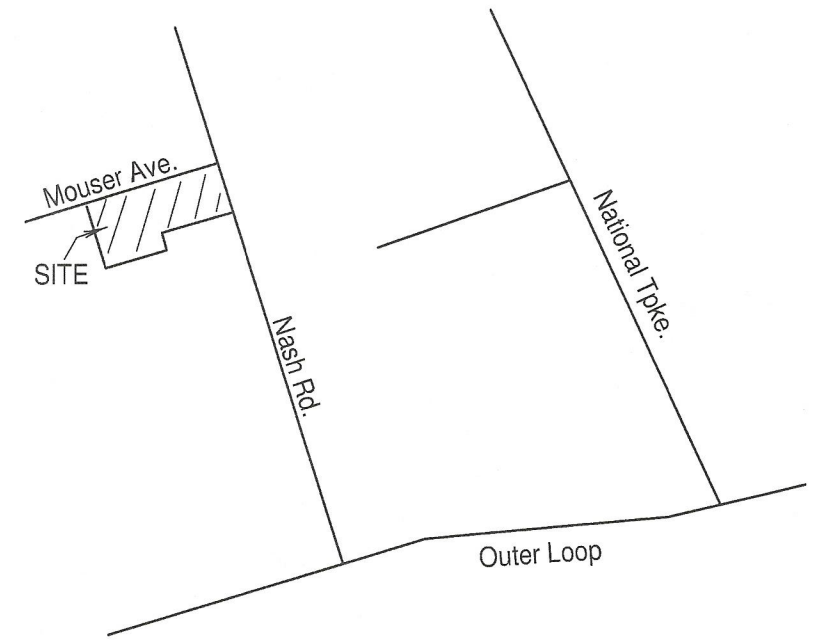


- GENERAL NOTES:
- Title Examination may reveal roads and easements no shown hereon.
 - Property is subject to any restrictions or easements either implied or of record.
 - Adjoiners information was taken from the Jefferson Co. Tax Office.
 - Reference of Meridian was taken from Record Deed.
 - Total Acreage is 0.826 acres.
 - Property and adjoining areas are located in the 100 year flood area as located by F.E.M.A. Map No. 21111C0091E Dated DEC. 6, 2006.
 - No increase in drainage run off to state roads.
 - There should be no commercial signs on the right of way.
 - There should be no landscaping in the right of way with-out an encroachment permit.
 - Site lighting should not shine in the eyes of drivers. If it does, it should be re-aimed, shielded or turned off.
 - An encroachment permit and bond will be required for any work done in the right of way.
 - Construction plans, bond, and permit are required by Metro Public Works prior to plan transmittal by MPW.
 - No Parking allowed within the Right of Way.
 - No freestanding signage proposed.
 - Compatible utilities shall be placed in a common trench unless otherwise required by appropriate agencies.
 - Space within the building will be used for long-term bicycle parking.
 - Flow arrows and contour lines were taken from LOJIC maps.
 - Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.

- WAIVER(S):
- A waiver of the Land Development Code section 5.5.4.B.1 to allow a reduction of the required 50' Landscape Buffer Area to 35' Landscape Buffer Area along the West property line and waive the required 6' berm and allow the 6' wood privacy fence to remain.

TREE CANOPY CALCULATIONS
GROSS SITE AREA: 36,000 S.F.
TREE CANOPY REQUIRED AT 20%: 7,200 S.F.
EXISTING TREE CANOPY PRESERVED: 0 S.F.
PROPOSED TREES:
13 Type A Trees @ 1 3/4" cal. (720 S.F. credit each) 9,360 S.F.
4 Type A Trees @ 1 3/4" cal. (106 S.F. credit each) 424 S.F.
TOTAL PROPOSED TREE CANOPY 9,784 S.F. (27%)



LOCATION MAP

No Scale

SITE DATA

LOCATION = 8300 & 8310 NASH RD
AND 748 & 798 MOUSER AVE.
DEED BOOK 10029, PAGE 588
TAX BLOCK, 1045 LOTS, 135, 292 & 293

EXISTING ZONING = M2
FORM DISTRICT = SW
COUNCIL DISTRICT = 13
EXISTING LAND USE = OFFICE/WAREHOUSE
PROPOSED LAND USE = OFFICE/WAREHOUSE
EX. BUILDING = 1223.37 sq ft
1 SERVICE BAY
(1) 12' OVERHEAD DOORS

EX. BUILDING HEIGHT = 13.5'
FLOOR AREA RATIO = 4712.47/36000.0 = 0.13
LAND AREA = 0.826 AC. (36,000.00 S.F.)

V.U.A.
PROPOSED ASPHALT = 10583 S.F.
REQUIRED I.L.A. = 5% OF V.U.A. = 529 S.F.
PROPOSED I.L.A. = 577 S.F. (5.45%)

SETBACK REQUIREMENTS

SWFD Form District:
Front & Street - Side = 25'
Side & Rear = None

PARKING SUMMARY

OFFICE-WAREHOUSE
MINIMUM REQUIRED:
1 SPACE FOR EACH 1.5 EMPLOYEES BASED ON
COMBINED EMPLOYMENT COUNT ON THE MAIN
SHIFT PLUS THE SECOND SHIFT
MAXIMUM ALLOWED:
1 SPACE FOR EACH EMPLOYEES BASED ON
COMBINED EMPLOYMENT COUNT ON THE MAIN
SHIFT PLUS THE SECOND SHIFT
BICYCLE PARKING
2 LONG TERM SPACES

Current Employees: 2
Anticipated Employees: 11
TOTAL PARKING PROVIDED = 11 SPACES (1 ADA space)
= 2 BICYCLE SPACES

REVISED DETAILED DISTRICT DEVELOPMENT PLAN

8300 & 8310 NASH ROAD
748 & 798 MOUSER AVE.
LOUISVILLE, KY. 40214

PROPERTY OWNER: MLR, REALTY LLC
ADDRESS: 5104 MEDITERRANEAN CT.
LOUISVILLE, KY. 40219
DEED BOOK & PAGE : DB 10029 Pg.6588

SCHROLL LAND SURVEYING LLC.

5450 Southview Dr., LOUISVILLE, KY. 40214
Phone: 502-367-7660
Mobile: 502-594-6773
FAX: 502-367-7660

DATE: MARCH 29, 2013
JOB NO: 1022

SCALE 1" = 20'
SHEET 1 OF 1

WM

L-

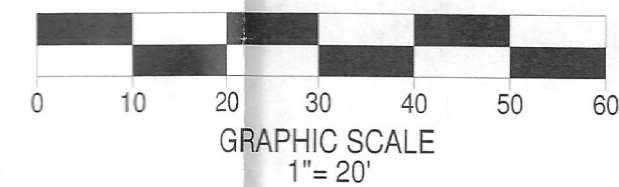
REVISIONS

NO.	DATE	DESCRIPTION	BY



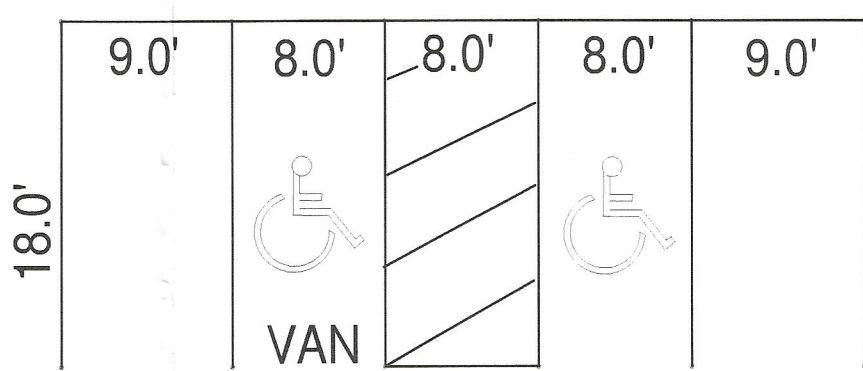
C-2
(SW Form District)
Fence 5'0" Pg. 275

C-2
(SW Form District)
Fence 5'0" Pg. 275



BUD (BEFORE YOU DIG)

UTILITY NOTE
All utilities shown on these plans are approximate. Individual service lines are not shown. The contractor or Subcontractor shall notify the Utility Protection Center "B.U.D." Toll Free Phone No. 1-800-752-6007 forty-eight (48) hours in advance of any construction on this project. This number was established to provide accurate locations of existing below ground utilities (i.e. cables, electric wires, gas, and water lines). The Contractor shall be responsible for becoming familiar with all utility requirements set forth on the Plans in the Technical Specifications and Special Provisions.



TYPICAL PARKING
SPACE LAYOUT
(No Scale)

PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS: Record sidewalk
easement prior to construction
approval.
BY: *Joey Mallett*
DATE: 6-5-13
LOUISVILLE/JEFFERSON COUNTY
METRO PUBLIC WORKS

LOUISVILLE METRO
Revised
APPROVED DISTRICT
DEVELOPMENT PLAN
Case No. DP-19080-13
APPROVAL DATE June 5, 2013
EXPIRATION DATE June 5, 2015
SIGNATURE OF PLANNING COMMISSION
Matthew R. Doyle
COMMISSION
PLANNING

NOTICE
PERMITS SHALL BE ISSUED
ONLY IN CONFORMANCE
WITH THE BINDING ELEMENTS
OF THIS DISTRICT
DEVELOPMENT PLAN.

PRELIMINARY APPROVAL
Condition of Approval: _____

Development Review Date
LOUISVILLE & JEFFERSON COUNTY
METROPOLITAN SEWER DISTRICT

BINDING ELEMENTS
DP-19080-13

- The development shall be in accordance with the approved district development plan and agreed upon binding elements unless amended pursuant to the Zoning District Regulations. Any changes/additions/ alterations of any binding element(s) shall be submitted to the Planning Commission for review and approval; any changes/additions/alterations not so referred shall not be valid.
- The structure on the development shall not exceed 1,200 square feet of gross floor area.
- There shall be no freestanding sign permitted on site without prior approval. Monument style signs that meet the size and height limits established in the "Policies for Future Development Along Designated Parkways" may be approved by DPDS staff. Signs that exceed those limits are permitted only if approved by LD& T or the Commission. LD& T or the Planning Commission may require that the signs be smaller than would otherwise be permitted by the Zoning District Regulations.
- No outdoor advertising signs, small free-standing signs, pennants, balloons, or banners shall be permitted on the site.
- There shall be no outdoor storage, display or sales except as permitted under Section 9.7 of the Jefferson County Development Code and within designated areas on the approved development plan.
- Outdoor lighting (for parking lot illumination and security) shall be directed down and away from surrounding residential properties. Lighting fixtures shall have a 90 degree cutoff and height of the light standard shall be set so that no light source is visible off-site.
- Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
- Before any permit (including but not limited to building, parking lot, change of use or alteration permit) is requested:
 - The development plan must receive full construction approval from the Department of Public Works and Transportation (400 Fiscal Court Building) and the Metropolitan Sewer District (700 West Liberty).
 - The property owner/developer must obtain approval of a detailed plan for screening (buffering/ landscaping) as described in Article 12 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
- If a building permit is not issued within one year of the date of approval of the plan or rezoning, whichever is later, the property shall not be used in any manner unless a

revised district development plan is approved or an extension is granted by the Planning Commission.

- A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
- If work is required within the easements causing removal or damage of landscape materials, the property owner shall be responsible for replacement of materials according to the approved landscape plan.
- The design of the structure shall be consistent with the rendering shown at the Planning Commission public hearing on May 29, 2003.
- The hours of operation shall be from 8:00 a.m. to 6:00 p.m. daily.
- An address shall be affixed to the building prior to issuance of a certificate of occupancy.
- Water and sewer utilities shall be connected to the site prior to obtaining a certificate of occupancy.
- A six foot solid wood privacy fence shall be constructed on the north and west sides of the site at the interior edge of the Landscape Buffer Area shown on the plan, in lieu of the location shown on the plan, and along the 30' required front yard line along Nash Road.
- All landscaping to be installed for the purpose of screening the site shall be planted on the outside of the fence.
- A sidewalk shall be constructed along the Nash Road frontage, so that the sidewalk constructed on the site will join and continue the sidewalk from the property immediately adjacent from the south.

Amended Binding Elements

- The structure on the development shall not exceed 1,200 4,712 square feet of gross floor area.
- A six foot solid wood privacy fence shall be constructed on the north and west sides of the site at the interior edge of the Landscape Buffer Area shown on the plan, in lieu of the location shown on the plan, and along the 30' required front yard line along Nash Road.
- All landscaping to be installed for the purpose of screening the site shall be planted on the outside of the fence.

NOTICE
DEVELOPMENT PLAN
OF THIS DISTRICT
WITH THE BINDING ELEMENTS
ONLY IN CONFORMANCE
PERMITS SHALL BE ISSUED

PRELIMINARY APPROVAL	Condition of Approval
Date	Development Review
LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT	