

PURPOSE OF R.D.D.P.

THE PURPOSE OF THE REVISED DETAILED DISTRICT PLAN IS TO SHOW THE LAYOUT FOR AUTO SALES ON THIS C2 LOT.

GENERAL NOTES

- 1) THIS IS NOT A SURVEY. ALL CONDITIONS ARE EXISTING.
- 2) THIS PROPERTY IS NOT LOCATED IN A FLOOD PRONE AREA PER REVIEW OF FIRM MAP PANEL 21111C0063E, EFFECTIVE DECEMBER 05, 2006.
- 3) SITE IS SERVED BY EXISTING CONNECTION.
- 4) ALL LIGHTING ON THE PROPERTY SHALL BE MAINTAINED IN ACCORDANCE WITH LDC CHAPTER 4, PART 1.3.
- 5) CONSTRUCTION PLANS, BOND, PERMITS ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO ANY CONSTRUCTION IN THE RIGHT OF WAY.
- 6) DRAINAGE ARROWS DEPICTED ON SITE PLAN ARE PER A FIELD SURVEY.
- 7) UPON DEVELOPMENT OR REDEVELOPMENT OF ADJACENT PROPERTIES, A UNIFIED ACCESS AND CIRCULATION SYSTEM SHALL BE DEVELOPED TO ELIMINATE PREEXISTING CURB CUTS AND PROVIDE FOR VEHICULAR MOVEMENT THROUGHOUT ADJACENT SITES AS DETERMINED APPROPRIATE BY THE DEPARTMENT OF PUBLIC WORKS.
8. NO DUMPSTER IS PROPOSED. THE SITE WILL BE SERVED BY 90 GALLON CANS STORED INSIDE THE BAY AREA.
9. THE R.D.D.P. IS NOT PROPOSING ANY CHANGES TO EXISTING CURB CUTS. NO NEW CONSTRUCTION IS PROPOSED. NO CROSSOVER AGREEMENT IS PROPOSED SINCE ADJACENT PROPERTIES ALL HAVE ACCESS AND SIDEWALKS WERE RECENTLY INSTALLED BY THE CITY OF JEFFERSONTOWN.

PARKING SUMMARY

MINIMUM PARKING (ONE SPACE EACH 7,000 SQ. FT. OUTDOOR DISPLAY PLUS ONE SPACE FOR EACH 250 SQ. FT. INTERIOR DISPLAY/SALES AREA) 6 SPACES

MAXIMUM PARKING (ONE SPACE EACH 5,000 SQ. FT. OUTDOOR DISPLAY, PLUS ONE SPACE FOR EACH 150 SQ. FT. INTERIOR DISPLAY/SALES AREA) 11 SPACES

DISPLAY AREA 5,364
OFFICE/BAY AREA 1,443
TOTAL 6,807

PROVIDED PARKING 6 SPACES

TYP. PARKING SPACE (REGULAR) 9' X 18'
TYP. PARKING SPACE (PARALLEL) 10' X 22'

BICYCLE PARKING-RETAIL SERVICE

LONG TERM - TWO SPACES INSIDE BUILDING
SHORT TERM - TWO SPACES OUTSIDE BUILDING

LANDSCAPING NOTES

THIS IS A REVISED DISTRICT DEVELOPMENT PLAN WITH NO NEW CONSTRUCTION, THUS NO LDC CHAPTER 10 COMPLIANCE NEEDED.

LEGEND

- Indicates set 5/8"x24" iron pin w/cap P.L.S. 3173, unless otherwise noted.
- Indicates found monument ***As noted***
- Existing Sanitary Sewer Manhole
- Existing Utility Pole
- Existing Bollard
- Existing Sign
- Existing Water Meter
- Existing Light Pole
- Proposed Fence (As Noted)
- Existing Overhead Utility Line
- Existing Spot Elevation
- Proposed tree
- Existing Tree
- Proposed 5' V.U.A./L.B.A.



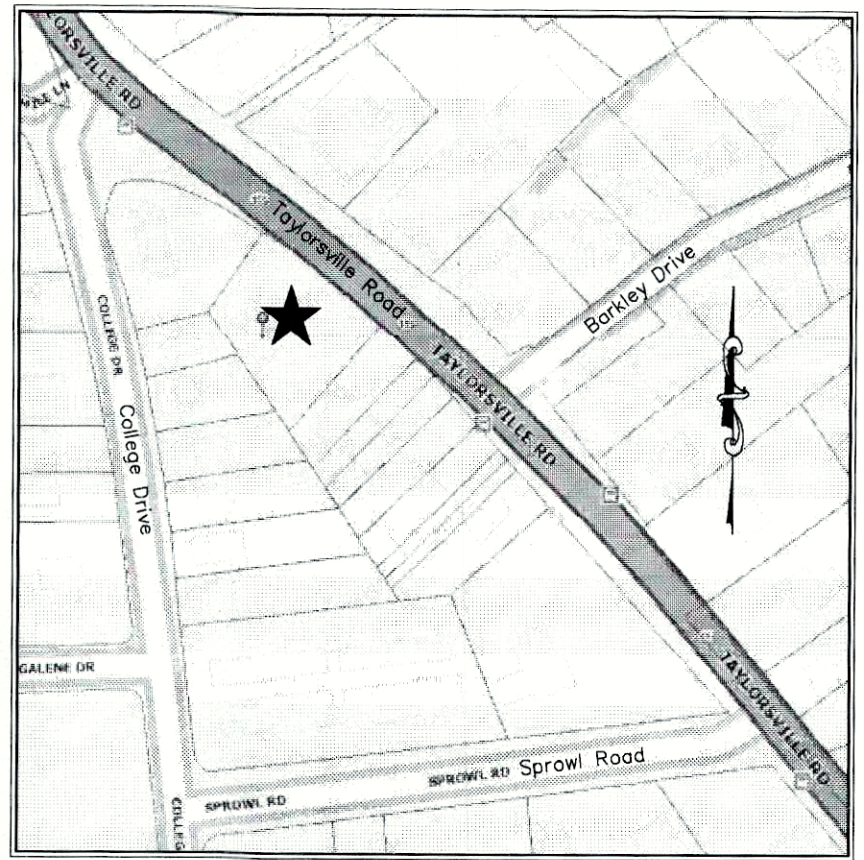
Direction of Drainage
Direction of Traffic
T.B.R. To Be Removed

Symbol	Common Name	Latin Name	Quantity	Size	Height	Spacing	Transplanting
	Willow Oak	Quercus Phellos	3	1-3/4" Caliper	----	N/A	Ball & Burlap
	China Holly	Ilex cornuta	28	----	18"	3 ft on center	Ball & Burlap

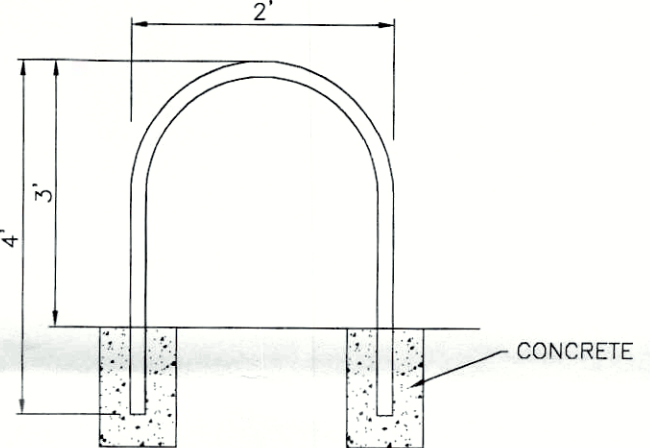
PROJECT SUMMARY

EXISTING FORM DISTRICT
EXISTING ZONE
EXISTING USE
PROPOSED USE
LOT AREA
V.U.A.
DISPLAY AREA

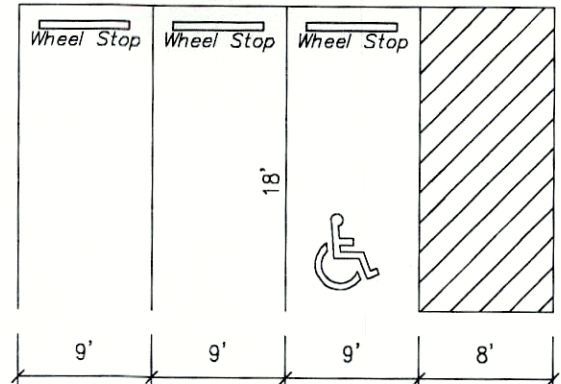
SUBURBAN MARKETPLACE CORRIDOR
C-2
SERVICE STATION/RENTAL TRUCK DEALER
USED CAR RETAILER
15,505 S.F.±
6,335 SQ. FT.
5,364 SQ. FT.



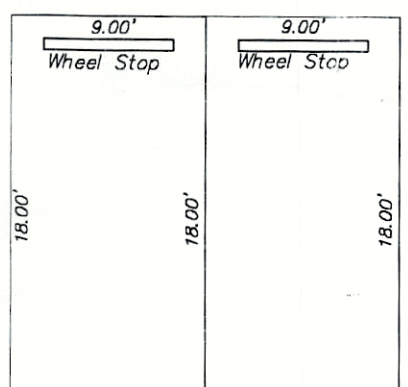
LOCATION MAP
NOT TO SCALE



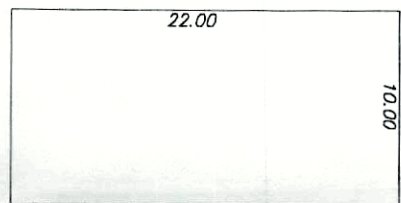
BIKE RACK DETAIL
Not to scale



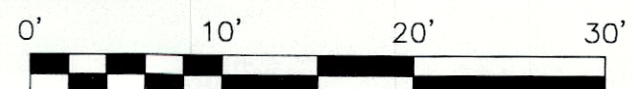
HANDICAPPED PARKING DETAIL
Not to scale



90° PARKING DETAIL
Not to scale



PARALLEL PARKING DETAIL
Not to scale



HORIZONTAL SCALE 1"=10'

NAME OF BUSINESS

GLOBE AUTO SALES II

CURRENT PROPERTY OWNER
CONVENIENCE STORES LEASING
& MANAGEMENT, LLC
ADDRESS: 4455 ACRE VIEW COURT
BROOKFIELD, WI 53005

PROJECT ADDRESS:

10104 TAYLORSVILLE ROAD
LOUISVILLE, KY 40299
D.B. 9575, PG. 453
PARCEL ID: 0488012/000

DOCKET # 15DEVPLAN1149

WM # 5983

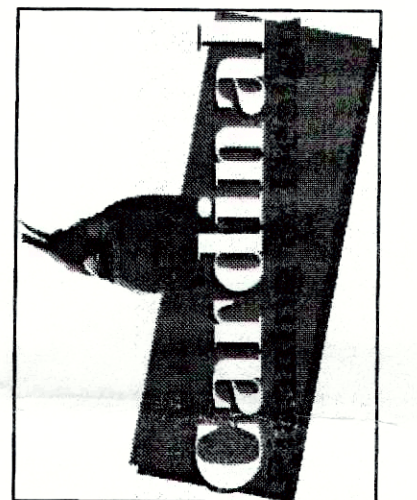
REVISED DETAIL DISTRICT DEVELOPMENT PLAN

ORIGINAL PLAN DATE: 08/28/2015

ORIGINAL DDP: 09-100-97

REVISIONS	
NO.	DATE
1.	01/12/16
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CARDINAL
PLANNING & DESIGN, INC.
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RECEIVED
JAN 21 2016
PLANNING & DESIGN SERVICE

APPLICANT
GLOBE AUTO SALES II
10104 TAYLORSVILLE ROAD
LOUISVILLE, KY 40299
SITE ADDRESS
10104 TAYLORSVILLE ROAD
LOUISVILLE, KY 40299
D.B. 9575, PG. 453
PARCEL ID: 0488012/000
THIS IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED FOR LAND TRANSFER

JOB NO.

SHEET
1
OF 1

15DEVPLAN1149