

17DevPlan1011 1101 Fairdale Road



Louisville Metro Board of Zoning Adjustment

Steve Hendrix, Planning Supervisor

April 17, 2017

Requests

- Variance from the Land Development Code, Section 5.3.1.C.5. to allow the proposed structure to exceed maximum setback.

Location	Requirement	Request	Variance
National Turnpike Maximum Setback	80 foot maximum setback	132 feet	42 feet

Waiver from the Land Development Code, Section 5.5.2.A.1. not to require an entrance along the Fairdale Road side of the building.

Case Summary / Background

Site is located on the northeast corner of the National Turnpike/Fairdale Road intersection.

Parcel has C-1 zoning at the corner and R-4 on the remainder.

Vacant auto repair shop occupies.

3,000 square foot convenience store

1,500 square foot restaurant

All the development takes place on the C-1 section.

Other existing commercial properties along this side of National Turnpike have increased setbacks.

Layout is typical for a convenience store.

Applicant has stated that the reason for the one door is for security/safety concerns.

Zoning/Form Districts

Subject Property:

Existing: C-1/R-4,
Suburban Workplace

Proposed: Same

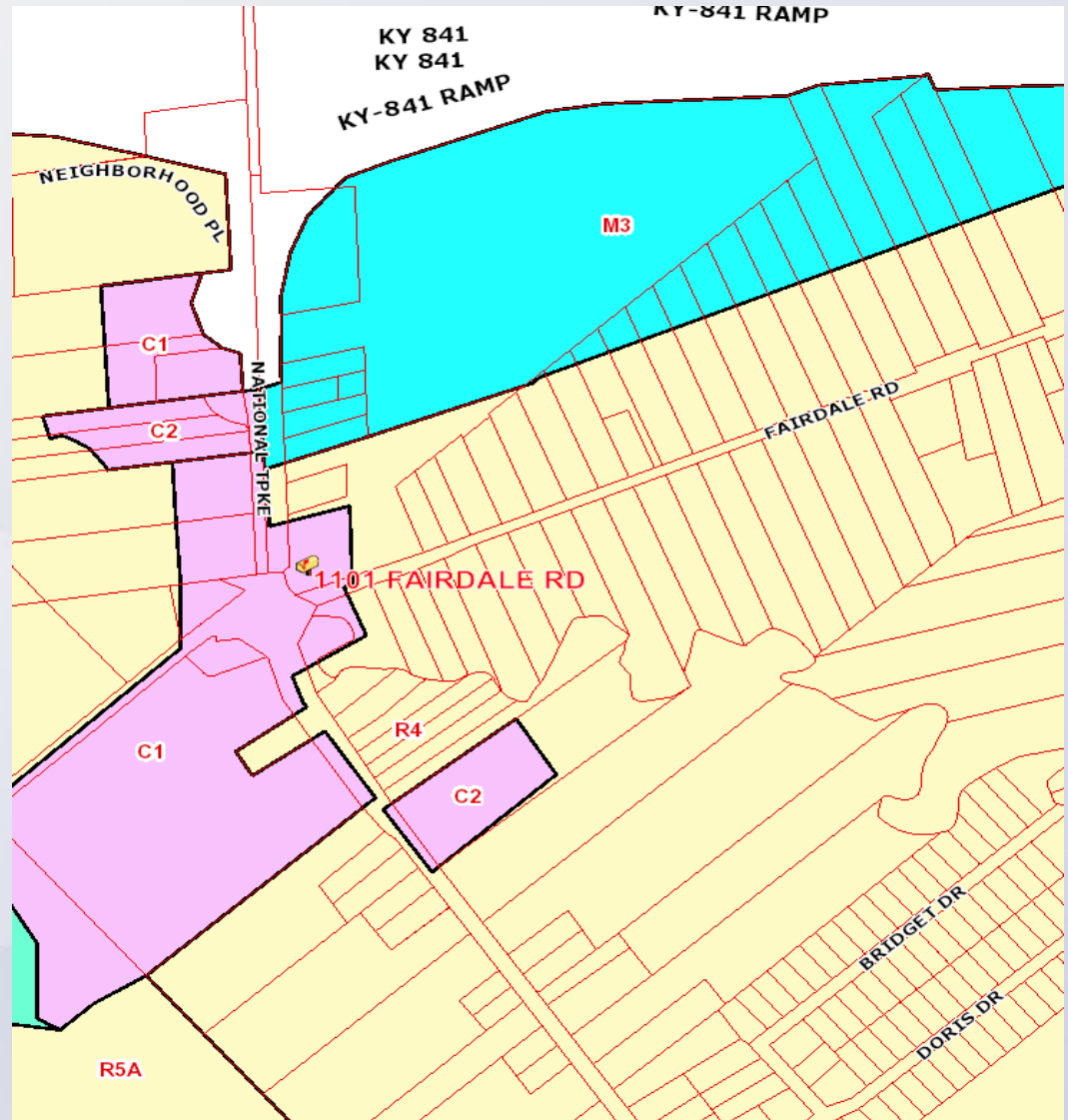
Adjacent Properties:

North: R-4, Suburban
Workplace

South: C-1, Village

East: R-, Suburban
Workplace

West: C-1, Village



Aerial Photo/Land Use

Subject Property:

Existing: Vacant Auto Repair Shop

Proposed: Convenience Store/ Restaurant

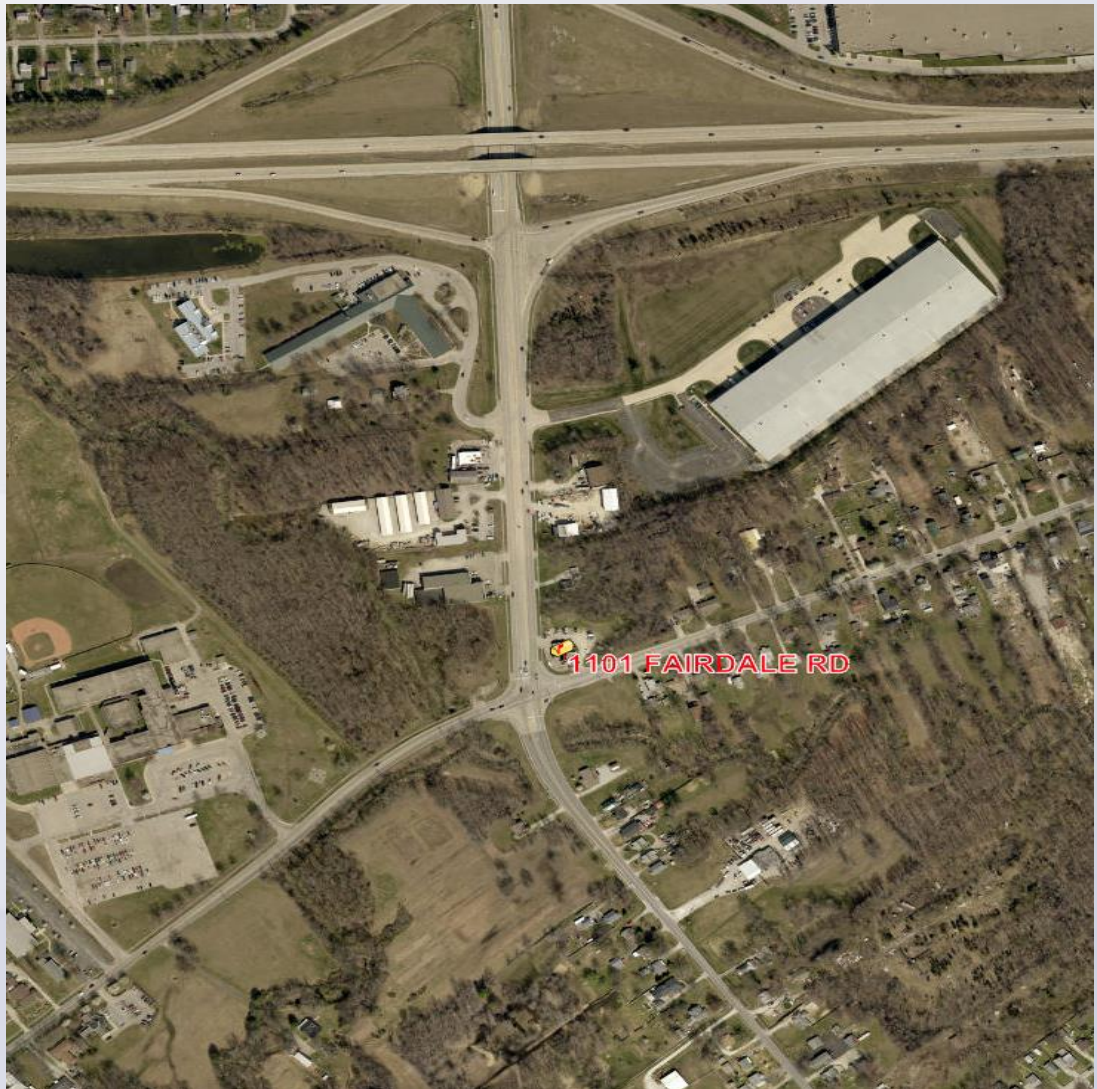
Adjacent Properties:

North: Single Family Dwelling

South: Wooded Area

East: Wooded Area, Single Family Dwellings

West: Wooded Area







PADILLA'S
AUTO SERVICE





03/30/2017 02:09



03/30/2017 02:10

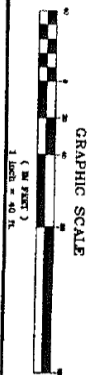
NATIONAL TURNPIKE - R/W VARIES (120' REQ.)

LEGEND

PROPOSED STORM SEWER, CATION BASIN
PROPOSED SEWER AND MANHOLE
PROPOSED DRAINAGE SWALE
A FLOODPLAIN
A FLOODPLAIN

MSD STANDARD EROSION CONTROLS	
	STONE BAG EROSION DAM
	WINGED HEXAGONAL PILE PROTECTION
	SALT FENCE

TYPICAL PARKING SPACE LAYOUT
NO SCALE



GRAPHIC SCALE

DETECTION BASIN CALCULATIONS

$X = 1.8 \text{ CM. } / 12$
 $\Delta C = 0.36 - 0.29 = 0.07$
 $R = 2.6 \text{ INCHES}$
 $R' = 1.00(3.14)(2.6)(1/2) = 0.96 \text{ AC. } \cdot \text{ FT.}$
 $\text{REQUIRED } X = 2.613 \text{ CU. FT.}$
 $\text{TOTAL } 1.688 \text{ SCU. FT. APPROX. } 2 \text{ FT. DEPTH} = 2$

FREE CANOPY CALCULATIONS (CLASS C)

TOTAL STEE AREA = 146.5
EXISTING TREE CANOPY AREA = 134.6
TOTAL FREE CANOPY AREA REMAINED = 11.9
EXISTING TREE CANOPY TO BE PRESERVED = 90.89
TOTAL FREE CANOPY 1.404042 = 612

C-1 & R-4/M-2-ADL
FROM 224 NS
1006 MODIFIED 2, 10
1006 WALK, KY 40219
U.S. 9154, P.O. 164

4-2/ALICE
DAVID ACQUITTRE
107 FORT AVE
FAIRBANKS, AK 99701
D.B. BEEB, PO. 322

REDAI O CANADA TRAPP
1108 FAIRDALE ROAD
FAIRDALE, NY 40116
P.B. 2022 SC 337

STU* FROM: LS, LIO
1800 HAZARD
MAY
CO SALT, CO CUM
06 5000, 00 500

PROJ. SLOPE &
DISTANCE DATA

TRUCK 15
DISTANCE

2155122

R-4/4, LAG-
MODEL & TEST CASES
P.O. BOX 136
FAIRDALE, AL 36502
D-3, 9167, P-1, 269

R-4/47-2-202
 4400 7th St. S.
 107 FARMDALE MOBILE
 PARKWAY, NY 40178
 20 4000 20 2000

2-4/84-ACE
RESIST & ALUSCOI DUFFIN
1175 - MARCALE ROAD
MERCED, CA 95368
U.S. 9202. 70. 686

P-4,
-AETS & WIK
112: FPA
FPA/FAE

F.D.O. SPENCER
 9333 NATIONAL TRINITE
 FALLDALE, NY 4018
 O.B. 2159, PG. 102

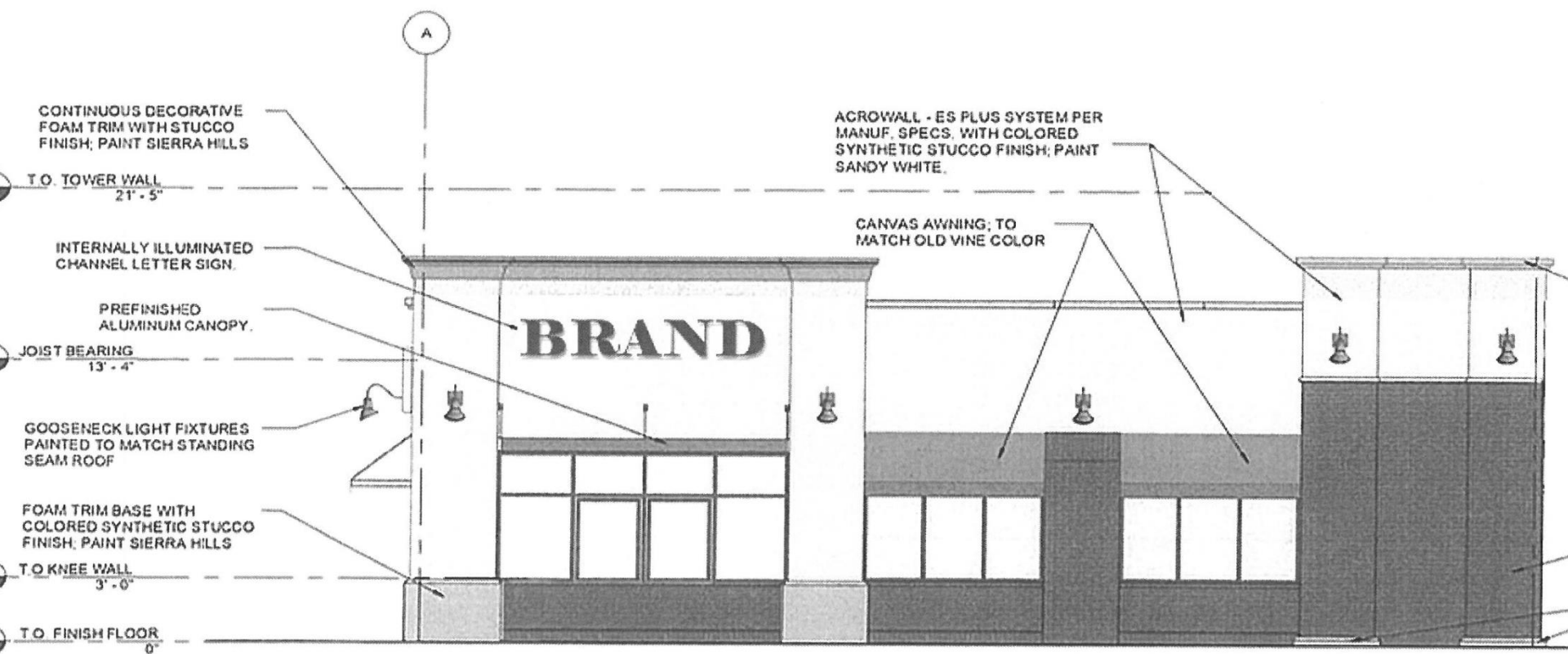
EXISTING WOODS TO REMAIN
MAY BE UTILIZED AS UNDEVELOPED
BUTTER MEADOWS

DATE: 10/10/1964
BY: [illegible]

~~SUBJ: [REDACTED]
TOPIC: [REDACTED]
VALUE: [REDACTED]~~

PRESTRUCT WORDS TO ALLOW
TO BE UTILIZED AS LANSKAP
EFFECTIVE VECTORIZATION

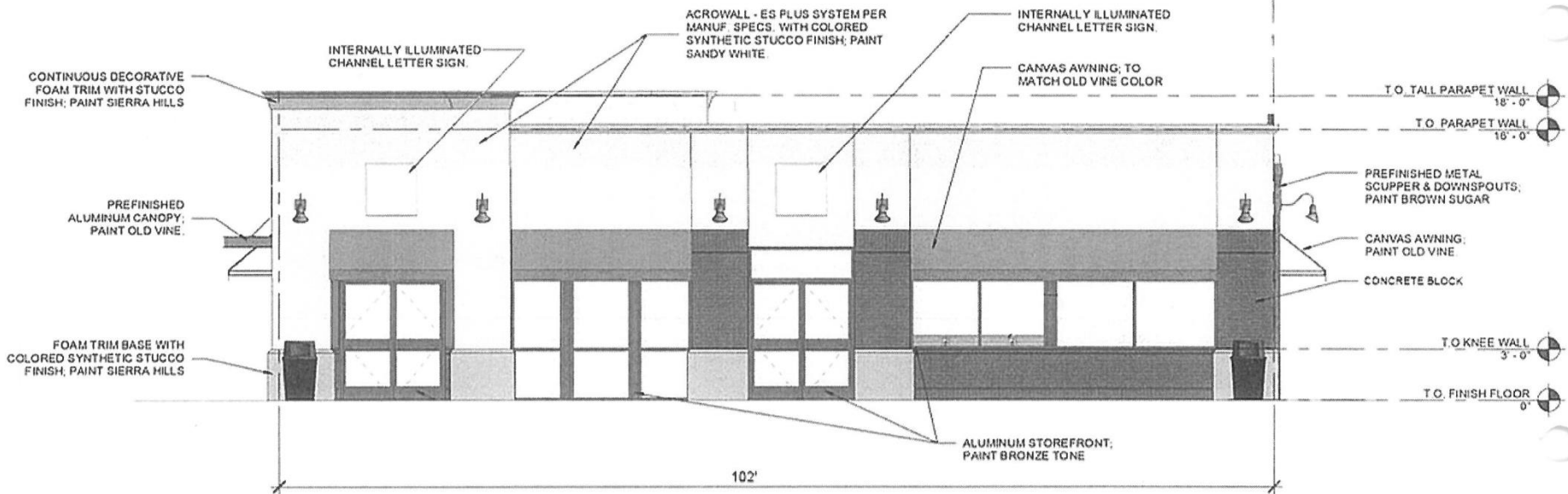
N-3/SOUTHVIEW DRIVE
FIRST ACCT. #E
8050 PUTCHMAN LANE
SUITE 70
LOUISVILLE, KY 40265
DR. 9753, PO. 566



1 SOUTH ELEVATION - FACING FAIRDALE ROAD

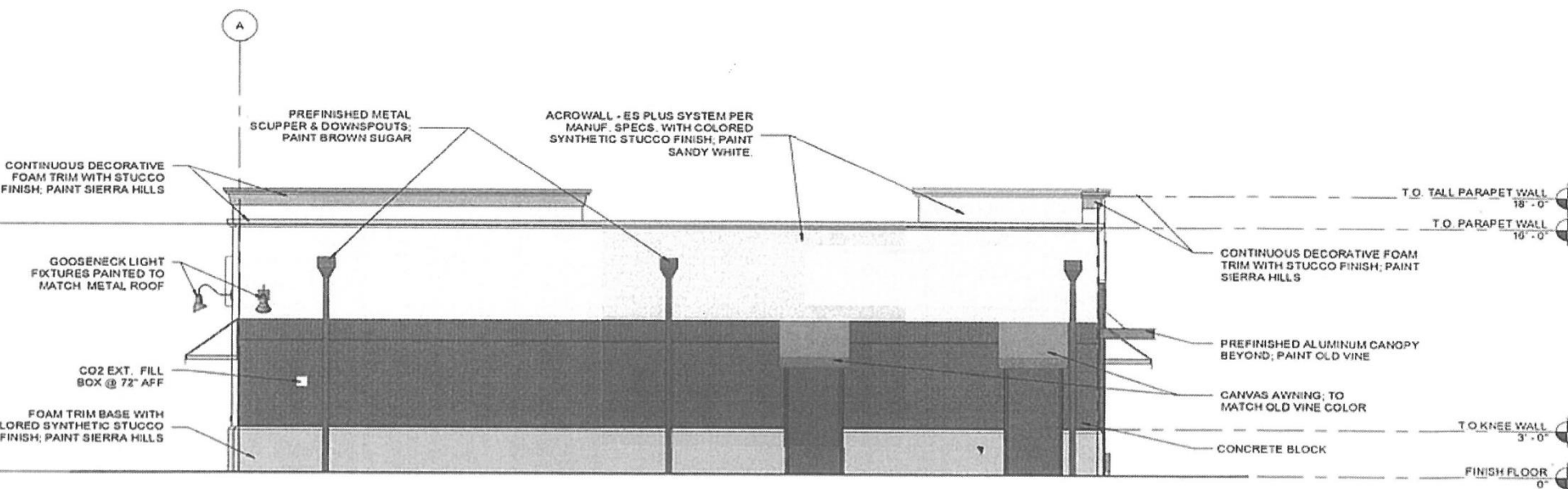
3/16" = 1'-0"

DE
RE



2 WEST (FRONT) ELEVATION - FACING NATIONAL TURNPIKE
3/16" = 1'-0"

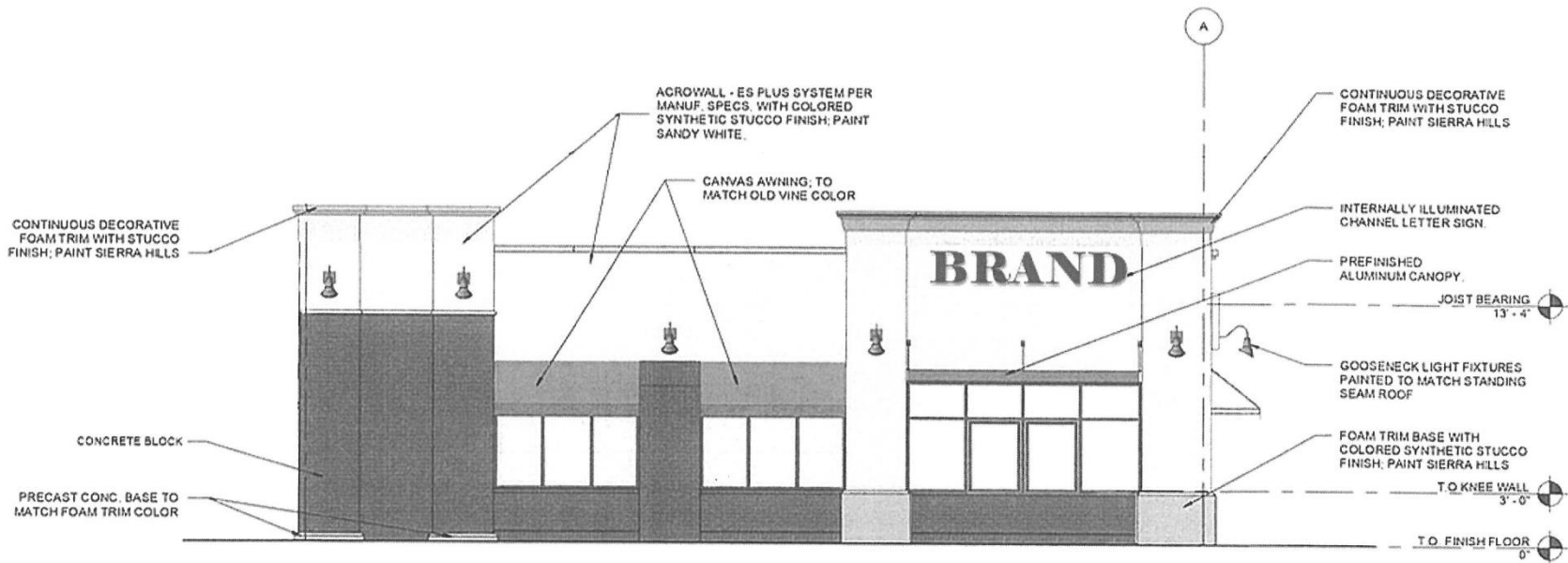
RECEIVED
JAN 23 2017
PLANNING &
DESIGN SERVICE



EAST (REAR) ELEVATION

1/16" = 1'-0"

RECEIVED
JAN 23 2017
PLANNING &
DESIGN SERVICE



1 NORTH ELEVATION
3/16" = 1'-0"

RECEIVED
JAN 23 2017
PLANNING &
DESIGN SERVICES

Staff Analysis and Conclusions

- The vacant automobile repair shop will be replaced with a 3,000 square foot convenience store and 1,500 square foot restaurant.
- The development remains within the C-1 designated zoning district while the wooded portions remain.
- The site plan is typical for a convenience store.
- Other commercial businesses along this side of National Turnpike appear to be located beyond the maximum setback.
- The applicant's floor plan provide for security and safety measures.
- The Fairdale Road side of the building is in keeping with the rest of the structure.
- The variance and waiver applications appear to be adequately justified.

Approve or Deny Requests

1. The variance to allow the structure to be located 132 feet from the National Turnpike property line.
(Maximum setback is 80 feet, variance of 42 feet).
2. The waiver not to have an entrance on the Fairdale Road side of the building.