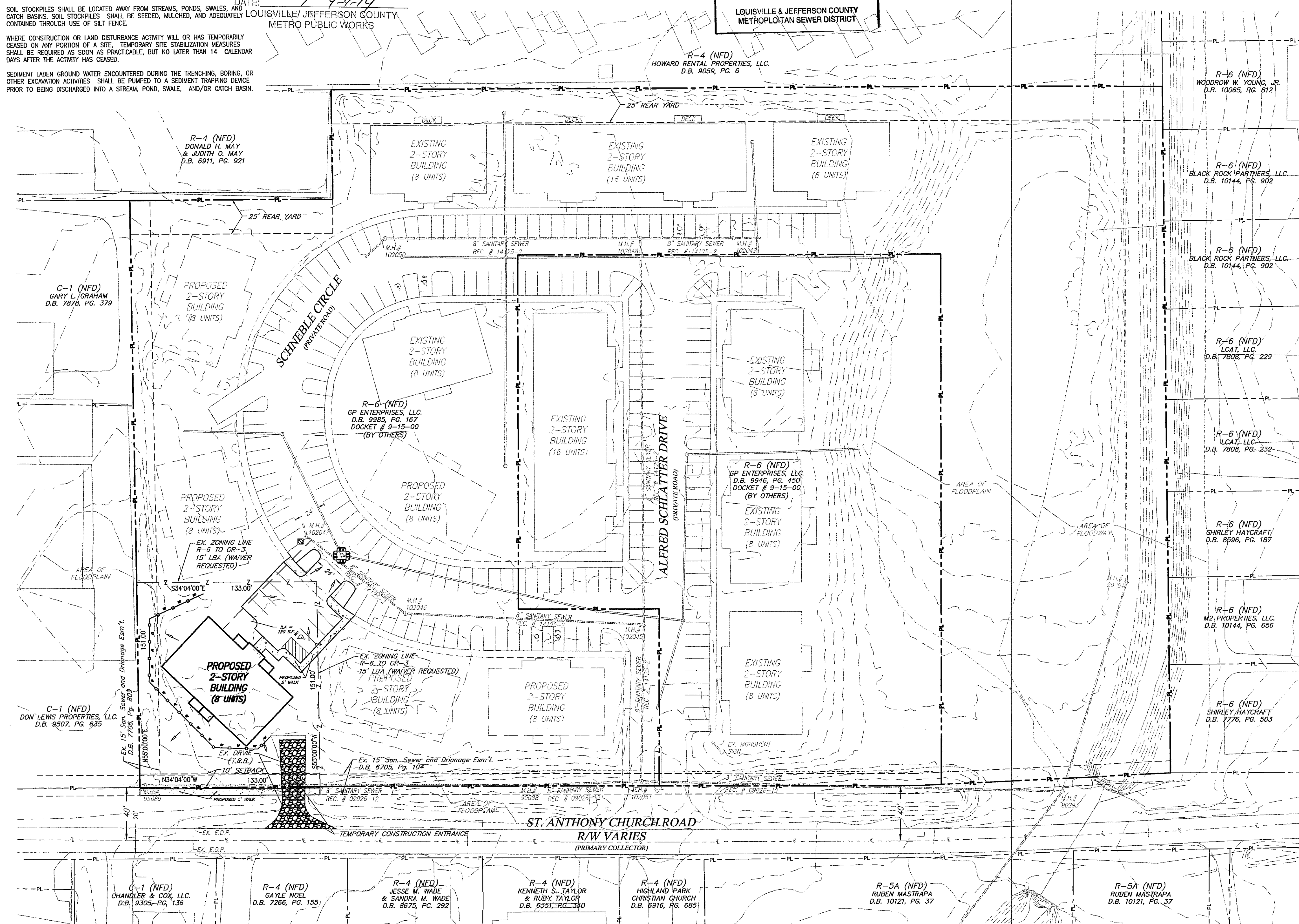
JOB NO: 14001
HORIZ. SCALE: 1"=40'
VERTICAL SCALE: N/A
DESIGNED BY: JDC
DETAILED BY: JDC
CHECKED BY: SWH
DATE: FEBRUARY 6, 2014

SHEET

C02

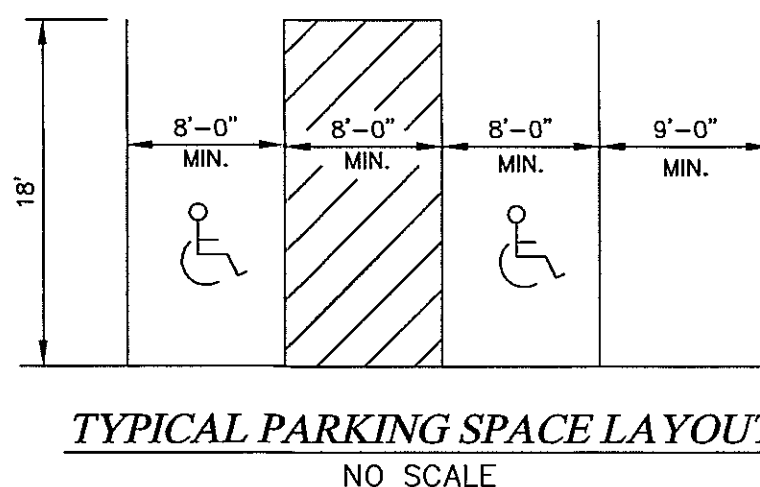
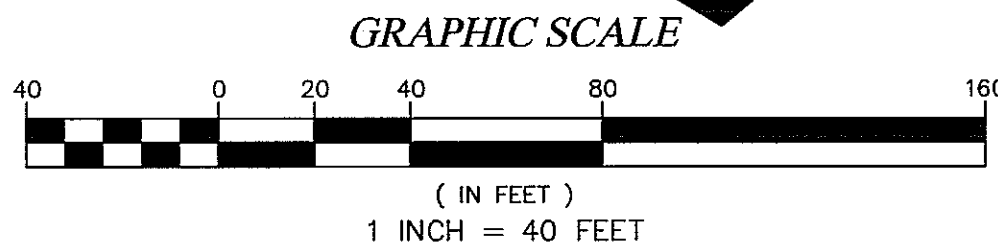
CASE# 14DEVPLAN1013 RELATED# 9-15-00 WM# 7060

14DEVPLAN1013



UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



X:\VA-Projects-2014\14001 - St. Anthony Landing\14001 - C02 - St. Anthony Landing.dwg PLOT DATE: March 24, 2014 - 11:21am

Revision	Date	Description	Designed by	Checked by	Approved By
1	3/10/14	Agency Comments	JDC		