

R-4 REQUIREMENTS

Table with 2 columns: Requirement and Value. Includes MINIMUM LOT AREA (9,000 SF), MINIMUM SIDE YARD (5'), MIN. FRONT YARD & STREET SIDE YARD (30'), etc.

R-5A REQUIREMENTS

Table with 2 columns: Requirement and Value. Includes MINIMUM LOT AREA (6,000 SF), MINIMUM SIDE YARD (5'), MIN. FRONT YARD & STREET SIDE YARD (20'), etc.

BENCHMARK DESCRIPTIONS

TEMPorary RAILROAD SPIKE IN UTILITY POLE. UTILITY POLE IS LOCATED ON THE NORTH SIDE OF OLD HEADY ROAD 100' +/- EAST OF THE CENTERLINE OF THE DRIVEWAY AT 5020 OLD HEADY ROAD. ELEVATION=683.976' (NAVD 88)

VARIANCE REQUESTS

- 1. A VARIANCE IS REQUESTED FROM SECTION 5.3.1.C.4 OF THE LAND DEVELOPMENT CODE TO NOT PROVIDE THE FUTURE URTON LANE COLLECTOR LEVEL ROAD SUPPLEMENTAL SETBACK WITHIN THE PROPOSED SUBDIVISION.
2. A VARIANCE IS REQUESTED FROM SECTION 5.3.1.C.4 OF THE LAND DEVELOPMENT CODE TO NOT PROVIDE THE FUTURE URTON LANE COLLECTOR LEVEL ROAD SUPPLEMENTAL SETBACK WITHIN THE MULTI-FAMILY PORTION OF THE PROPOSED DEVELOPMENT.

SIDEWALK WAIVER REQUEST

- 1. A WAIVER IS REQUESTED FROM SECTION 6.2.6 OF THE LDC TO NOT PROVIDE A SIDEWALK ALONG THE NORTHWESTERN PORTION OF PROPOSED STREET 'A' THAT ADJUTS ADJACENT PROPERTIES.

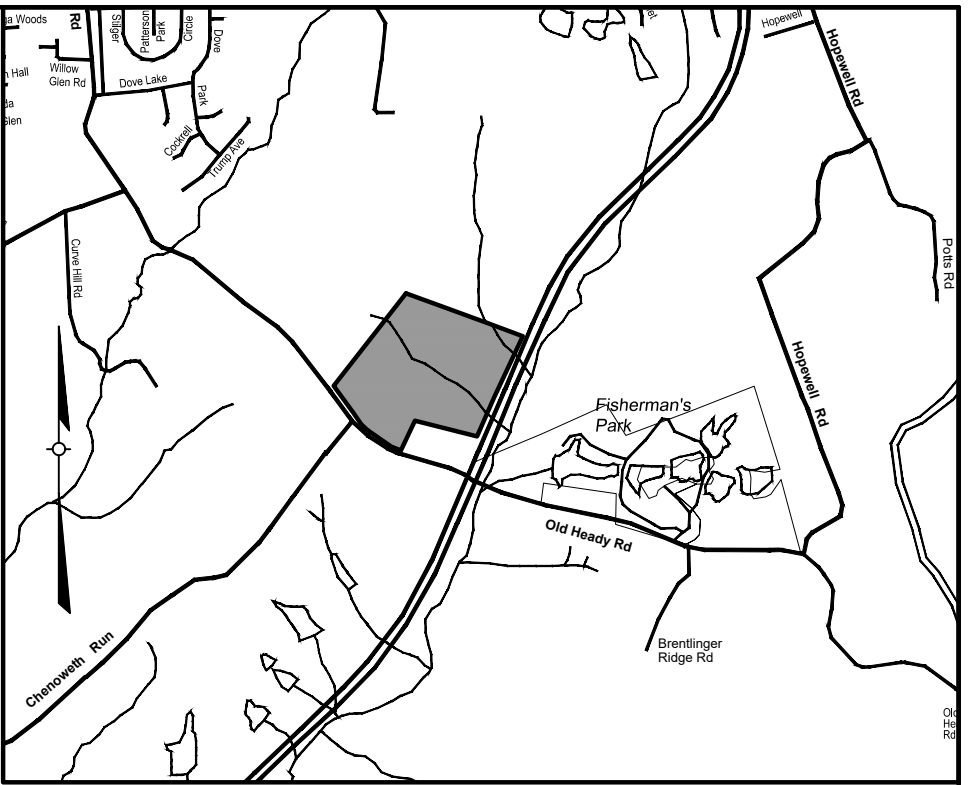
MAXIMUM BALANCE TRANSFER LOT CALCULATIONS (TRACT 1)

Table with 2 columns: Variable and Value. Includes MLP - MAXIMUM LOTS PERMITTED (49.6± Ac.), TA - TOTAL LAND AREA (49.6± Ac.), SS - STEEP SLOPES (3.6± Ac.), IA - INFRASTRUCTURE (9.7± Ac.).

NOTE: Only the areas of steep slopes within open space lots are being used for the balance transfer area calculations.

PROJECT DATA

Table with 2 columns: Requirement and Value. Includes TOTAL SITE AREA (56.3± Ac.), RIGHT OF WAY DEDICATION AREA (0.3± Ac.), NET SITE AREA (56.0± Ac.), EXISTING ZONING (R-4), FORM DISTRICT (NEIGHBORHOOD), EXISTING USE (SINGLE FAMILY RESIDENTIAL), PROPOSED USE (SINGLE FAMILY/MULTI-FAMILY RESIDENTIAL).



TRACT 1

Table with 2 columns: Requirement and Value. Includes TRACT 1 AREA (49.6± Ac.), AREA OF RIGHT OF WAY (9.7± Ac.), NET SITE AREA (39.9± Ac.), EXISTING ZONING (R-4), FORM DISTRICT (NEIGHBORHOOD), EXISTING USE (SINGLE FAMILY RESIDENTIAL TO REMAIN), TOTAL # RESIDENTIAL LOTS (119 LOTS), TOTAL ARE OF LOTS (954,188 SF), DENSITY (2.39 DU/AC.), NET DENSITY (2.98 DU/AC.), OPEN SPACE PROVIDED (18.1± Ac.).

TRACT 2

Table with 2 columns: Requirement and Value. Includes TRACT 2 AREA (6.4± Ac.), EXISTING ZONING (R-4), PROPOSED ZONING (R-5A), FORM DISTRICT (NEIGHBORHOOD), EXISTING USE (SINGLE FAMILY RESIDENTIAL), PROPOSED USE (MULTI FAMILY RESIDENTIAL), TOTAL UNITS (25 UNITS), BUILDING HEIGHT (28' (35' MAX. ALLOWED)), BUILDING AREA (51,058 SF), F.A.R. (0.18 (0.5 MAX. ALLOWED)), GROSS DENSITY (3.91 DU/AC.).

PARKING REQUIRED

Table with 2 columns: Requirement and Value. Includes 1 SP/UNIT MIN. (25 SP), 2 SP/UNIT MAX. (50 SP), TOTAL PARKING PROVIDED (50 GARAGE SPACES).

Table with 2 columns: Requirement and Value. Includes TOTAL VEHICULAR USE AREA (34,342 SF), INTERIOR LANDSCAPE AREA REQUIRED (2,572 SF), INTERIOR LANDSCAPE AREA PROVIDED (12,691 SF).

Table with 2 columns: Requirement and Value. Includes OPEN SPACE REQUIRED (3% REQUIRED PER TABLE 5.4.1), OPEN SPACE PROVIDED (0.0± Ac.), EXISTING IMPERVIOUS (0 SF), PROPOSED IMPERVIOUS (85,400 SF).

NOTES

- GENERAL
1. No lots shown herein may be subdivided or resubdivided resulting in the creation of a greater number of lots than originally approved by the planning commission.
2. Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities.
3. Sanitary sewer service provided by Lateral Extension, subject to fees and any applicable charges.
4. A 'Request for Sanitary Sewer Capacity' has been filed with MSD.
5. All proposed sewer and drain easements shall be 15' unless otherwise indicated.
6. The Louisville Water Company will determine the width of their easement prior to construction plan approval.
7. LG&E approval required prior to the proposed sewer alignment prior to MSD construction approval.
8. The applicant shall provide an evaluation of the sewerage upstream of this property.
9. Any proposed lots encroaching into the required 25' buffer areas shall be shown and noted on the record plat.

SEWER & DRAINAGE

- 1. On-site detention will be provided. Past-developed peak flows will be limited to pre-developed peak flows for the 2.10,25 and 100 year storms or to the capacity of the downstream system, whichever is more restrictive.
2. No portion of the site is located in a floodplain per FIRM map 21111 C 0082 E dated December 5, 2005.
3. Sanitary sewer service provided by Lateral Extension, subject to fees and any applicable charges.
4. A 'Request for Sanitary Sewer Capacity' has been filed with MSD.
5. All proposed sewer and drain easements shall be 15' unless otherwise indicated.
6. The Louisville Water Company will determine the width of their easement prior to construction plan approval.
7. LG&E approval required prior to the proposed sewer alignment prior to MSD construction approval.
8. The applicant shall provide an evaluation of the sewerage upstream of this property.
9. Any proposed lots encroaching into the required 25' buffer areas shall be shown and noted on the record plat.

STREETS & SIDEWALKS

- 1. All roads within the development shall have curb and gutters.
2. Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
3. Street grades shall not be less than 1% (min.) or 10% (max.).
4. A Bond & Encroachment Permit is required by Metro Public Works for all work within the Old Heady Road Right-Of-Way, and for roadway approaches on all surrounding access roads to the subdivision site due to damages caused by construction traffic.
5. Verges shall be provided as required by Metro Public Works.
6. All streets, intersections, loop roads, cul-de-sacs, bulbs, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
7. All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plat or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
8. The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
9. Should any existing drainage structures and/or utilities located within offsite rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
10. A Bond and Encroachment Permit will be required by Metro Public Works for roadway repairs within the site due to damage caused by construction traffic activities.
11. All roadway intersections shall meet the requirements for loading areas as set by Metro Public Works.
12. Sidewalks shall be provided with the Old Heady Right of Way.

DETENTION BASIN #1 CALCULATIONS

Table with 2 columns: Variable and Value. Includes X = ΔCRA/12, ΔC = 0.55-0.25=0.30, A = 18.4 ACRES, R = 2.8 INCHES, X = (0.30)(18.4)(2.8)/12 = 1.27 AC.-FT., REQUIRED X = 56,200 CU.FT., PROVIDED BASIN = 31,000 SQ.FT.

DETENTION BASIN #2 CALCULATIONS

Table with 2 columns: Variable and Value. Includes X = ΔCRA/12, ΔC = 0.55-0.25=0.25, A = 4.02 ACRES, R = 2.8 INCHES, X = (0.25)(4.02)(2.8)/12 = 0.23 AC.-FT., REQUIRED X = 10,200 CU.FT., PROVIDED BASIN = 3,236 SQ.FT.

DETENTION BASIN #3 CALCULATIONS

Table with 2 columns: Variable and Value. Includes X = ΔCRA/12, ΔC = 0.55-0.25=0.25, A = 10.3 ACRES, R = 2.8 INCHES, X = (0.25)(10.3)(2.8)/12 = 0.60 AC.-FT., REQUIRED X = 26,100 CU.FT., PROVIDED BASIN = 9,690 SQ.FT.

SLOPES TABLE

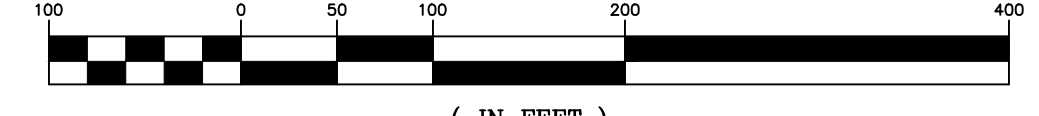
Table with 3 columns: MINIMUM SLOPE, MAXIMUM SLOPE, COLOR. Includes 20.00%, 30.00%, 30.01%.

LEGEND

- Proposed storm sewer, catch basin and creekstone headwall
Proposed sewer and manhole
Proposed drainage swale
Proposed drainage arrows
Limits of disturbance
Utility pole
Fire hydrant
Catch basin
Water valve
Underground water line
Underground gas line
Overhead electric line

Table with 4 columns: NO., DATE, DESCRIPTION, BY. Includes revisions for agency comments and lot assignments.

GRAPHIC SCALE



PRELIMINARY NOT FOR CONSTRUCTION

PROFESSIONAL STAMP

TREE CANOPY CALCULATIONS

Table with 2 columns: Requirement and Value. Includes TOTAL SITE AREA (2,440,768 S.F.), EXISTING TREE CANOPY COVERAGE (60% (1,486,348 S.F.)), EXISTING TREE CANOPY TO BE PRESERVED (20% (297,270 S.F.)), TOTAL TREE CANOPY AREA REQUIRED (40% (976,307 S.F.)), TOTAL TREE CANOPY TO BE PROVIDED (40% (976,307 S.F.)).

GARRETT BRIDWELL

PRELIMINARY SUBDIVISION PLAN

OWNERS: DANIEL T & TODD A BRIDWELL, 560 CHATMAN LN, TAYLORSVILLE, KY 40071

PREPARED BY: LAND DESIGN & DEVELOPMENT, INC., 503 WASHBURN AVENUE, SUITE 101, LOUISVILLE, KENTUCKY 40222, PHONE: (502) 426-9374, FAX: (502) 426-9375, JOB: 20130, WM #12239, DATE: 2/22/21, CASE #21ZONE0016