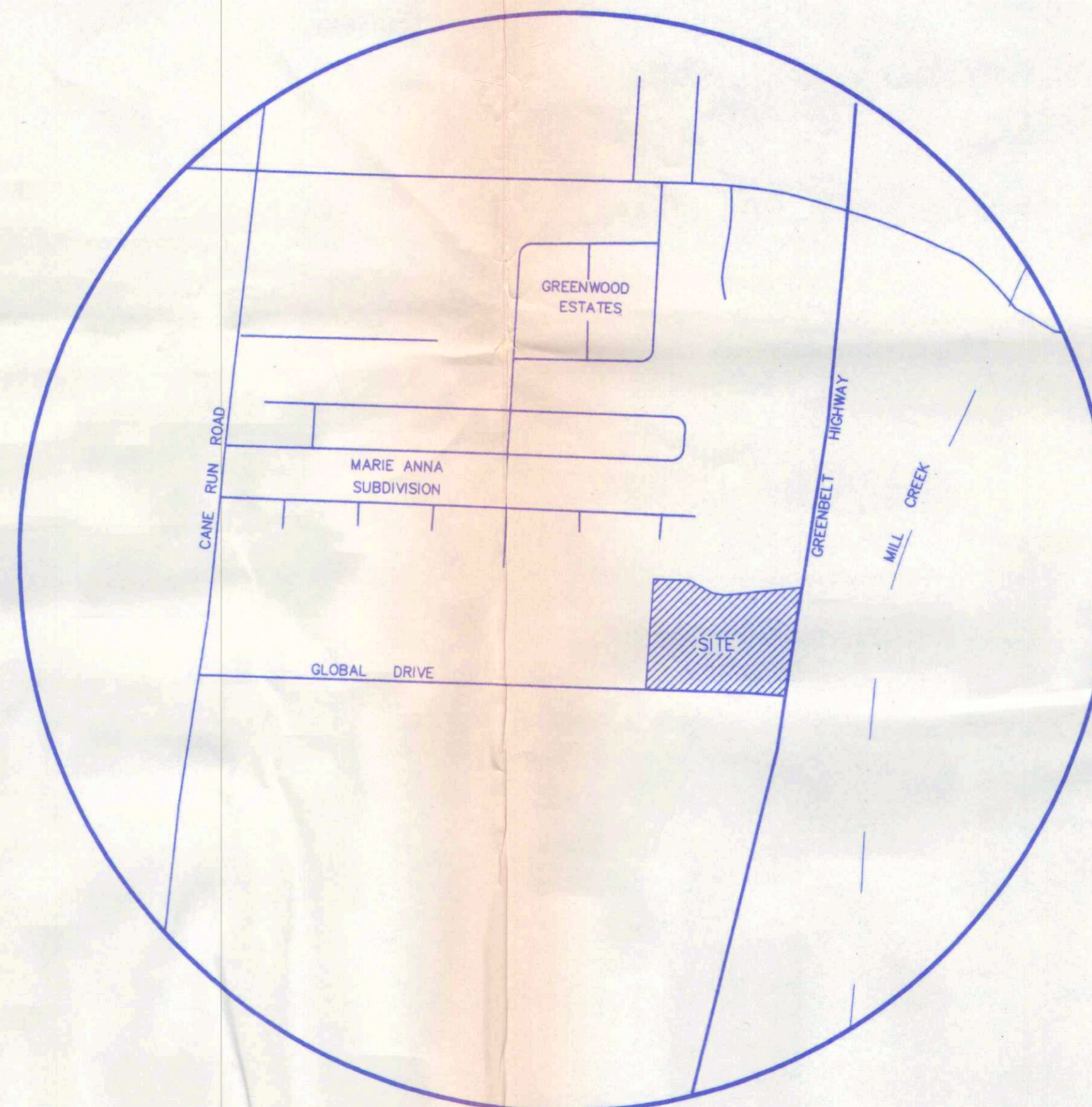


# SITE CONSTRUCTION PLANS OF RIVERGLO PLAZA GLOBAL DRIVE/RIVERPORT SECT. 4

JEFFERSON COUNTY  
APPROVED DISTRICT  
DEVELOPMENT PLAN  
DOCKET NO. 9-11-98  
APPROVAL DATE: June 25, 1998  
EXPIRATION DATE: June 25, 1998  
SIGNATURE OF PLANNING COMMISSION  
PLANNING COMMISSION

**NOTICE**  
PERMITS SHALL BE ISSUED  
ONLY IN CONFORMANCE  
WITH THE BINDING ELEMENTS  
OF THIS DISTRICT  
DEVELOPMENT PLAN



LOCATION MAP  
NOT TO SCALE

**CONSTRUCTION APPROVAL  
DEVELOPMENT PLAN**  
CONDITIONS: See page 3 of 9  
BY: RRB  
DATE: 8/5/98  
JEFFERSON COUNTY  
DEPT. OF PUBLIC WORKS

INDEX OF DRAWINGS	
SHEET #	DESCRIPTION
1	COVER SHEET
2	EXISTING TOPOGRAPHIC MAPPING
3	SITE LAYOUT & UTILITY PLAN
4	SANITARY SEWER EXTENSION & PRIVATE ACCESS ROAD PROFILES
5	PROPOSED HOTEL GRADING, DRAINAGE & EROSION CONTROL PLAN
6	RETAIL SHOPPING GRADING, DRAINAGE & EROSION CONTROL PLAN
7	SITE DETAILS
8	ARTICLE 12 COMPLIANCE PLAN
9	LANDSCAPE DETAILS & SPECIFICATIONS

Contact M.S.D.'s Watershed  
Coordinator @ 540-6427  
48 Hours PRIOR TO Start  
Of Construction To Schedule  
Inspection

**UTILITY PROTECTION NOTE**

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 1-800-752-6007, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT.

**EROSION CONTROL NOTE:**

Silt controls shall be installed prior to construction and shall be adequate to maintain sediment on site. Any modifications to silt controls shown on the approved plans as a result of actual field conditions or construction practices shall be installed in accordance with best management practices per the EPA's 1992 "Stormwater Management For Construction Activities" manual. Any such notifications shall be the responsibility of the owner and shall be installed as directed by MSD or the State Division of Water.

**CONSTRUCTION APPROVAL  
SURFACE WATER CONTROL**  
Conditions of Approval: \_\_\_\_\_  
DATE: 8/5/98  
WATER MANAGEMENT ENGINEER  
METROPOLITAN SEWER DISTRICT

**NOTE TO SITE CONTRACTOR**

THE SITE CONSTRUCTION PLANS CONTAINED HEREIN HAVE BEEN BASED UPON PROJECT PARAMETERS ESTABLISHED BY THE OWNER, GOVERNING AGENCIES AND OTHER DESIGN PROFESSIONALS ASSISTING IN THEIR PREPARATION.

REVISIONS BY SITE CONTRACTORS SHOULD BE UNDERTAKEN WITH THE UNDERSTANDING THAT ANY RESULTING PLAN REVISIONS OR REVIEW FEES SHALL BE AT THEIR SOLE RESPONSIBILITY.

8/04/1998

REF: F:\87-1848\COVER.DWG  
**BEI** BRYANT ENGINEERING INC.  
Civil Engineering • Land Surveying  
3000 WATER DRIVE  
P.O. BOX 2020  
OWENSBORO, KENTUCKY 40201  
502-685-2811

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	5/26/98	AS PER MSD & PUBLIC WORKS	BEI
2	7/21/98	AS PER LD&T	BEI

COVERSHEET

RIVERGLO PLAZA

DATE: 3-31-98  
SCALE: AS NOTED  
JOB NO.: 97-1948  
SHEET 1 OF 9

9-11-9

**ZONING NOTE:**

THE R-6 ZONE AS SHOWN HEREON IS CURRENTLY BEING CONSIDERED FOR A ZONING CHANGE TO E2-1. THE REZONING DOCKET NUMBER IS 91198.

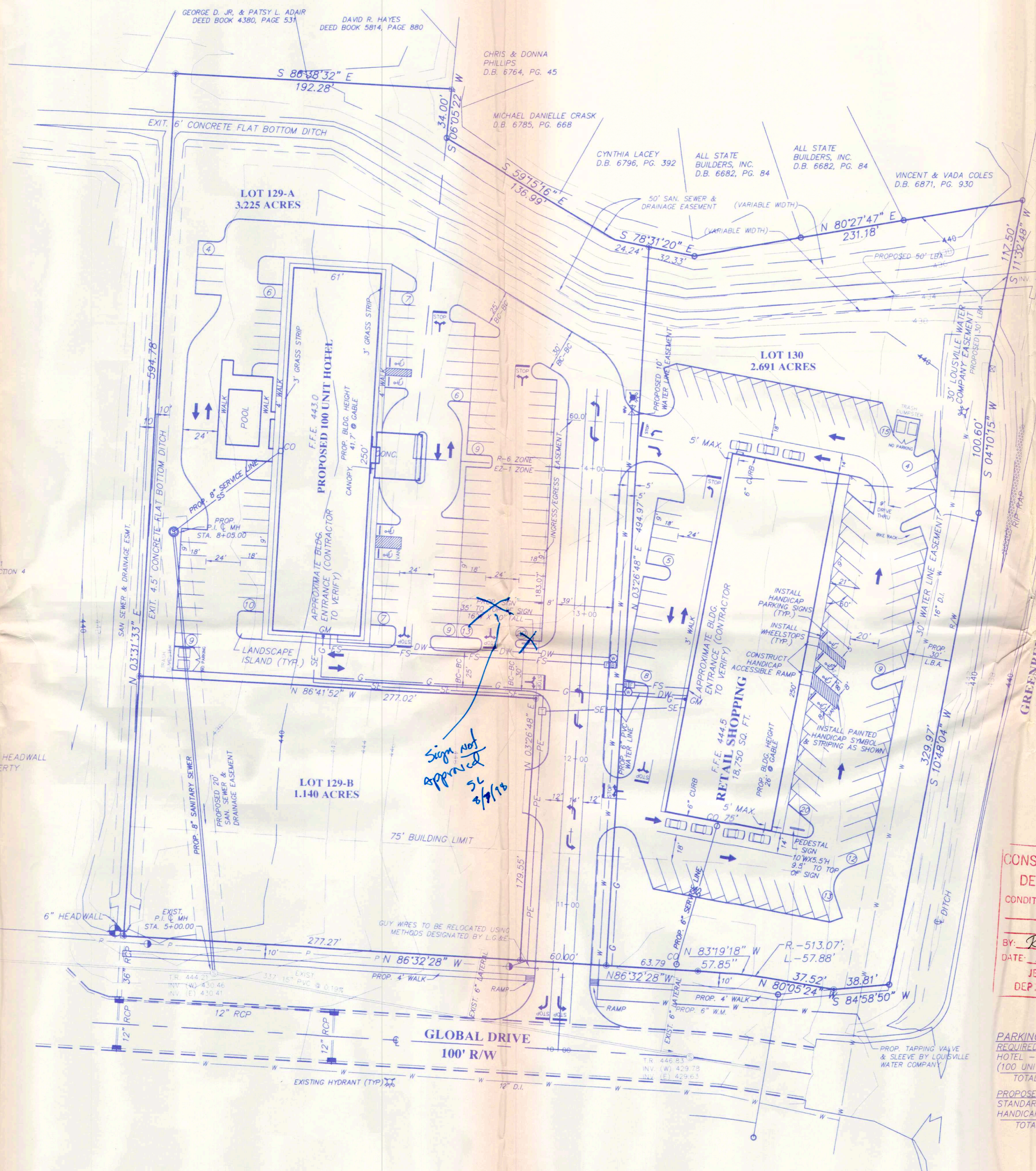
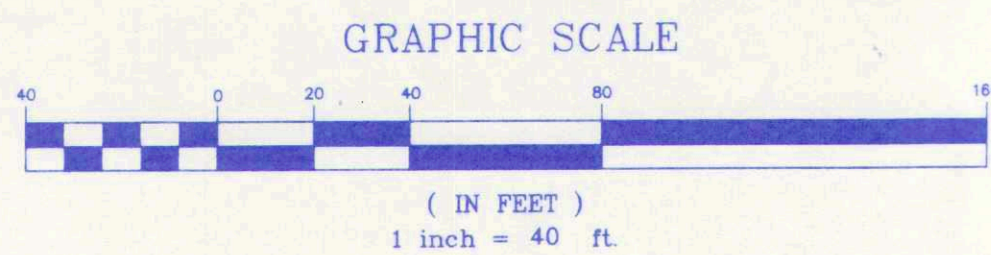
**PROPERTY ADDRESS (PENDING APPROVAL OF MINOR DIVISION)**

7021 & 7001 GLOBAL DRIVE  
 LOT 129 & LOT 130 RIVERPORT SECTION 4  
 TAX BLOCK 2811, LOT 129 & TAX BLOCK 2811, LOT 130

EXISTING LOT 129 3.591 ACRES 7021 GLOBAL DR.  
 EXISTING LOT 130 3.472 ACRES 7001 GLOBAL DR.



- 1/2" REBAR W/CAP L.S. NO. 1948
- 3/4" REBAR
- ⊕ BM- CHISELED "□" IN SOUTHWEST CORNER OF HEADWALL @ SOUTHWEST CORNER OF SUBJECT PROPERTY ELEVATION 440.62



*Sign not approved 3/17/98*

**LEGEND**

- SS— PROPOSED SANITARY SEWER @ 1.00% MIN. (BY SITE CONTRACTOR)
- PE— PROPOSED PRIMARY ELECTRIC CONDUIT W/PULL CORD ENCASED IN CONCRETE (BY SITE CONTRACTOR) (SERVICE WIRE BY LG&E)
- SE— PROPOSED SECONDARY ELECTRIC CONDUIT W/PULL CORD (BY SITE CONTRACTOR) (SECONDARY ELECTRIC LINE BY BUILDING ELECTRICIAN)
- G— PROPOSED POLYPROPYLENE GAS SERVICE (BY SITE CONTRACTOR)
- FS— PROPOSED C-900 FIRE SERVICE (BY SITE CONTRACTOR)
- DW— PROPOSED SCHEDULE 40 DOMESTIC WATER (BY SITE CONTRACTOR)
- ⊕ PROPOSED TRANSFORMER PAD (BY SITE CONTRACTOR) (TRANSFORMER BY LG&E AT DEVELOPER'S EXPENSE)
- ⊙ PROPOSED LWC WATER METER (SITE CONTRACTOR TO PAY FEE)
- ⊙ PROPOSED LWC BACKFLOW DETECTOR/PREVENTER (SITE CONTRACTOR TO PAY FEE)
- ⊙ PROPOSED SANITARY SEWER CLEANOUT (BY SITE CONTRACTOR)
- GM• PROPOSED GAS METER LOCATION (BY LG&E)
- ⊕ PROPOSED FIRE SERVICE PIT (BY SITE CONTRACTOR)
- ⊕ PROPOSED FIRE HYDRANT (BY SITE CONTRACTOR)
- ⊕ EXISTING FIRE HYDRANT

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES.
2. CONTRACTOR TO PROTECT ALL UTILITIES SCHEDULED TO REMAIN.
3. ALL ELECTRIC WORK TO BE PERFORMED IN ACCORDANCE WITH N.E.C.
4. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH TEN STATE STANDARDS AND APPLICABLE STATE AND LOCAL CODES.
5. CONTRACTOR IS RESPONSIBLE FOR PROPOSED UTILITIES TO WITHIN 5' OF BUILDING.
6. THE LOCATION AND ALIGNMENT OF WATER AND GAS LINES IS SCHEMATIC AND MAY ALTER DEPENDING ON CONDITIONS IN THE FIELD.
7. THE CONTRACTOR SHALL USE CAUTION IN THE INSTALLATION OF UTILITIES SO AS NOT TO DISTURB THE WORK OF UTILITY COMPANIES OR OTHER TRADES INSTALLING SERVICES IN THIS DEVELOPMENT.
8. UTILITY TRENCH BACKFILL WITHIN PAVED AREAS SHALL BE SAND OR OTHER COMPACTABLE MATERIAL.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL "AS-BUILT" DRAWINGS AND CENTERLINE DATA REQUIRED BY UTILITIES FOR ACCEPTANCE AND EASEMENT PLAT PREPARATION.
10. ALL DIMENSIONS SHOWN IN PAVED AREAS ARE FROM BACK OF CURB TO BACK OF CURB. SEE ARCHITECT'S PLANS FOR BUILDING DIMENSIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO DEVELOP THE SITE UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
12. USE KENTUCKY STATE HIGHWAY SPECIFICATIONS UNLESS OTHERWISE NOTED.

**CONSTRUCTION APPROVAL DEVELOPMENT PLAN**  
 CONDITIONS:  
 BY: *RRB*  
 DATE: *8/5/98*  
**JEFFERSON COUNTY DEPT. OF PUBLIC WORKS**

**PARKING SUMMARY LOT 129-A:**  
 REQUIRED PARKING  
 HOTEL - 100 UNITS - 33 SPACES (100 UNITS / 3 UNITS)  
 TOTAL REQUIRED SPACES - 33 SPACES  
 PROPOSED PARKING  
 STANDARD SPACES - 96 SPACES  
 HANDICAP SPACES - 4 SPACES  
 TOTAL SPACES - 100 SPACES

**PARKING SUMMARY LOT 130:**  
 REQUIRED PARKING  
 RETAIL - 13,125 SQ. FT. - 66 SPACES (13,125 SQ. FT. / 200 SQ. FT.)  
 RESTAURANTS - 5,625 SQ. FT. - 56 SPACES (5,625 SQ. FT. / 100 SQ. FT.)  
 TOTAL REQUIRED SPACES - 122 SPACES  
 PROPOSED PARKING  
 STANDARD SPACES - 82 SPACES  
 HANDICAP SPACES - 4 SPACES  
 TOTAL SPACES - 86 SPACES  
 (JOINT PARKING AGREEMENT TO BE ESTABLISHED BETWEEN LOTS 129A AND 130)

OWNER/DEVELOPER  
**FUTURE INVESTMENTS**  
 3830 VINCENT STATION DRIVE  
 OWENSBORO, KY 42303

REVISIONS			
1	5/26/98	AS PER MSD & PUBLIC WORKS	BEI
2	7/21/98	AS PER LD&T	BEI
NO.	DATE	DESCRIPTION	BY

**SITE LAYOUT & UTILITY PLAN**

**RIVERGLO PLAZA**

DATE: 3-31-98  
 SCALE: 1"=40'  
 JOB NO.: 97-1948  
 SHEET 3 OF 9

STATE OF KENTUCKY  
 PROFESSIONAL ENGINEER  
**ROBERT DAVID WEAVER**  
 19178  
 3000 FAIRVIEW DRIVE  
 OWENSBORO, KENTUCKY 42303  
 502-685-2811

REF. F. 197-1948/GRN-BELT2.DWG  
**BEI** BRYANT ENGINEERING INC.  
 Civil Engineering • Land Surveying

9-11-98

**RESOLVED**, That the Land Development and Transportation Committee does hereby **APPROVE** the Revised Detailed District Development Plan for Docket Nos. 9-11-98 and a revised preliminary Plan for Docket No. 10-5-94, subject to the following binding elements:

**PROPOSED BINDING ELEMENTS for DOCKET NO. 9-11-98**

1. The development shall be in accordance with the approved district development plan and agreed upon binding elements unless amended pursuant to the Zoning District Regulations. No further development shall occur without prior approval from the Planning Commission.
2. Prior to development of Lot 129B of this project, a detailed district development plan shall be submitted to the Planning Commission for approval. Each plan shall be in adequate detail and subject to additional binding elements. The additional binding elements may relate, but not be limited, to the following items:
  - a. screening, buffering, landscaping, tree preservation
  - b. density, floor area, size and height of buildings
  - c. points of access and site layout with respect to on-site circulation
  - d. land uses
  - e. signage
  - f. loading berths
  - g. parking
  - h. sidewalks
  - i. site design elements relating to alternative transportation modes
  - j. outdoor lighting
  - k. minor subdivision plat approval
  - l. air pollution
  - m. the timing of construction to coincide with the availability of flood protection measures, municipal sewer and water service, and adequate fire protection
  - n. dumpsters
3. The development shall not exceed 18,750 square feet of gross floor area for lot 130, and a 100 unit hotel for lot 129A.
4. The only permitted freestanding sign shall be located as shown on the approved development plan. The sign plan for lot 129A shall be submitted to the LD&T committee at a later time. The sign for lot 130 shall not exceed 55 square feet in area per side and 5.5 feet in height. No sign shall have more than two sides.
5. No outdoor advertising signs (billboards), small free-standing (temporary) signs, pennants balloons, or banners shall be permitted on the site.
6. There shall be no outdoor storage on the site.
7. Outdoor lighting shall be directed down and away from surrounding residential properties. Lighting fixtures shall have a 90 degree cutoff so that no light source is visible off-site. Lighting levels attributable to the fixtures located on the subject site shall not exceed two foot candles at the property line.
8. Construction fencing shall be erected at the edge of the area of development prior to any grading or construction to protect the existing tree stands and their root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage, or construction activities are permitted within the protected area.
9. The applicant shall submit a plan for approval by the Planning Commission staff landscape architect showing trees/tree masses to be preserved prior to beginning any construction procedure (i.e. clearing, grading, demolition). Any modification of the tree preservation plan requested by the applicant may be approved by the Planning Commission staff landscape architect if the changes are in keeping with the intent of the approved tree preservation plan. The plan shall exhibit the following information:
  - a. Proposed site plan (showing buildings, edges of pavement, property/lot lines, easements, existing topography, and other significant site features (LOJIC topographic information is acceptable).
  - b. Preliminary drainage considerations (retention/detention, ditches/large swales, etc.).
  - c. Location of all existing trees/tree masses existing on the site as shown by aerial photo or LOJIC maps.
  - d. Location of construction fencing for each tree/tree mass designated to be preserved.
10. Before any permit (including but not limited to building, parking lot, change of use or alteration permit) is requested:
  - a. The development plan must receive full construction approval from the Jefferson County Department of Public Works and Transportation (400 Fiscal Court Building) and the Metropolitan Sewer District (700 West Liberty).
  - b. A minor subdivision plat shall be recorded creating the lot lines as shown on the development plan. A copy of the recorded instrument shall be submitted to the Division of Planning and Development Services; transmittal of approved plans to the office responsible for permit issuance will occur only after receipt of said instrument.
  - c. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Article

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12 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.

- d. An access and crossover easement agreement in a form acceptable to the Planning Commission legal counsel shall be secured and recorded giving lot 130 have parking rights to lot 129A. A copy of the recorded instrument shall be submitted to the Division of Planning and Development Services; transmittal of approved plans to the office responsible for permit issuance will occur only after receipt of said instrument.
11. If a certificate of occupancy building permit is not issued within one year of the date of approval of the plan or rezoning, whichever is later, the property shall not be used in any manner unless a revised district development plan is approved or an extension is granted by the Planning Commission.
12. A certificate of occupancy must be received from the appropriate code enforcement office prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
13. There shall be no outdoor music (live, piped, radio or amplified), outdoor entertainment, or outdoor PA system permitted on the site.
14. The property owner/developer shall provide copies of these binding elements to tenants, contractors and other parties engaged in development of this project, and shall inform them of the content of these binding elements. Further, the property owner/developer shall require contractors to similarly notify all of their sub-contractors whose duties relate to the binding elements. The property owner/developer shall ensure their compliance with the binding elements.
15. A soil erosion and sedimentation control plan shall be developed and implemented in accordance with the Metropolitan Sewer District and the USDA Natural Resources Conservation Service recommendations. Documentation of the MSD's approval of the plan shall be submitted to the Planning Commission prior to grading and construction activities.

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