

LEGEND

- EXISTING TREE  
DENOTES DRAINAGE FLOW  
PROPOSED HANDICAP PARKING  
INTERNAL LANDSCAPE AREA  
EXISTING CONTOURS  
PROPOSED PARKING SPACE  
EXISTING PSC  
PROPOSED ASPHALT/PARKING  
TCCA- TREE CANOPY CREDIT AREA  
CHAIN LINK FENCE

KARST GEOLOGICAL DISCOVERY:

THE SITE ALONG WITH HISTORICAL MAPS AND PLATS WERE REVIEWED AND INSPECTED BY BLUESTONE ENGINEERS PLLC ON MAY 7, 2026 AND FOUND THAT NO KARST EVIDENCE WAS WITNESSED ON THE SITE, MAKING THE SITE IN COMPLIANCE WITH LDC SECTION 4.9.3.

MSD NOTES:

- Construction Plans and Documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications, and other local, state and federal agencies.
- Sanitary sewer service will be provided by connection and subject to applicable fees.
- Drainage pattern depicted by arrows (⇒) is for conceptual purposes. Final configuration and size of drainage pipes and channels shall be determined during the construction plan design process. Drainage facilities shall conform to MSD requirements.
- If the site has through drainage an easement plat will be required prior to MSD granting construction plan approval.
- A Downstream Facilities Capacity Request will be submitted to MSD.
- Erosion & Silt Control shown is conceptual only, and final design will be determined on construction plans. Prior to any construction activities on the site a Erosion & Silt Control Plan shall be provided to MSD for approval.
- MSD Site Disturbance Permit required prior to issue of building permits.
- Site is subject to KYTC approval and or KYTC Drainage Certification prior to MSD construction plan approval.
- Runoff volume impact fee required, calculation based on RFFx1.5

KYTC NOTES:

- ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED ALONG THE FRONTAGE OF THIS TRACT TO MEET THE CURRENT METRO LAND DEVELOPMENT CODE. THE REQUIREMENTS ARE DETERMINED BY LOUISVILLE METRO TRANSPORTATION PLANNING AND PUBLIC WORKS DEPT.
- CALCULATIONS WILL BE REQUIRED FOR ANY RUNOFF DEEMED NECESSARY TO BE TAKEN TO THE STATE RIGHT-OF-WAY. PROPOSALS TO ALTER OR SIGNIFICANTLY INCREASE A DRAINAGE AREA OR RUNOFF FACTORS OR TO CHANGE IN ANY WAY THE PERFORMANCE OF AN EXISTING DRAINAGE STRUCTURE SHALL BE ACCOMPANIED BY A COMPLETE DRAINAGE SURVEY AND HYDROLOGIC ANALYSIS (UPSTREAM AND DOWNSTREAM) BASED ON 25-YEAR AND 100-YEAR STORMS. THIS ANALYSIS SHALL INCLUDE A COMPARISON OF EXISTING AND PROPOSED CONDITIONS. REQUESTS TO ALTER DRAINAGE ON A RIGHT-OF-WAY SHALL RESULT IN CONDITIONS THAT ARE EQUAL OR BETTER THAN THE EXISTING FACILITIES.
- NO COMMERCIAL SIGNS SHALL BE LOCATED WITHIN THE RIGHT-OF-WAY.
- NO LANDSCAPING SHALL BE PLACED IN THE RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT. TREE SPECIES PLANTED IN THE RIGHT-OF-WAY MUST CONFORM WITH DISTRICT 5 LIST OF APPROVED TREES. TREES SHALL NOT BE PLACED WITHIN INTERSECTION SIGHT TRIANGLES.
- SITE LIGHTING SHALL BE NOT SHINE IN THE EYES OF DRIVERS. IF IT DOES IT SHALL BE REAIMED, SHIELDED OR TURNED OFF.
- THERE SHALL BE NO PARKING NOR ANY PORTION OF ANY PARKING LOT ON STATE RIGHT-OF-WAY.
- ALL DRAINAGE STRUCTURES WITHIN STATE RIGHT-OF-WAY SHALL BE STATE DESIGN.
- AN ENCROACHMENT PERMIT AND BOND WILL BE REQUIRED FOR ALL WORK DONE IN THE RIGHT-OF-WAY.

EROSION PREVENTION AND SEDIMENT CONTROL NOTE

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

IMPERVIOUS AREA

- TOTAL SITE AREA = 0.332 AC.
- LIMITS OF DISTURBANCE = 4,215 SF (0.10 AC)
- TOTAL IMPERVIOUS AREA (EXISTING) = 3,860 SF (0.089 AC)
- INCREASE OF IMPERVIOUS AREA = 1,832 SF (0.042 AC)
- TOTAL IMPERVIOUS AREA (PROPOSED) = 5,692 SF (0.131 AC)

SITE PLAN

GRAPHIC SCALE SUPERCEDES NUMERIC SCALE

0 10' 20' 40'

SCALE: 1" = 20'

| MSD STANDARD EROSION CONTROLS |                       |
|-------------------------------|-----------------------|
|                               | SILT FENCE            |
|                               | INLET PROTECTION      |
|                               | CONSTRUCTION ENTRANCE |

PARKING REQUIREMENTS

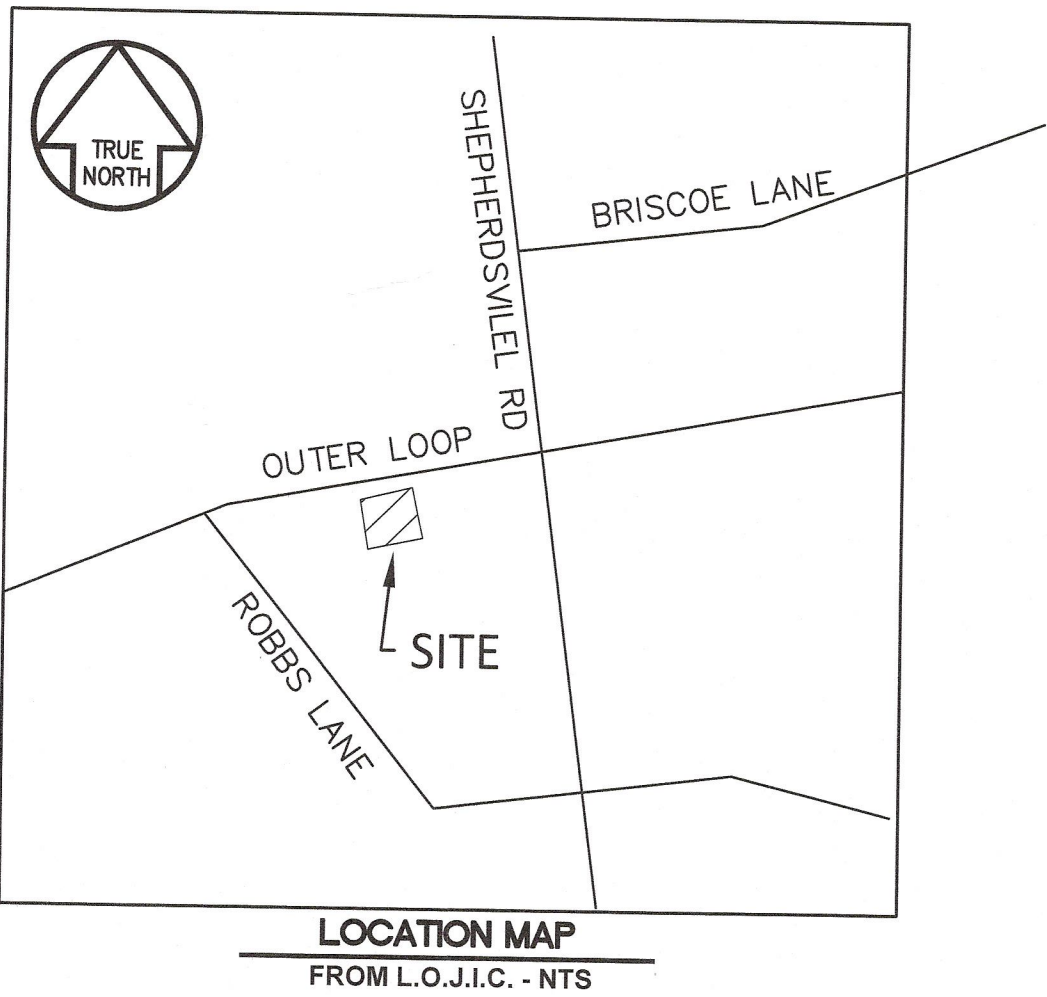
|                                   |                             |
|-----------------------------------|-----------------------------|
| SHOP (1215 SF TOTAL)              | 1/400 SF MIN. 1/150 SF MAX. |
| MIN = 1250/400 = 4 SPACES         |                             |
| MAX = 1250/150 = 9 SPACES         |                             |
| PARKING PROVIDED ONSITE           | 5 SPACES                    |
| ACCESSIBLE PARKING REQUIRED       | 1 SPACES                    |
| ACCESSIBLE PARKING PROVIDED       | 2 SPACES                    |
| PROP. PARKING VUA                 | 3,122 SF                    |
| VUA<6000 SF                       | Req'd 0 SF ILA              |
| BICYCLE PARKING REQUIRED/PROVIDED | 3 SPACES                    |

TREE CANOPY

|                                            |                         |
|--------------------------------------------|-------------------------|
| SITE AREA                                  | 14,462 S.F.             |
| TOTAL TREE CANOPY COVERAGE AREA REQ.(1/2)  | 2,530 S.F. (1/2 of 35%) |
| EXISTING TREE CANOPY                       | 3,600 S.F. (24.89%)     |
| EXISTING TREE CANOPY PRESERVED             | 3,600 S.F. (24.89%)     |
| (2) EXISTING TYPE "A" TREES X 1,800 SF EA. |                         |

WAIVER/VARIANCE REQUESTED:

- Variance to allow the existing building and proposed parking area to encroach 7' into the required 15' nonresidential to residential side yard setback per LDC Table 5.3.2.
- Waiver of the 15' side yard LBA due to encroachment by the existing building and proposed parking area.
- Variance to allow the front parking to encroach into the front yard Infill setback along Outer Loop.



LOT SUMMARY (5114 OUTER LOOP)

|                                     |                              |
|-------------------------------------|------------------------------|
| LOT SIZE                            | EXISTING 14,462 SF (0.332AC) |
| EXISTING USE                        | SINGLE FAMILY HOME           |
| PROPOSED USE                        | BARBER SHOP                  |
| EXISTING ZONING                     | R4                           |
| PROPOSED ZONING                     | OR2                          |
| EXISTING BUILDING SIZE              | 1200 SF                      |
| EXISTING BUILDING HEIGHT            | 15'                          |
| ALLOWABLE BUILDING HEIGHT           | 35'                          |
| FORM DISTRICT                       | NEIGHBORHOOD                 |
| EXISTING FAR                        | 0.083                        |
| PROPOSED FAR (ALLOWABLE FAR = 0.35) | 0.083                        |

GENERAL NOTES

- WATER SERVICE BY LOUISVILLE WATER COMPANY.
- SITE IS LOCATED WITHIN THE FIRE PROTECTION DISTRICT OKOLONA.
- THE SITE IS LOCATED WITHIN METRO COUNCIL DISTRICT 24.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- NO PORTION OF THE SITE IS WITHIN THE 100 YEAR FLOOD PLAIN PER FIRM MAP NO. 211100009F.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCE.
- MUST COMPLY WITH ALL CURRENT METRO SMOKING ORDINANCES.
- CONSTRUCTION PLANS, PERMIT, AND BOND WILL BE REQUIRED PRIOR TO CONSTRUCTION APPROVAL.
- OBTAIN AN ENCROACHMENT PERMIT FROM KYTC FOR ALL WORK WITHIN THE OUTER LOOP RIGHT-OF-WAY.
- MSD SANITARY SEWERS ARE AVAILABLE BY CONNECTION, SUBJECT TO FEES AND CHARGES. SANITARY SEWER SERVICE TO BE APPROVED BY MSD.
- EACH LOT MUST CONNECT TO ITS OWN SANITARY SEWER PSC WITH MIN. 6" CONNECT.
- OWNER MUST PROVIDE DOCUMENTATION OF SEWER CONNECTION.
- NO COMMERCIAL SIGNS SHALL BE LOCATED WITHIN THE RIGHT-OF-WAY.
- SITE LIGHTING SHALL BE PLACED AS TO NOT SHINE IN THE EYES OF DRIVERS, IF IT DOES IT SHOULD BE REAIMED, SHIELDED OR TURNED OFF.
- CALCULATIONS WILL BE REQUIRED FOR ANY RUNOFF TAKEN TO THE STATE RIGHT-OF-WAY. A DRAINAGE ANALYSIS MAY BE REQUIRED TO DETERMINE THE 25-YEAR & 100-YEAR STORMS TO COMPARE THE EXISTING & PROPOSED CONDITIONS.
- ALL DRAINAGE STRUCTURES IN THE RIGHT-OF-WAY SHALL BE STATE DESIGN.
- THERE SHALL BE NO PARKING NOR ANY PORTION OF ANY PARKING LOT ON STATE RIGHT-OF-WAY.
- ALL NEW & EXISTING SIDEWALKS SHALL BE BROUGHT UP TO OR BUILT TO CURRENT ADA STANDARDS AND THE CURB LINE WILL BE RESTORED.
- ALL CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT DESIGN MANUAL & STANDARD SPECIFICATION & OTHER LOCAL, STATE, AND FEDERAL ORDINANCES.
- WHEEL STOPS AND PROTECTIVE CURBING. CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE SHALL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJUTING SIDEWALKS, PROPERTIES OR PUBLIC RIGHTS-OF-WAY, TO PROTECT LANDSCAPED AREAS AND TO PROTECT ADJACENT PROPERTIES. SUCH WHEEL STOPS OR CURBING SHALL BE LOCATED AT LEAST THREE (3) FEET FROM ANY ADJACENT WALL, FENCE, PROPERTY LINE, WOODY VEGETATION, WALKWAY OR STRUCTURE.
- ROLL-OUT TOTES TO BE PROVIDED FOR DUMPSTER SERVICE.
- AN APPROVED LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO BUILDING PERMITS AND/OR A CERTIFICATE OF OCCUPANCY.
- DESIGN OF ACCESS TO STATE HIGHWAY SHALL COMPLY WITH KYTC STANDARD AND/OR TYPICAL DRAWINGS. ENTRANCE THROAT WIDTH SHALL BE LIMITED 24FT MINIMUM AND 36FT MAXIMUM, WITH 35FT MINIMUM CORNER RADII. ACCESS SHALL BE LIMITED TO RIGHT IN/RIGHT OUT VIA BARRIER MEDIAN.

FIRE DEPT. NOTES:

- THE SUBJECT PROPERTY IS LOCATED WITHIN THE OKOLONA FIRE PROTECTION DISTRICT.
- LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ) CONTACT INFORMATION: FRANK NALLEY; frank.nalley@okolonafire.org.
- HYDRANTS: PRIOR TO THE COMBUSTIBLE PHASE OF CONSTRUCTION AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE, AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LMCO 94-81).
- GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
- EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMAL SIGNAL STRENGTH CRITERIA, TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
- REQUIREMENTS FOR SPECIFICATIONS OF FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX, OR FIREFIGHTER SAFETY BUILDING MARKETING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCE FIRE DISTRICT.
- PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.

RECEIVED

JUL 16 2026

PLANS

CASE#: 26-ZONE-0013

MSD WM#12954

| REVISIONS |                 | By |
|-----------|-----------------|----|
| Date      | Description     | cc |
| 5/26      | Agency Comments | cc |
| 7/26      | Agency Comments | cc |

**BlueStone**  
Engineers, PLLC  
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christob@bluestoneengineers.com

**OWNER:**  
ROBERTO QUINTANA PEREZ &  
LIANNEET ARIAS NAZCO  
5114 OUTER LOOP  
LOUISVILLE, KENTUCKY 40219

**DATE**  
  
**SIGNATURE**

**TITLE** REZONING R4 TO OR-2  
5114 OUTER LOOP  
**SITE INFO** 5114 OUTER LOOP, LOU, KY 40219  
D.B. 12844 PG. 0892 / BLOCK 0643 LOT 144

**REZONING PLAN**  
**SHEET NO.** 1 OF 1  
**DATE:** 8-14-25  
**DRAWN BY:** ACW **CHECKED BY:** CTC

26-ZONE-0013