

**14ZONE1060**

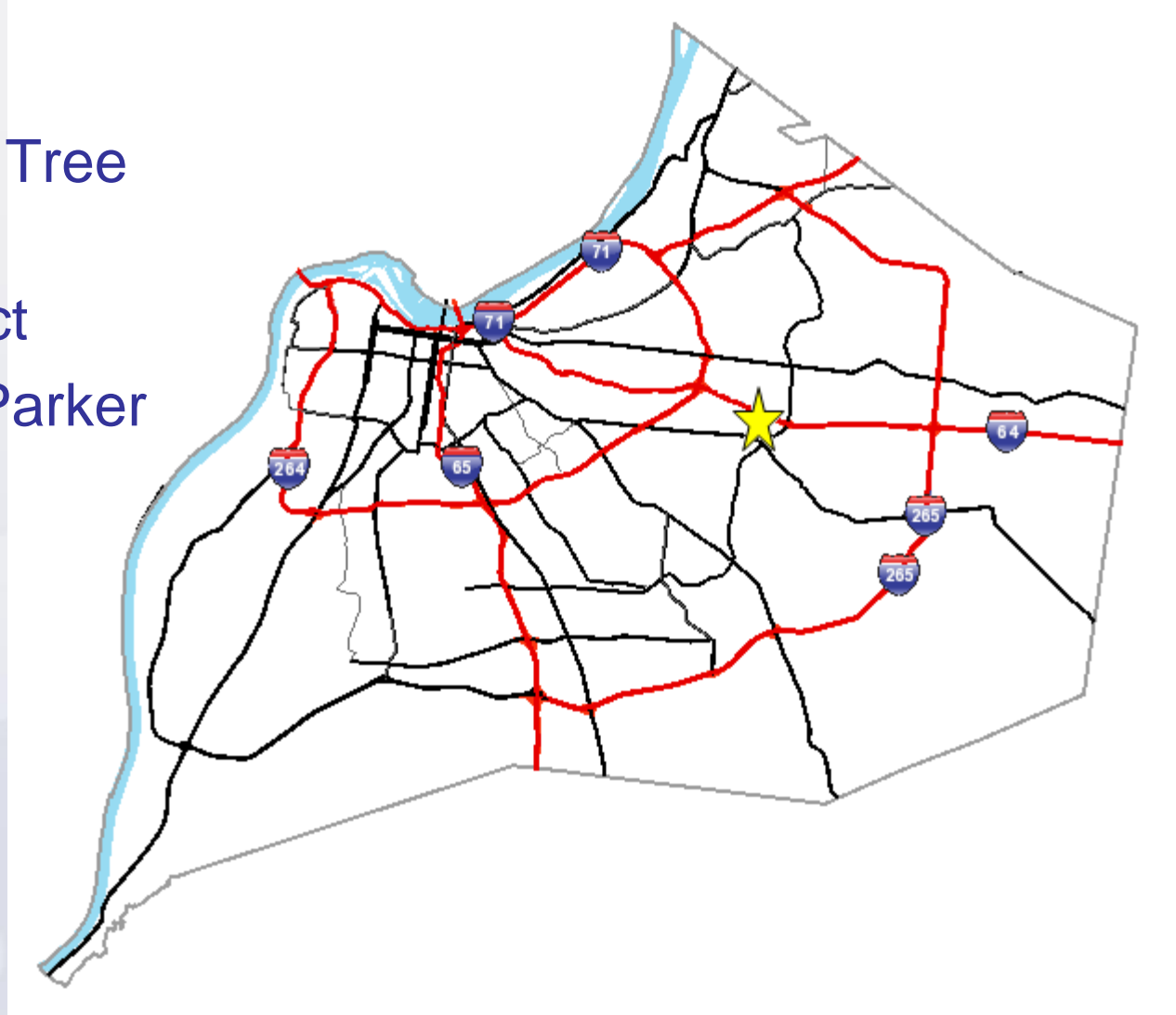
# **Springs at Bunsen Parkway**



**Planning/Zoning, Land Design & Development**  
**April 28, 2015**

# Location

- 9120 Blowing Tree Road
- Council District 18 – Marilyn Parker



# Requests

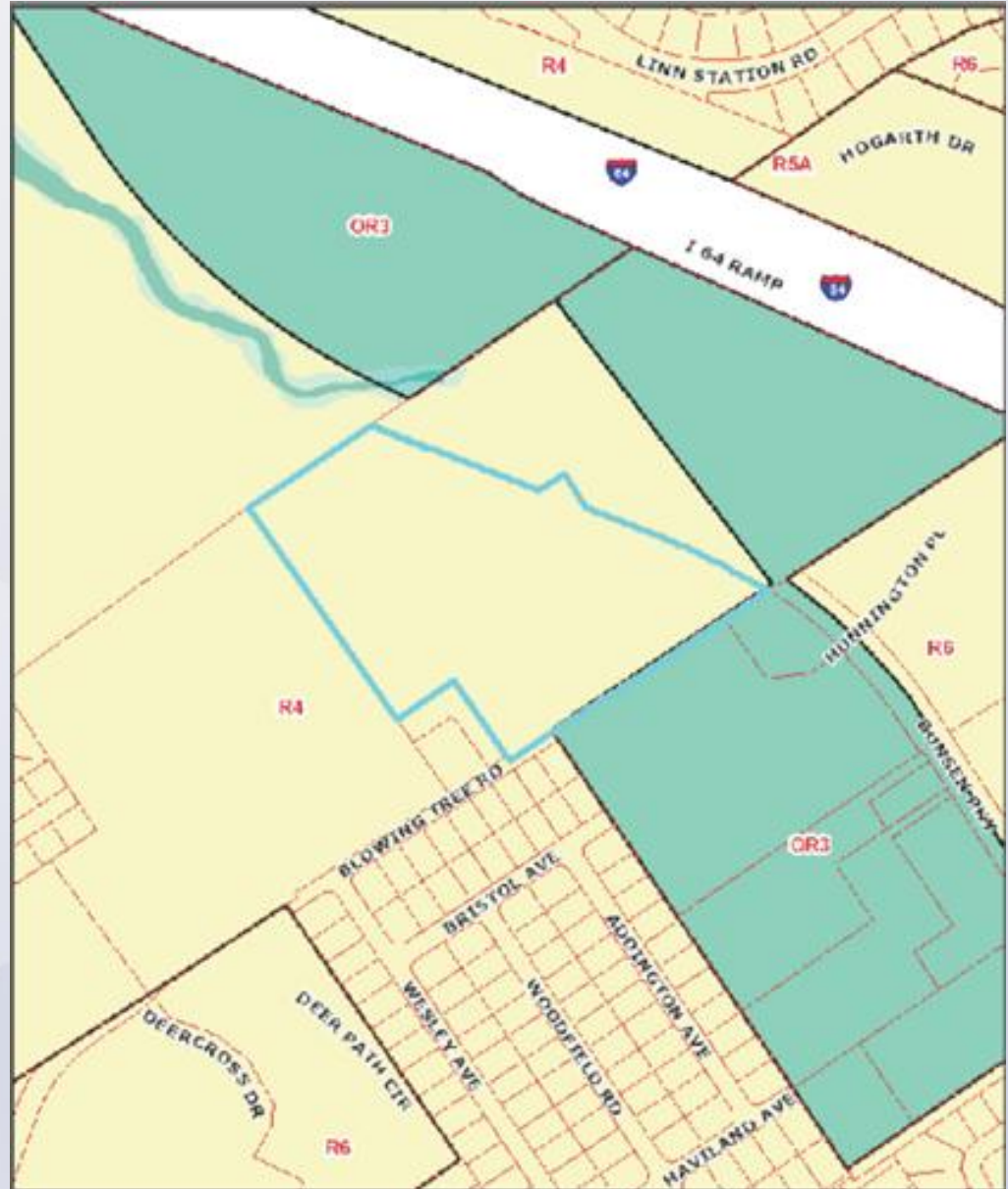
- Change in zoning from R-4, Single Family Residential, to R-6, Multi-Family Residential
- Detailed District Development Plan
- Waiver #1: Landscape Waiver from Chapter 10.2.10 to allow a variable width VUA LBA along the ROW reservation and dedication area for the possible Blowing Tree Road extension

# Case Summary / Background

- Rezone existing landscape nursery property from R-4 to R-6
- Located in an area of mixed use
- 284 total units on 19.43 acres
- Access proposed through extension of Bunsen Parkway
- Secondary gated emergency access entrance will be established along Blowing Tree Road
- Both are considered local level roads with Blowing Tree Road containing very minimal ROW of 45'
- Blowing Tree Road currently ends at the subject property
- The proposal labels variable width ROW to be reserved for potential future expansion of roadways

# Zoning/Form Districts

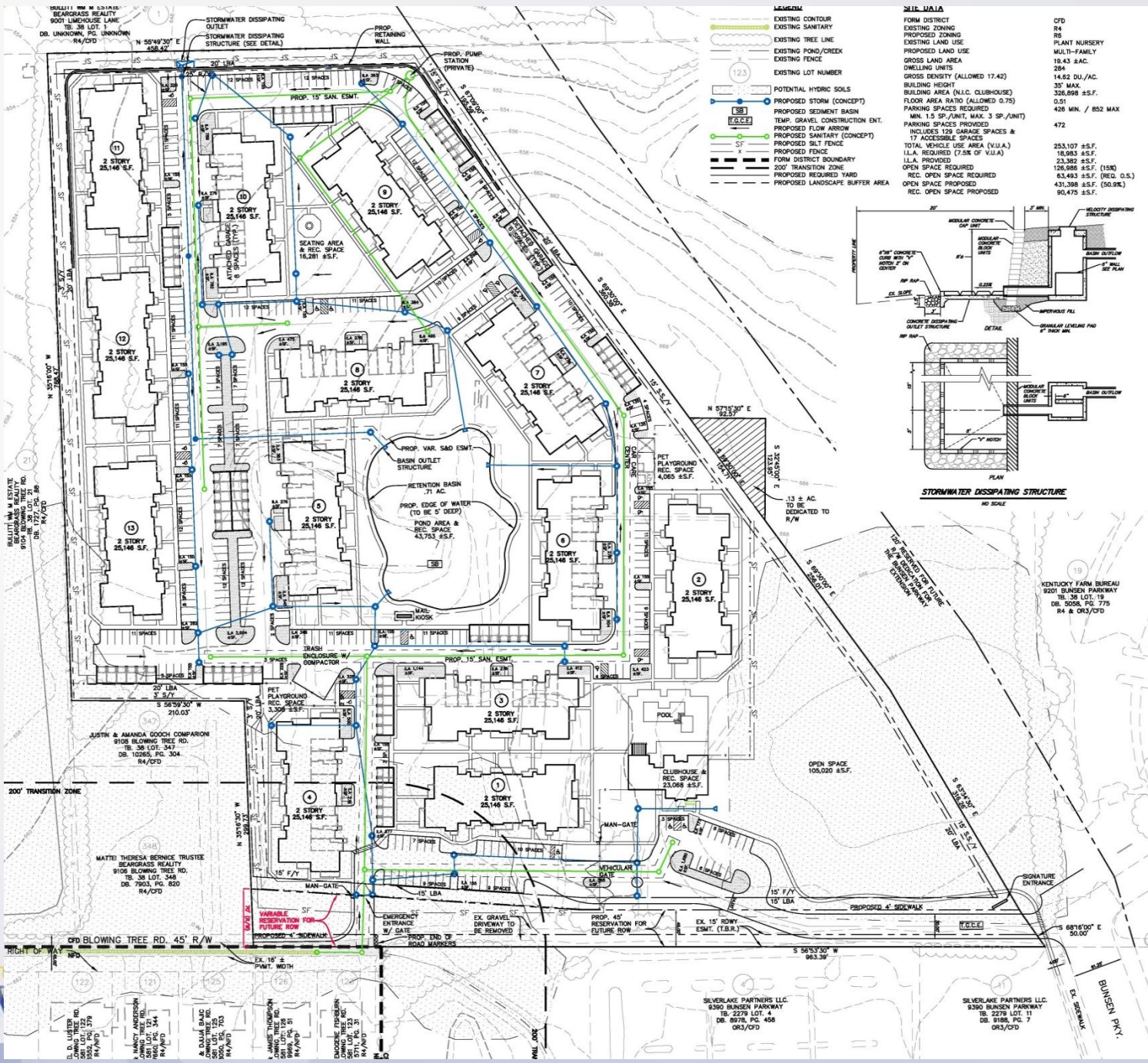
- Subject Property:
  - Existing: R-4/C
  - Proposed: R-6/C
- Adjacent Properties:
  - North: R-4/C
  - South: R-4/OR-3/N/C
  - East: OR-3/C
  - West: R-4/C



# Aerial Photo/Land Use

- Subject Property:
  - Existing: Landscape Nursery
  - Proposed: Apartments
- Adjacent Properties:
  - North: Golf Course
  - South: SFR/Office
  - East: Office
  - West: Golf Course

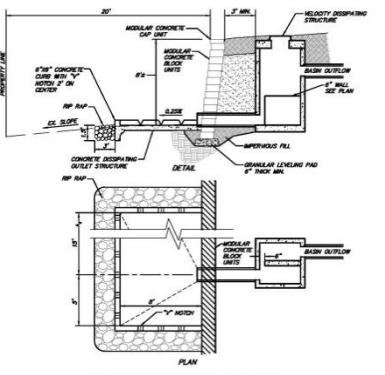




- LEGENDA**
- EXISTING CONTOUR
  - EXISTING SANITARY
  - EXISTING TREE LINE
  - EXISTING POND/CREEK
  - EXISTING FENCE
  - EXISTING LOT NUMBER
  - POTENTIAL HYDRIC SOILS
  - PROPOSED STORM (CONCEPT)
  - PROPOSED FLOW ARROW
  - PROPOSED SEDIMENT BASIN
  - TEMP. GRAVEL CONSTRUCTION ENT.
  - PROPOSED SALT FENCE
  - PROPOSED SANITARY (CONCEPT)
  - PROPOSED FENCE
  - FORM DISTRICT BOUNDARY
  - 200' TRANSITION ZONE
  - PROPOSED REQUIRED YARD
  - PROPOSED LANDSCAPE BUFFER AREA

**DEIL UJAJA**

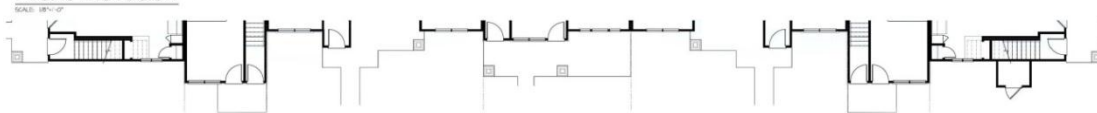
FORM DISTRICT	CFD
EXISTING ZONING	R6
PROPOSED ZONING	PLANT NURSERY
EXISTING LAND USE	MULTI-FAMILY
PROPOSED LAND USE	18.43 A.C.
GROSS LAND AREA	284
OWLING UNITS	14.62 DU./AC.
GROSS DENSITY (ALLOWED 17.42)	326.008 #S/F.
BUILDING HEIGHT	0.51
BUILDING AREA (N.I.C. CLUBHOUSE)	472
FLOOR AREA RATIO (ALLOWED 0.75)	253,107 #S/F.
PARKING SPACES REQUIRED	16,063 #S/F.
OWLING UNITS	23,382 #S/F.
MIN. 1.5 SP./UNIT, MAX. 3 SP./UNIT	126,008 #S/F. (15%)
PARKING SPACES PROVIDED	63,493 #S/F. (REG. O.S.)
INCLUDES 129 GARAGE SPACES & 17 ACCESSIBLE SPACES	431,398 #S/F. (50.9%)
TOTAL VEHICLE USE AREA (V.U.A.)	90,475 #S/F.
L.L.A. REQUIRED (75% OF V.U.A.)	
L.L.A. PROVIDED	
OPEN SPACE REQUIRED	
REC. OPEN SPACE REQUIRED	
OPEN SPACE PROVIDED	
REC. OPEN SPACE PROVIDED	



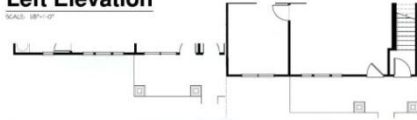
# Applicant's Elevations



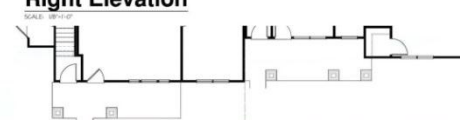
**Front Elevation**



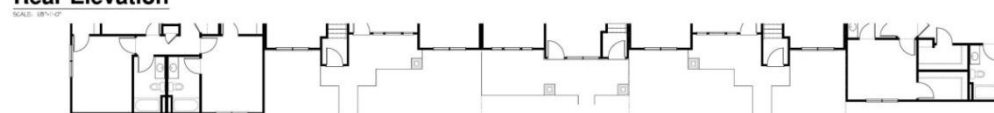
**Left Elevation**



**Right Elevation**



**Rear Elevation**





# PC Recommendation

- Public Hearing was held on 3/19/2015 and continued to the 4/2/2015 Public Hearing
  - Two people spoke in support of the application, two people spoke in opposition, and two people spoke as other.
- The Commission made sufficient findings that the proposal complies with the Comprehensive Plan-Cornerstone 2020
- The Commission unanimously recommended approval of the zoning change from R-4 to R-6 to Louisville Metro Council (9 members voted)