

General Notes:

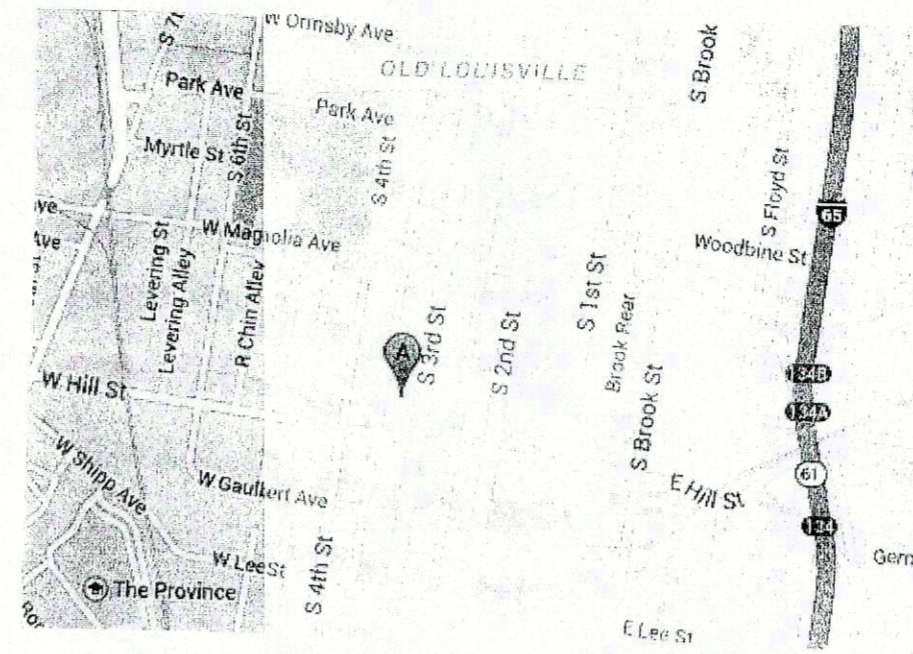
1. All construction shall conform to the current edition of the governing building code. Codes shall govern over drawings.
2. Dimensions govern over scale. Dimensions are to face of stud.
3. Contractor shall acquire and pay for all required permits and inspections.
4. Contractor shall be insured and carry Workman's Compensation and Liability Insurance.
5. Contractor shall remove all construction debris and unnecessary materials to a safe, legal site.
6. Contractor shall patch to match all existing adjacent surfaces exposed or damaged due to demolition or new construction.
7. Contractor shall provide all trades necessary to complete scope of work. Each sub-contractor shall be responsible for the code compliance for their part of scope of work.
8. Contractor shall coordinate all trades.
9. Contractor shall provide a construction barrier around work areas, floor to ceiling. Existing house shall be weather-tight at all times throughout project.
10. Contractor shall clean up at the end of each workday.
11. Contractor shall verify all existing conditions prior to beginning of construction. Any design discrepancies shall be brought to the Architect's attention prior to work performed.
12. Contractor shall verify all mechanical and plumbing requirements before framing. Plumber shall use "Pex" type tubing for water lines.
13. Contractor shall verify size and location of all structural members with appropriate source.
14. Contractor shall keep site secure and maintained throughout project.

Architectural General Notes:

1. Paint refers to (1) prime coat and (2) finish coats of paint with the formula fitting for the material to which it is applied. At exterior surfaces, other than doors and windows, use Sherwin-Williams "Duration" paint.
2. All installations shall be as per manufacturer recommendations.
3. Use fastener structurally adequate for secure and permanent attachment.
4. REMOVE indicates to remove all related attachments and accessories as well as materials. Provide temporary supports to existing structure where needed to maintain existing structure's integrity.
5. Framing lumber shall be Southern Yellow Pine, Douglas Fir or Spruce #2 grade or better.
6. Contractor shall call B.U.D. at 1-800-752-6007 to verify utility locations.
7. All finish colors, stains, materials shall be selected by owner.
8. Door hardware: contractor shall include a medium-high price allowance, selected by owner, installed by contractor.

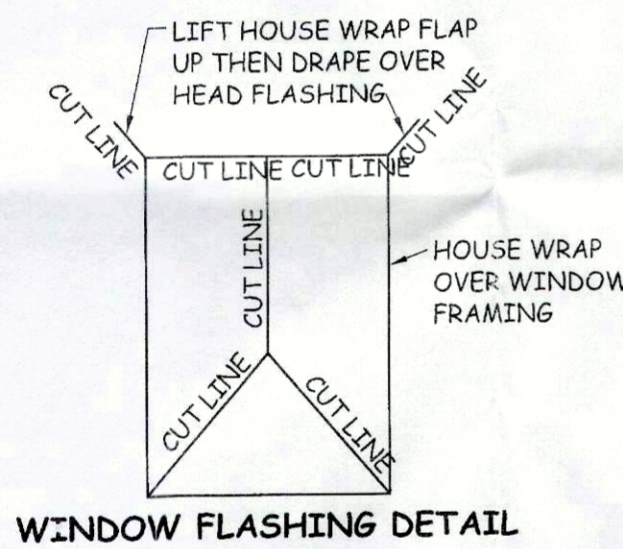
Structural Notes:

1. 1500 PSF soil bearing is assumed.
2. All footings shall bear on undisturbed soil below frost line (24" min).
3. Concrete shall be proportioned to develop compressive strength of 3500 PSI in 28 days.
4. All structural wood shall bear the grade mark of the grading rules agency having jurisdiction (follow framing lumber specifications).
5. Nailing schedule shall follow current 2006 Kentucky Residential Building Code.
6. Design Loads: Living spaces floor joists @ 16" oc - 40 psf live, 15 psf dead; No storage, ceiling joists @ 24" oc - 20 psf live, 5 psf dead; Snow region, medium roof covering, drywall, no attic, roof rafters @ 24" oc, - 40 psf live, 15 psf dead
7. Rafters, floor joists, collar ties, beams shall be designed for L/480 deflection.

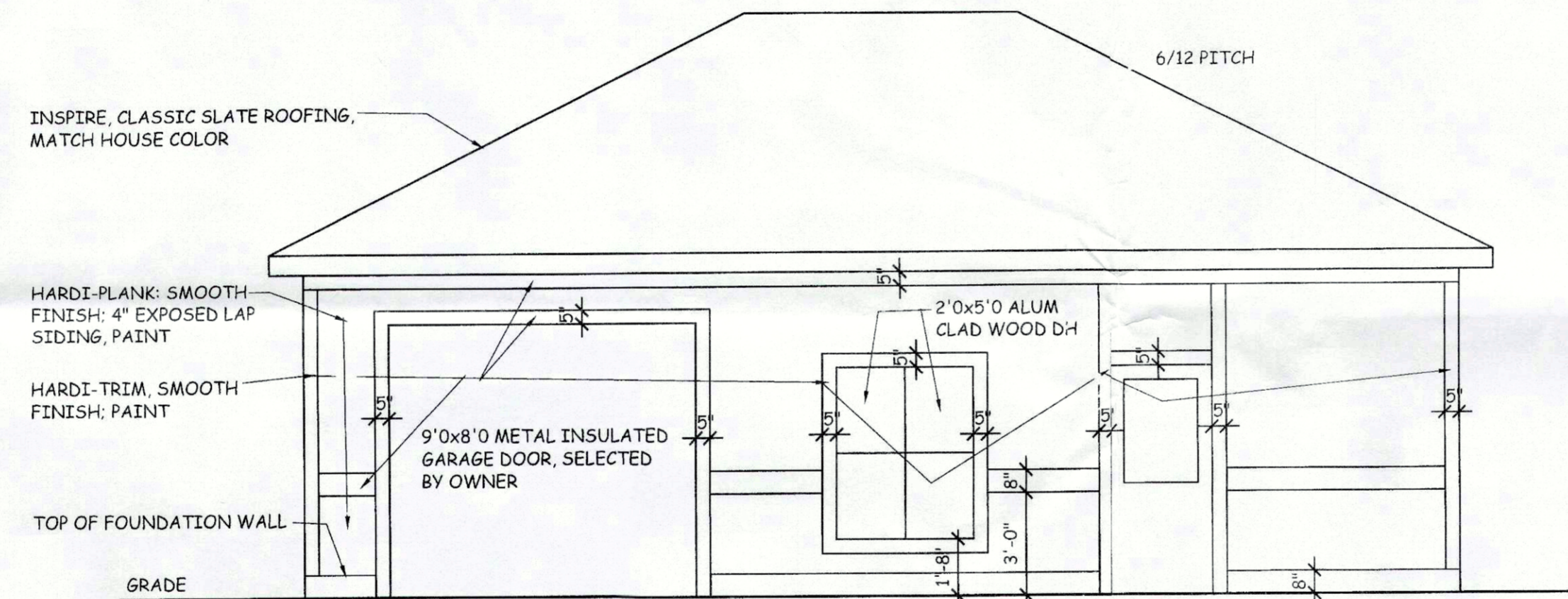


NOTE HARDI MATERIAL
HARDI TRIM - SMOOTH SURFACE
HARDI PLANK - SMOOTH SURFACE

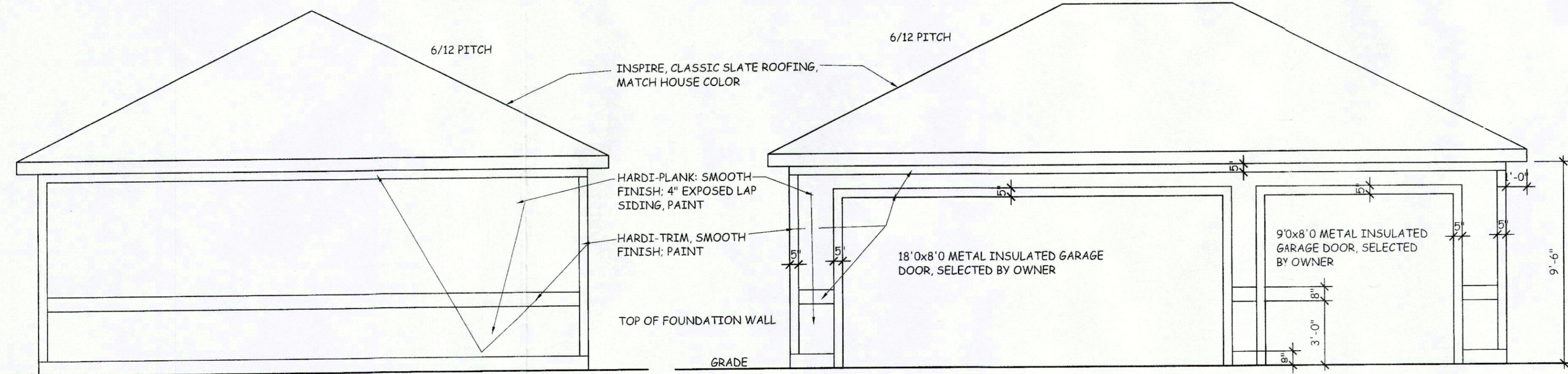
WINDOW NOTE
SIZES ARE ROUGH OPENING, AND VARY WITH MFGR'S STANDARD SIZES.
SUGGEST MARVIN OR APPROVED EQUAL
NO MULLIONS
ALUM CLAD EXTERIOR WOOD WINDOW: PAINT INTERIOR WOOD
INSULATED GLASS W/ LOW-E COATING
FULL BLACK INSECT SCREEN
STANDARD HARDWARE
BOTTOM SASH TEMPERED GLASS WHEN LESS THAN 20" ABOVE FLOOR
MOUNT WITH NAILING FINIS TO OUTSIDE FACE OF SHEATHING/HOUSEWRAP AS TEMP SUPPORT, MAKE WINDOW PLUMB AND LEVEL WITH WOOD SHIMS ALL SIDES.
INSTALL CONTINUOUS SEALANT AT WINDOW PERIMETER INSIDE AND OUTSIDE



WINDOW FLASHING
POSITIVE DRAINAGE: INSTALL SILL FLASHING FIRST; THEN INSTALL EACH JAMB FLASHING TO OVERLAP SILL FLASHING; THEN INSTALL HEAD FLASHING TO OVERLAP EACH JAMB FLASHING. DRAPE TYVEK HOUSEWRAP OVER HEAD FLASHING

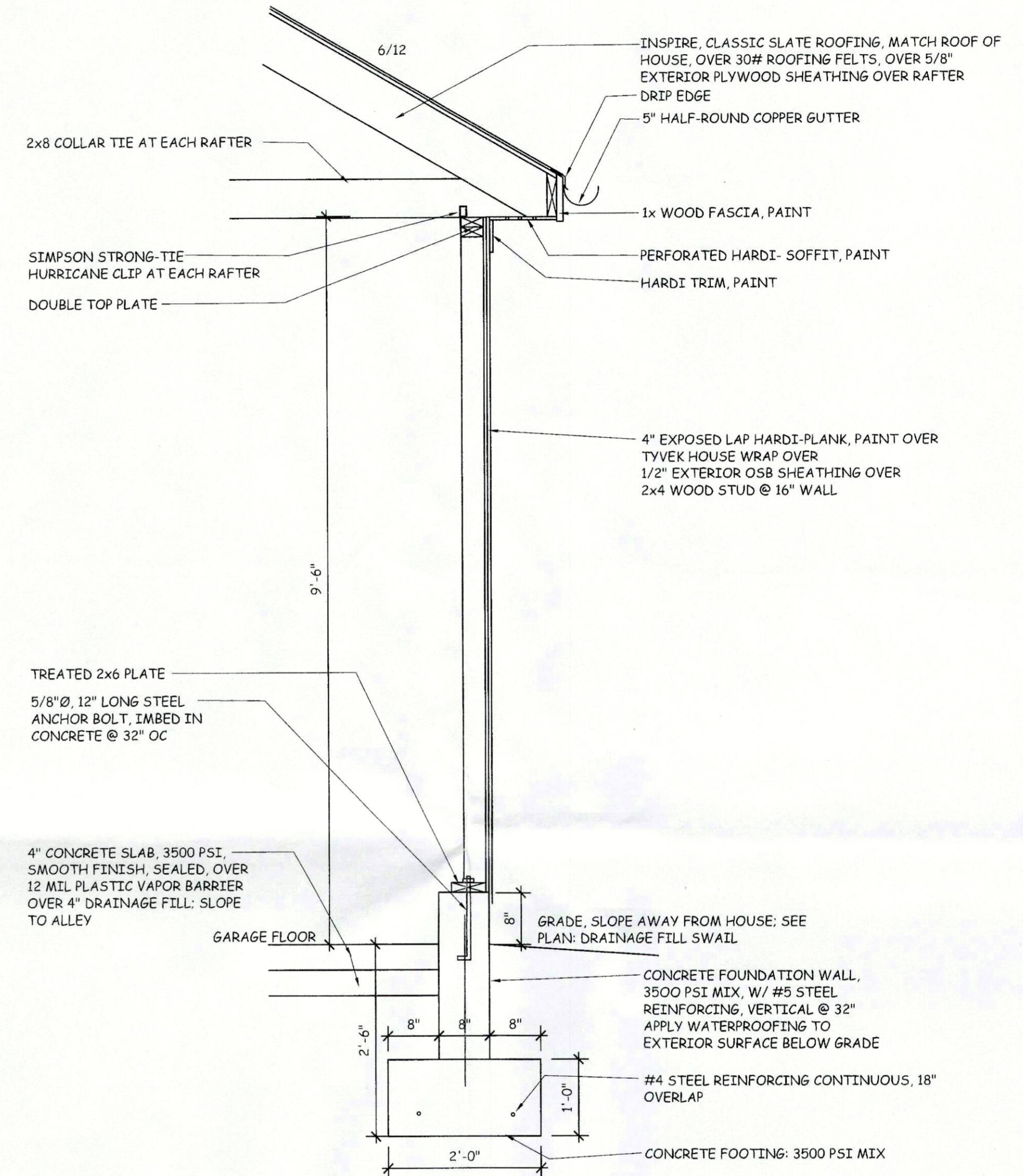


GARAGE ELEVATION FACING YARD
1/4"=1'-0"

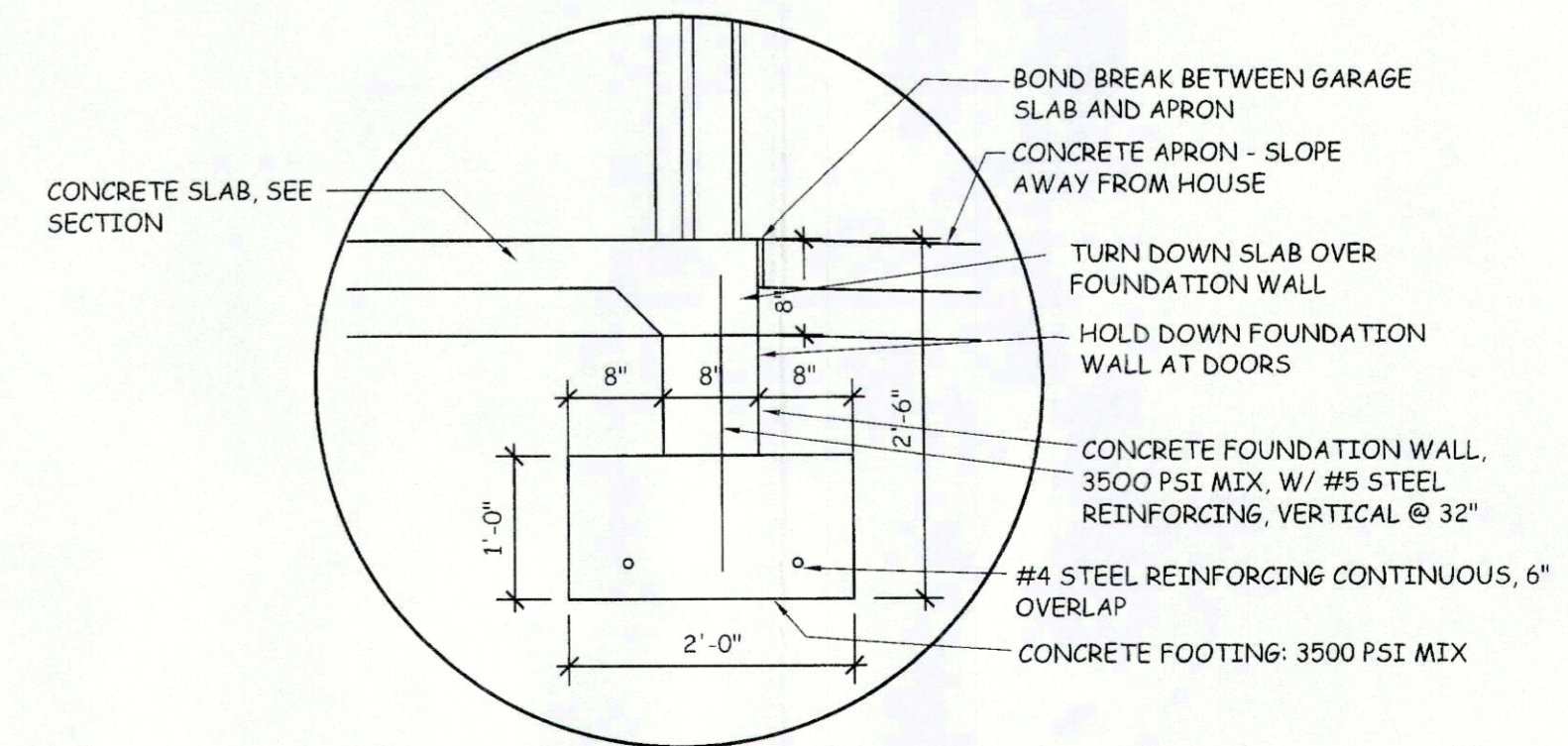


SIDE ELEVATION GARAGE
1/4"=1'-0"

GARAGE ELEVATION FACING ALLEY
1/4"=1'-0"



GARAGE WALL SECTION
3/4"=1'-0"



TURN DOWN SLAB AT GARAGE DOOR DETAIL
3/4"=1'-0"

Revisions:	
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Martin-Murrell Garage
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Title: General Notes Elevations Section
Scale: as noted
Date: 4/9/15

Sheet No.: