



Application Information

GENERAL INFORMATION

GIS INFORMATION

Council District	4	Current Subdivision Name	NONE	Fire Protection District	CITY OF LOUISVILLE
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Form District

DOWNTOWN

Historic Site

COMMERCIAL BLDG

Municipality

LOUISVILLE

National Register District

WEST MAIN STREET

Overlay District

WEST MAIN-MARKET

Plan Certain

NONE

Plat Book - Page

NONE

System Development District

NO

Zoning Code

(C3)

Owner Information

Name:

Barrel, Proof Properties

Address:

5109 DUNVEGAN RD, LOUISVILLE, KY 40222-6022

Contact Information

Type:

Applicant

Name:

Address:

Phone:

5028890711

Email:

mcadden@ktcbuilding.com

Owner Certification Statement

Application Submitted By:

I hereby certify that I am the owner of property subject of this application, or that I am authorized to submit this application on behalf of the owner(s) of the property. I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

Certificate of Appropriateness Application

Case Number:

20-COA-0141

Submittal Date:

Intake Staff:

Application Information

Primary Address:

121 S 7TH ST, LOUISVILLE, KY 40202

Primary Parcel Id:

014D01550000

Project Description:

Renovation of 121 and 123 S. Seventh Street. Front and rear windows to be replaced.
Change of Use- renovation to R-2 apartments
interior renovation/ change of use from business to R-2 of 2nd through 4th floor of existing building.
Barrel Proof Properties

Project Name:

GENERAL INFORMATION	
Acres	0.1140
Dwelling Units	5
Historic Preservation District	WEST MAIN STREET
Land Use General	Residential
Land Use Specific	Multi-Family
New Building Square Feet	9970
Number of Meeting Notification Postcards	0
PVA Assessed Value	711640
Project Cost	80000
Rooms	10
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Name: BARREL, PROOF PROPERTIES LLC
Address: 5109 DUNVEGAN RD, LOUISVILLE, KY 40222-6022

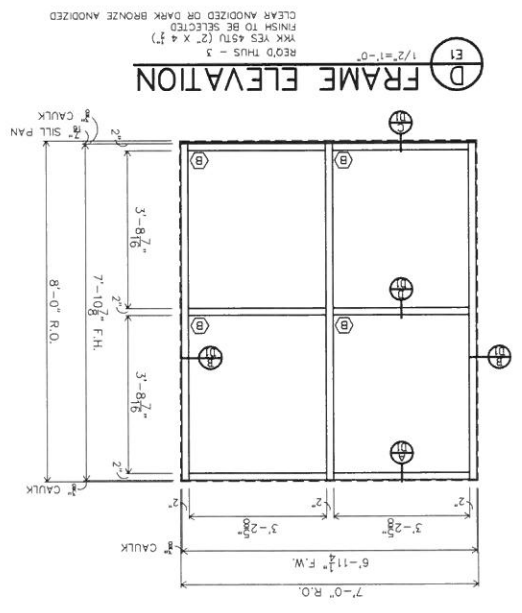
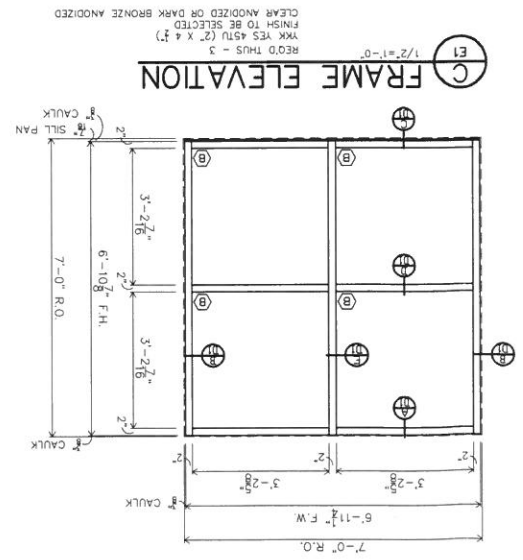
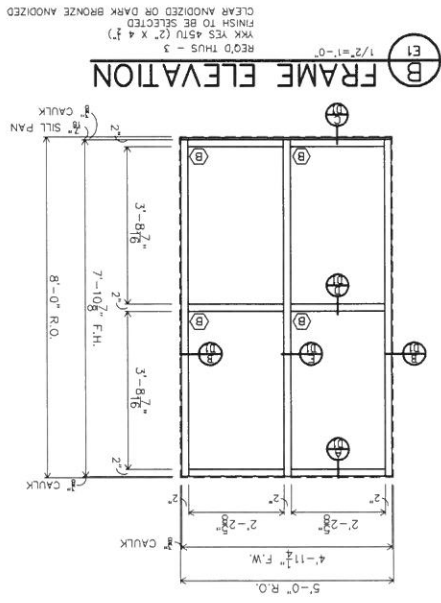
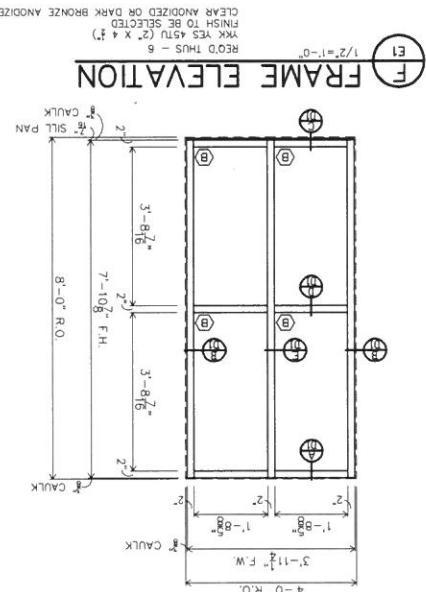
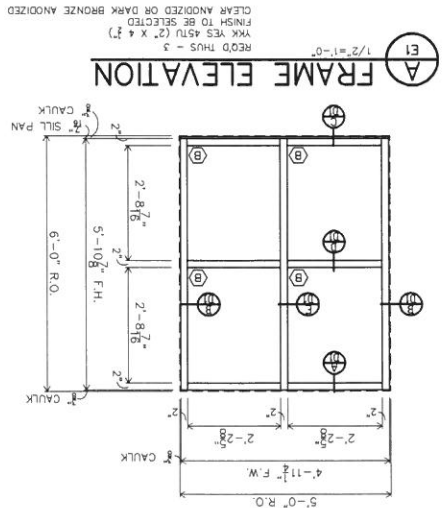
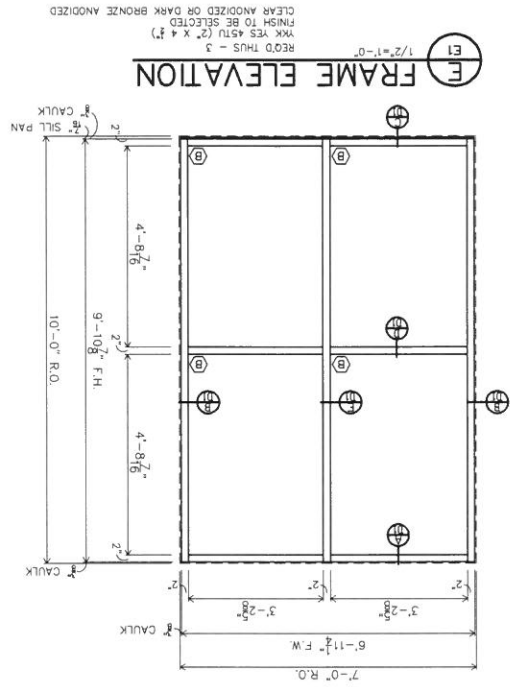
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Email: mcadden@ktcbuilding.com

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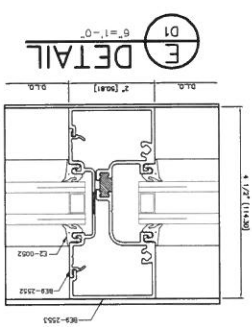
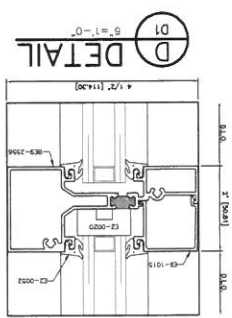
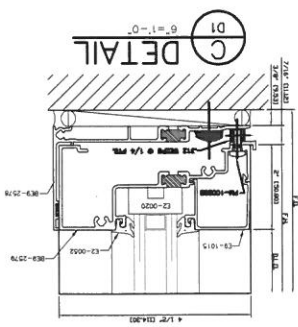
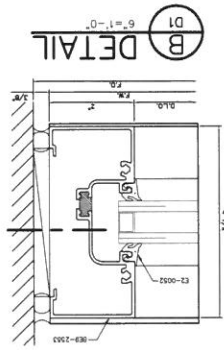
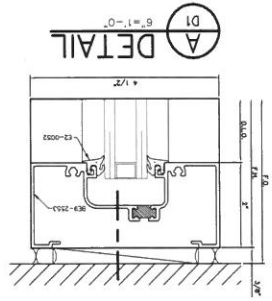
GLASS LEGEND

1	OVERALL
2	CLEAR LAMINATED, OVER
3	AIR SPACE, OVER
4	LOW "E"

	DRAWING BY	JOB NO.
TAT	5520	
DATE DRAWN	DRAWING NO.	
06/04/2020		
REVISION	DATE	
SHEET	E1	
1 OF 2		
DRAWING DESCRIPTION		STORAGE UNIT

7TH STREET BUILDINGS

**Kentucky
Mirror +
Plate Glass**



Kentucky
Mirror +
Plate Glass
822 WEST MAIN STREET
LOUISVILLE, KENTUCKY 40202
PHONE (502) 583-5541
FAX (502) 583-5546

7TH STREET BUILDINGS

ARCHITECT:	
CUSTOMER:	
DRAWN BY:	JOB NO.:
TAT	5520
DATE DRAWN:	DRAWING NO.:
06/04/2020	
REVISION	DATE
SHEET:	
D1	
SHEET 2 OF 2	
DRAWING DESCR:	
STOREFRONT	

20 - COA - 0141

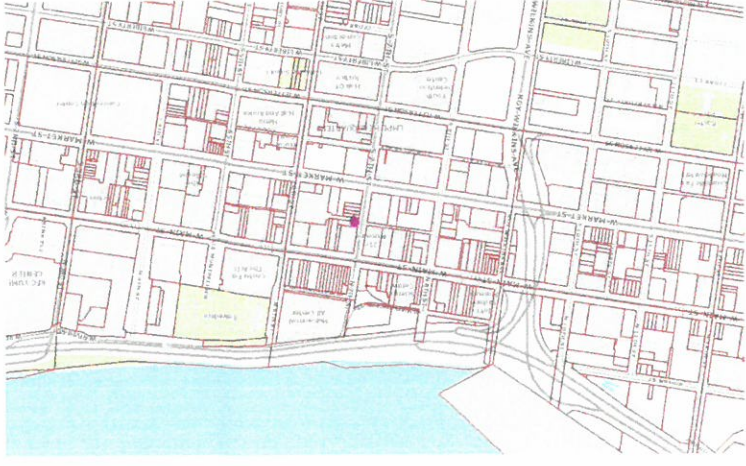
KTC MACKIN DEVELOPMENT

121 & 123 South 7th Street
LOUISVILLE, KY 40202

CONSTRUCTION DOCUMENTS

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2. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. CONTRACTOR SHALL SCHEDULE WORK TO ALLOW SAFE UNINTERRUPTED ACCESS TO BUILDING DURING NORMAL BUSINESS HOURS.
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5. ALL WORK SHALL BE GUARANTEED AGAINST DEFECT IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL WORK DEEMED UNSATISFACTORY BY THE OWNER INCLUDING DAMAGE TO EXISTING FINISHES SHALL BE CORRECTED AT NO COST TO THE OWNER.
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12. CONTRACTOR TO PROVIDE MSDS (Material Safety Data Sheet) SPECIFICATIONS (COMPLY WITH OSHA, AS PART OF SUBMITTAL PROCESS.
13. ALL WORK IS TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL AUTHORITIES, RULES, REGULATIONS, CODES AND LAWS.
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15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIAL IN STRICT ACCORDANCE WITH ACCEPTABLE "A.D.A." REQUIREMENTS FOR HANDICAPPED ACCESSIBILITY.
16. CONTRACTOR SHALL SURVEY THE AREA OF CONSTRUCTION.
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19. CONTRACTORS ARE RESPONSIBLE IN ORDER TO FACILITATE EXECUTION OF THE WORK, TO COORDINATE THE WORK OF SOME TRADES WHICH WILL BE CONTRACTED SEPARATELY, DIRECTLY BY THE OWNER. THIS INCLUDES PROVIDING ADEQUATE WORK SPACE, ROUNDING-OFF SPACES FOR WORK BY OTHERS, SCHEDULING OF OTHER WORK TO FIT WITHIN THE OVERALL PROJECT SCHEDULE, AND NOTIFYING THE OWNER IMMEDIATELY IF WORK BY OTHERS HAS ANY ADVERSE IMPACT ON THE SCHEDULE.

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2. FINISH OPENINGS: PROVIDE NEAT, CLOSE FITTING OPENINGS FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS. SEAL TIGHT AROUND ALL PENETRATIONS THROUGH FLOORS AND PARTITIONS WITH FIRE RESISTIVE MATERIAL.
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5. EQUIPMENT LOCATION: LOCATE ALL EQUIPMENT TO FACILITATE OPERATION AND MAINTENANCE. EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO CONTROLLERS, DAMPERS, VALVES, ETC. EQUIPMENT DEEMED INACCESSIBLE BY THE OWNER OR ENGINEER SHALL BE REMOVED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
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7. EQUIPMENT AND APPLIANCES: CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE INSTALLATION OF TRIM/FINISHED EQUIPMENT AND/OR APPLIANCES UNLESS OTHERWISE NOTED. INSTALLATION AS PER MANUFACTURERS INSTRUCTIONS.
8. DOORS SHALL BE FRAMED SO THAT INTERIOR FACE OF JAMB ON HINGE SIDE IS 6" FROM ADJACENT WALL INCLUDING BUT NOT LIMITED TO GRAB BARS, HANDRAILS, DOOR HARDWARE CEILING MOUNTED ACCESSORIES AND OWNER-SUPPLIED SIGNAGE. VERIFY HEIGHT MOUNTED HEIGHT AND LOCATION.
10. ALL FASTENINGS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
11. ALL CLOSERS TO HAVE SAME FINISHES AS ADJACENT SPACES, U.N.O.
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14. PARTITIONS ADJUTING CURTAIN WALL SYSTEM SHALL NOT BE ATTACHED TO CURTAIN WALL BY SCREWS OR OTHER MECHANICAL FASTENERS.
15. ALL EXPOSED EDGES TO BE FINISHED.
16. ALL WALLS TO RECEIVE CERAMIC TILE ARE TO BE CEMENTITIOUS BOARD.
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20. SEAL AROUND ALL CONCRETE FLOOR SLAB PENETRATIONS IN ALL PLUMBING CHASES.
21. ALL PENETRATIONS IN DRYWALL CONSTRUCTION ABOVE FINISHED CEILING SHALL BE SEALED TO PREVENT SOUND LEAKAGE.
22. PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/OR FIRE CODES.
- G7. PROJECT CLOSE-OUT
1. FINAL CLEANING:
2. FINAL CLEANING IS SEPARATE FROM PERIODIC CONSTRUCTION CLEANING AS OUTLINED IN GENERAL NOTES ABOVE AND SHALL BE AS FOLLOWS:
- A. UPON SUBSTANTIAL COMPLETION OF WORK, LEAVE PROJECT CLEAN AND READY FOR THE USE OF WHICH IT IS INTENDED.
- B. REMOVE WASTE MATERIALS, RUBBISH, SURPLUS MATERIALS, AND CONSTRUCTION TOOLS EQUIPMENT, AND MACHINERY.
- C. CLEAN ALL SIGHT-EXPOSED SURFACES, (INCLUDING WINDOWS).
- D. REMOVE LOOSE MATERIAL, SPATTERS, SPLASHES AND STAINS FROM ALL WORK.
3. CLEANING MATERIALS: USE ONLY CLEANING PRODUCTS RECOMMENDED BY MANUFACTURER.
4. EMPLOY EXPERIENCED WORKMEN, OR PROFESSIONAL CLEANERS, FOR FINAL CLEANING.
5. REPAIR, PATCH AND TOUCH UP SURFACES TO SPECIFIED FINISH.
6. REMOVE GREASE, DUST, DIRTY STAINS, LABELS, FINGERPRINTS, AND OTHER FOREIGN MATERIALS, FROM SIGHT-EXPOSED INTERIOR AND EXTERIOR FINISH SURFACES. POLISH SURFACES SO DESIGNATED TO HAVE GLOSS OR POLISHED FINISHES.
7. VACUUM FLOOR: BRROOM CLEAN PAVED SURFACES IN PREPARATION OF SUBSTANTIAL COMPLETION OR (INCLUDING WINDOWS), AND OF CONCEALED SPACES.
8. ALL MANUFACTURES WARRANTIES AND CLEANING INSTRUCTIONS TO BE ORGANIZED AND PROVIDED TO THE OWNER PRIOR TO COMPLETION OF JOB.



OWNER:

Barrel Proof Properties LLC
Dunvegan Road, Louisville, KY 40222

ARCHITECT:
PICKETT / PASSAFIUME / ARCHITECTS
1974A Douglas Blvd. / Suite 100 / Louisville, KY 40205 (502) 432-2197 pickarch.com

STRUCTURAL ENGINEER:
STUCTURAL SVCICIES
5948 Timber Ridge, Dr Suite 201, Prospect, KY 40059 (502) 292-2100 structural-services.com

GENERAL CONTRACTOR:
Kiel Thomson Company
925 Samuel Street, Louisville, KY 40204 (502)899-9593 kielthomsoncompany.com

PROJECT DATA:

PROJECT SCOPE:

USE GROUP:

CONSTRUCTION TYPE:
TYPE III-B, EXISTING BUILDING CONSIST OF CONCRETE SLAB AT BASEMENT, 2X WOOD JOIST AND WOOD SUB FLOOR, 1ST - 4TH FLOOR, EXTERIOR MASONRY BEARING WALLS.

APPLICABLE BUILDING CODES:
2018 KENTUCKY BUILDING CODE
2009 ICC/ANSI A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SCOPE BE SUBMITTED SEPARATELY FOR PERMITTING.
IS DESIGN-BUILD. PERMIT DRAWINGS FOR THESE DISCIPLINES WILL BE SUBMITTED SEPARATELY FOR PERMITTING.
THESE DRAWINGS REFER TO STRUCTURAL DRAWINGS SEPARATELY FOR PERMITTING.

DRAWINGS INDEX:

- A0.0 COVER
A1.0 CODE & PROJECT INFORMATION
D1.1 DEMO - BASEMENT & 1ST FLOOR PLANS
D1.2 DEMO - 2ND & 3RD FLOOR PLANS
D1.3 DEMO - 4TH FLOOR PLAN
A1.1 NEW - BASEMENT & 1ST FLOOR PLAN
A1.2 NEW - 2ND & 3RD FLOOR PLANS
A1.3 NEW - 4TH FLR PLAN & BUILDING SECTION
A1.4 DOORS & PARTITION TYPES
A1.5 BLDG SECTIONS & STAIR PLANS

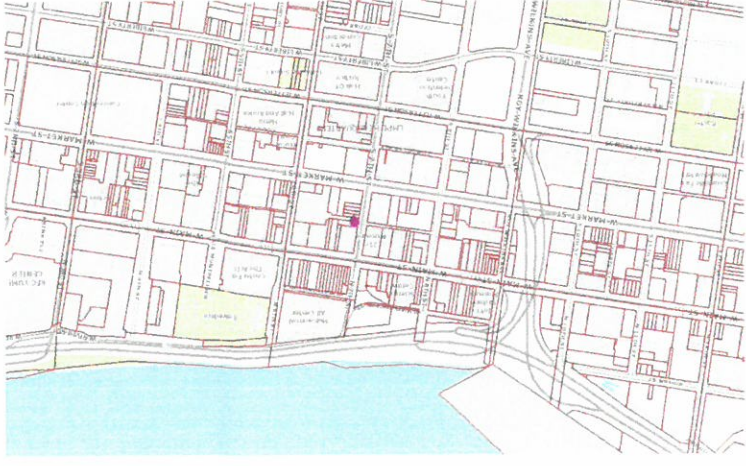
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Dunvegan Road, Louisville, KY 40222

ARCHITECT:
PICKETT / PASSAFIUME / ARCHITECTS
1974A Douglas Blvd. / Suite 100 / Louisville, KY 40205 (502) 432-2197 pickarch.com

STRUCTURAL ENGINEER:
STUCTURAL SVCICIES
5948 Timber Ridge, Dr Suite 201, Prospect, KY 40059 (502) 292-2100 structural-services.com

GENERAL CONTRACTOR:
Kiel Thomson Company
925 Samuel Street, Louisville, KY 40204 (502)899-9593 kielthomsoncompany.com

PROJECT DATA:

PROJECT SCOPE:

USE GROUP:

CONSTRUCTION TYPE:
TYPE III-B, EXISTING BUILDING CONSIST OF CONCRETE SLAB AT BASEMENT, 2X WOOD JOIST AND WOOD SUB FLOOR, 1ST - 4TH FLOOR, EXTERIOR MASONRY BEARING WALLS.

APPLICABLE BUILDING CODES:
2018 KENTUCKY BUILDING CODE
2009 ICC/ANSI A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SCOPE BE SUBMITTED SEPARATELY FOR PERMITTING.
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DRAWINGS INDEX:

- A0.0 COVER
A1.0 CODE & PROJECT INFORMATION
D1.1 DEMO - BASEMENT & 1ST FLOOR PLANS
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D1.3 DEMO - 4TH FLOOR PLAN
A1.1 NEW - BASEMENT & 1ST FLOOR PLAN
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A1.4 DOORS & PARTITION TYPES
A1.5 BLDG SECTIONS & STAIR PLANS

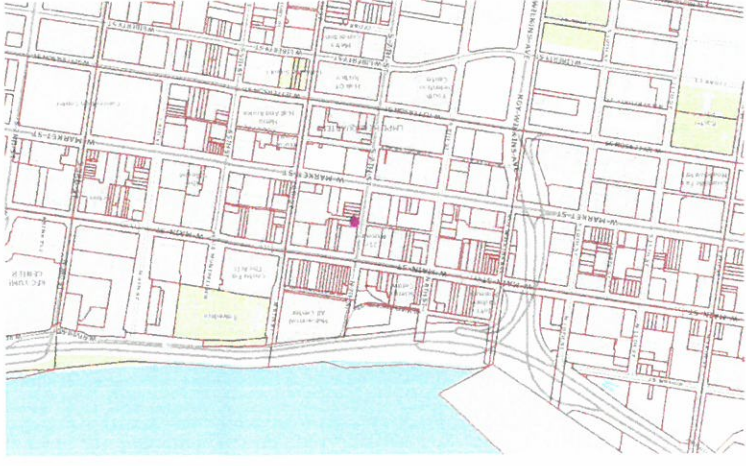
KTC MACKIN DEVELOPMENT

121 & 123 South 7th Street
LOUISVILLE, KY 40202

CONSTRUCTION DOCUMENTS

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2. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. CONTRACTOR SHALL SCHEDULE WORK TO ALLOW SAFE UNINTERRUPTED ACCESS TO BUILDING DURING NORMAL BUSINESS HOURS.
3. CONTRACTOR TO CONFIRM APPROPRIATE TIMES TO STOCKING MATERIAL, PERFORM DEMOLITION AND USE OF POWER TOOLS TO BE PERFORMED PRIOR TO CONSTRUCTION.
4. ALL MATERIAL SHALL BE NEW AND OF FIRST QUALITY. THE QUALITY OF WORKMANSHIP SHALL BE THE FINEST AND HIGHEST OBTAINABLE IN EACH PARTICULAR TRADE. WORKMANSHIP SHALL BE SATISFACTORY TO THE OWNER.
5. ALL WORK SHALL BE GUARANTEED AGAINST DEFECT IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL WORK DEEMED UNSATISFACTORY BY THE OWNER INCLUDING DAMAGE TO EXISTING FINISHES SHALL BE CORRECTED AT NO COST TO THE OWNER.
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7. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING ANY MATERIALS OR PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR QUESTIONS AND OBTAIN REQUIRED CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
9. "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
10. UNLESS INDICATED OTHERWISE, ALL NOTES, DETAILS AND FEATURES DRAWN AS APPLICABLE FOR ON CONDITION SHALL BE APPLICABLE TO SIMILAR CONDITIONS WHETHER SPECIFICALLY INDICATED OR NOT.
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- G2. GENERAL CONSTRUCTION:
1. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN A CLEAN CONSTRUCTION SITE.
2. FINISH OPENINGS: PROVIDE NEAT, CLOSE FITTING OPENINGS FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS. SEAL TIGHT AROUND ALL PENETRATIONS THROUGH FLOORS AND PARTITIONS WITH FIRE RESISTIVE MATERIAL.
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6. MULTIPLE DEVICES: ALIGN MULTIPLE DEVICES INSTALLED ADJACENT TO EACH OTHER OR TO OTHER EXISTING DEVICES, UNLESS OTHERWISE REQUIRED BY CODE.
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8. DOORS SHALL BE FRAMED SO THAT INTERIOR FACE OF JAMB ON HINGE SIDE IS 6" FROM ADJACENT WALL INCLUDING BUT NOT LIMITED TO GRAB BARS, HANDRAILS, DOOR HARDWARE CEILING MOUNTED ACCESSORIES AND OWNER-SUPPLIED SIGNAGE. VERIFY HEIGHT MOUNTED HEIGHT AND LOCATION.
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17. WHERE ADJOINING ROOMS HAVE FINISH FLOORING OF DIFFERENT MATERIAL OR COLORS, MAKE CHANGES AT CENTERLINE OF DOOR.
18. WHERE ELECTRICAL, MECHANICAL AND/OR SECURITY WALL MOUNTED DEVICE OCCUR AT THE SAME LOCATION, BUT AT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
19. ALL FLOOR PENETRATIONS MUST BE FIRESTOPPED.
20. SEAL AROUND ALL CONCRETE FLOOR SLAB PENETRATIONS IN ALL PLUMBING CHASES.
21. ALL PENETRATIONS IN DRYWALL CONSTRUCTION ABOVE FINISHED CEILING SHALL BE SEALED TO PREVENT SOUND LEAKAGE.
22. PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/OR FIRE CODES.
- G7. PROJECT CLOSE-OUT
1. FINAL CLEANING:
2. FINAL CLEANING IS SEPARATE FROM PERIODIC CONSTRUCTION CLEANING AS OUTLINED IN GENERAL NOTES ABOVE AND SHALL BE AS FOLLOWS:
- A. UPON SUBSTANTIAL COMPLETION OF WORK, LEAVE PROJECT CLEAN AND READY FOR THE USE OF WHICH IT IS INTENDED.
- B. REMOVE WASTE MATERIALS, RUBBISH, SURPLUS MATERIALS, AND CONSTRUCTION TOOLS EQUIPMENT, AND MACHINERY.
- C. CLEAN ALL SIGHT-EXPOSED SURFACES, (INCLUDING WINDOWS).
- D. REMOVE LOOSE MATERIAL, SPATTERS, SPLASHES AND STAINS FROM ALL WORK.
3. CLEANING MATERIALS: USE ONLY CLEANING PRODUCTS RECOMMENDED BY MANUFACTURER.
4. EMPLOY EXPERIENCED WORKMEN, OR PROFESSIONAL CLEANERS, FOR FINAL CLEANING.
5. REPAIR, PATCH AND TOUCH UP SURFACES TO SPECIFIED FINISH.
6. REMOVE GREASE, DUST, DIRTY STAINS, LABELS, FINGERPRINTS, AND OTHER FOREIGN MATERIALS, FROM SIGHT-EXPOSED INTERIOR AND EXTERIOR FINISH SURFACES. POLISH SURFACES SO DESIGNATED TO HAVE GLOSS OR POLISHED FINISHES.
7. VACUUM FLOOR: BRROOM CLEAN PAVED SURFACES IN PREPARATION OF SUBSTANTIAL COMPLETION OR (INCLUDING WINDOWS), AND OF CONCEALED SPACES.
8. ALL MANUFACTURES WARRANTIES AND CLEANING INSTRUCTIONS TO BE ORGANIZED AND PROVIDED TO THE OWNER PRIOR TO COMPLETION OF JOB.



OWNER:

Barrel Proof Properties LLC
Dunvegan Road, Louisville, KY 40222

ARCHITECT:
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1974A Douglas Blvd. / Suite 100 / Louisville, KY 40205 (502) 432-2197 pickarch.com

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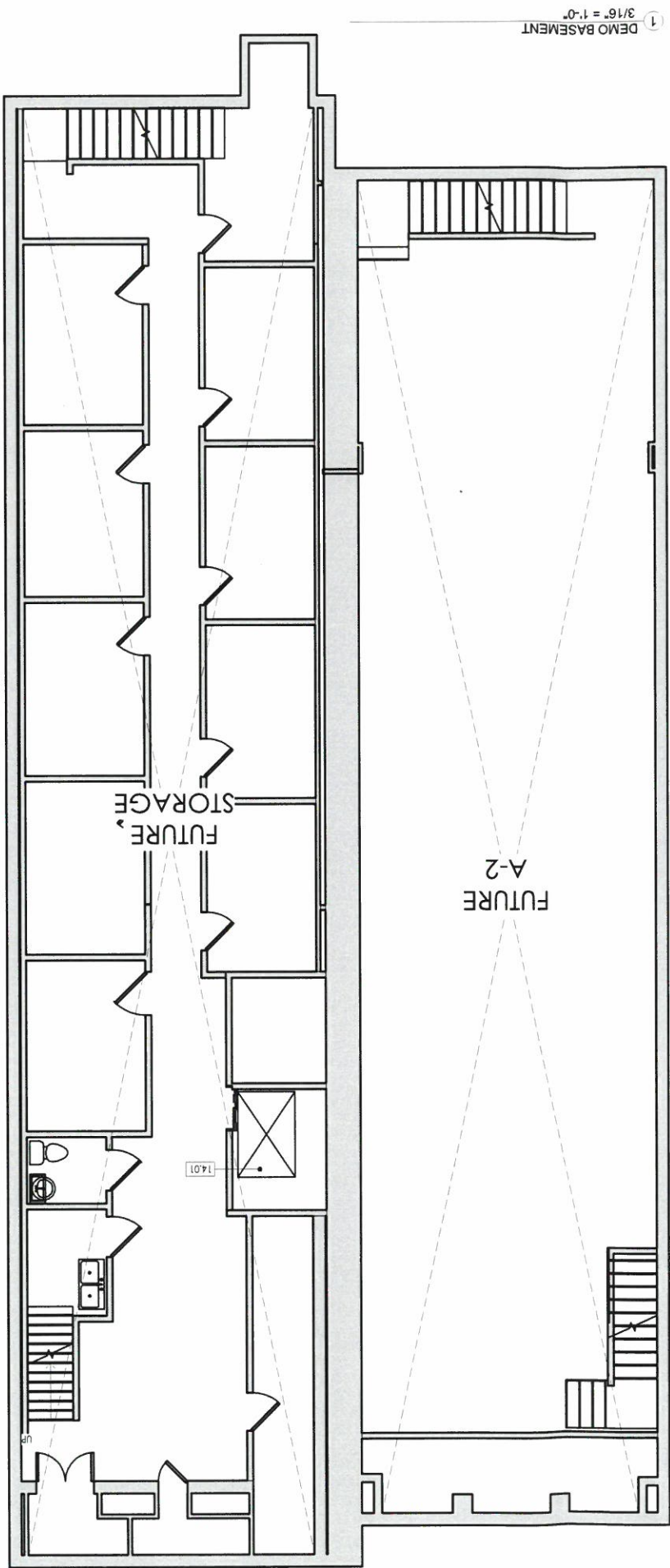
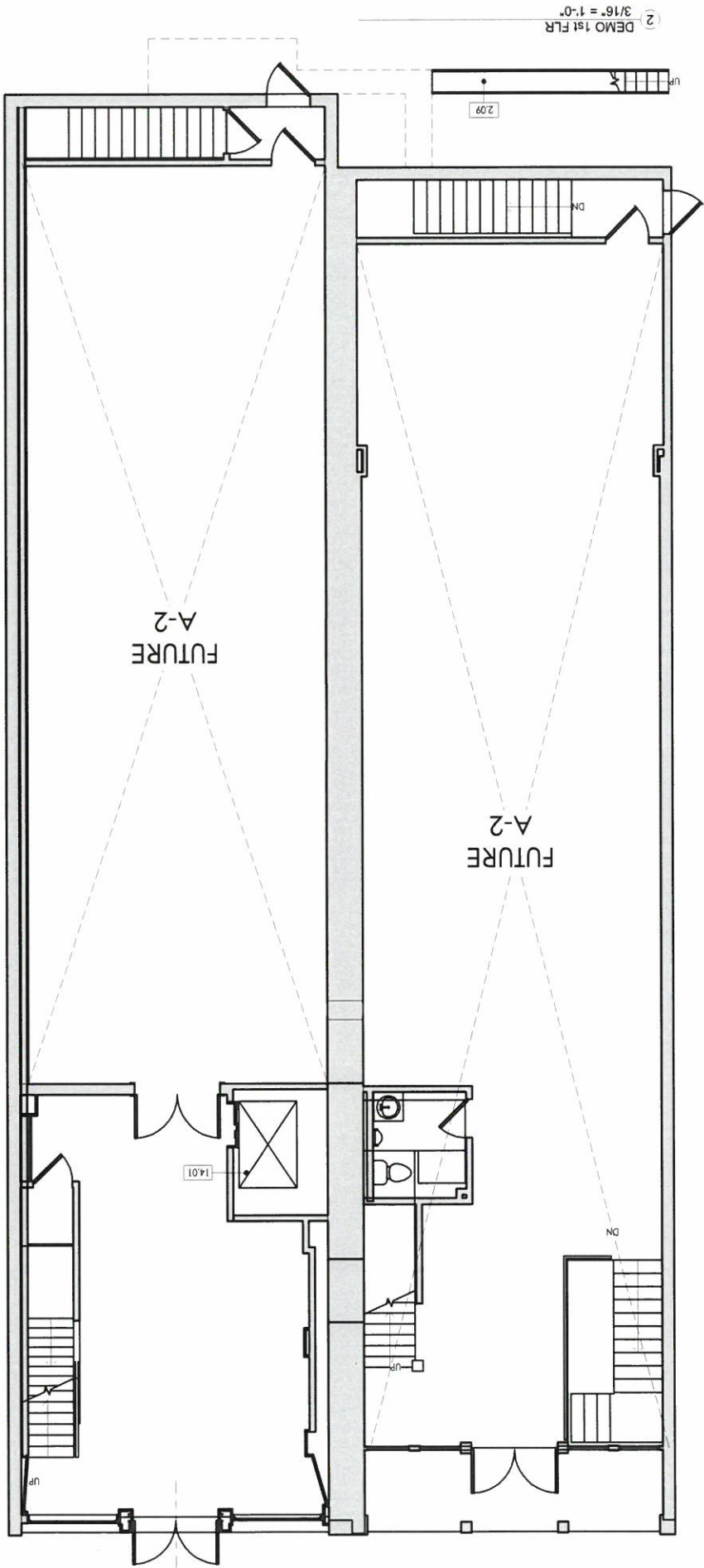
KTC MACKIN DEVELOPMENT

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19. ALL FLOOR PENETRATIONS MUST BE FIRESTOPPED.
20. SEAL



- SYMBOLS**
- EXISTING WALLS TO REMAIN
 - A1 - NON RATED PARTITION TYPE
 - A2 - .50 HR PARTITION TYPE
 - A3 - 1 HR PARTITION TYPE
 - KEY NOTE TAG
 - PARTITION TYPE TAG
 - DOOR TAG

KEYNOTES

2.09 EXISTING FIRE ESCAPE TO REMAIN AS PART OF THE EMERGENCY EGRESS.

14.01 EXISTING ELEVATOR TO REMAIN, PROVIDE UPDATED INTERIOR FINISHES.

D1.1

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ISSUES AND REVISIONS		
No.	Date	Description

KTC MACKIN DEVELOPMENT

RESIDENTIAL UNITS

121 & 123 South 7th Street

PROJECT/PASSIFUME/ARCHITECTS PROJECT NO. 006-177

DEMO - BASEMENT & 1ST FLOOR PLANS

PP

PICKETT PASSIFUME

1974A Douglas Blvd., Ste 100, Louisville, KY 40205
(502) 432-2197 pickett.com



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ISSUES AND REVISIONS	
No.	Description

KTC MACKIN DEVELOPMENT

RESIDENTIAL UNITS

121 & 123 South 7th Street

PICKETT/PASSIFUME/ARCHITECTS PROJECT NO. 030-177

DEMO - 2ND & 3RD FLOOR PLANS

PP

PICKETT PASSAFIUME

1974A Douglass Blvd., Ste 100, Louisville, KY 40205
(502) 432-2197 pickarch.com

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KEYNOTES

1.01	INTERIOR FINISHES.
1.01	EXISTING ELEVATOR TO REMAIN, PROVIDE UPDATED EMERGENCY EGRESS.
2.08	REMOVE SPIRAL STAIRCASE.
2.07	REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW.
2.05	EXISTING STAIR TO REMAIN WITH NEW HANDRAIL AT TOP DYNAMICS FOR STAIR INFILL.
2.04	REMOVE STAIR COMPLETE REFER TO STRUCTURAL DYNAMICS FOR STAIR INFILL.
2.03	REMOVE EXISTING DOOR AND FRAME.
2.01	REMOVE EXISTING PARTITION, PATCH FLOOR AND PREP FOR NEW FLOOR.

SYMBOLS

EXISTING WALLS TO REMAIN	
A1 - NON RATED PARTITION TYPE	
A2 - 50 HR PARTITION TYPE	
A3 - 1 HR PARTITION TYPE	
KEY NOTE TAG	
PARTITION TYPE TAG	
DOOR TAG	

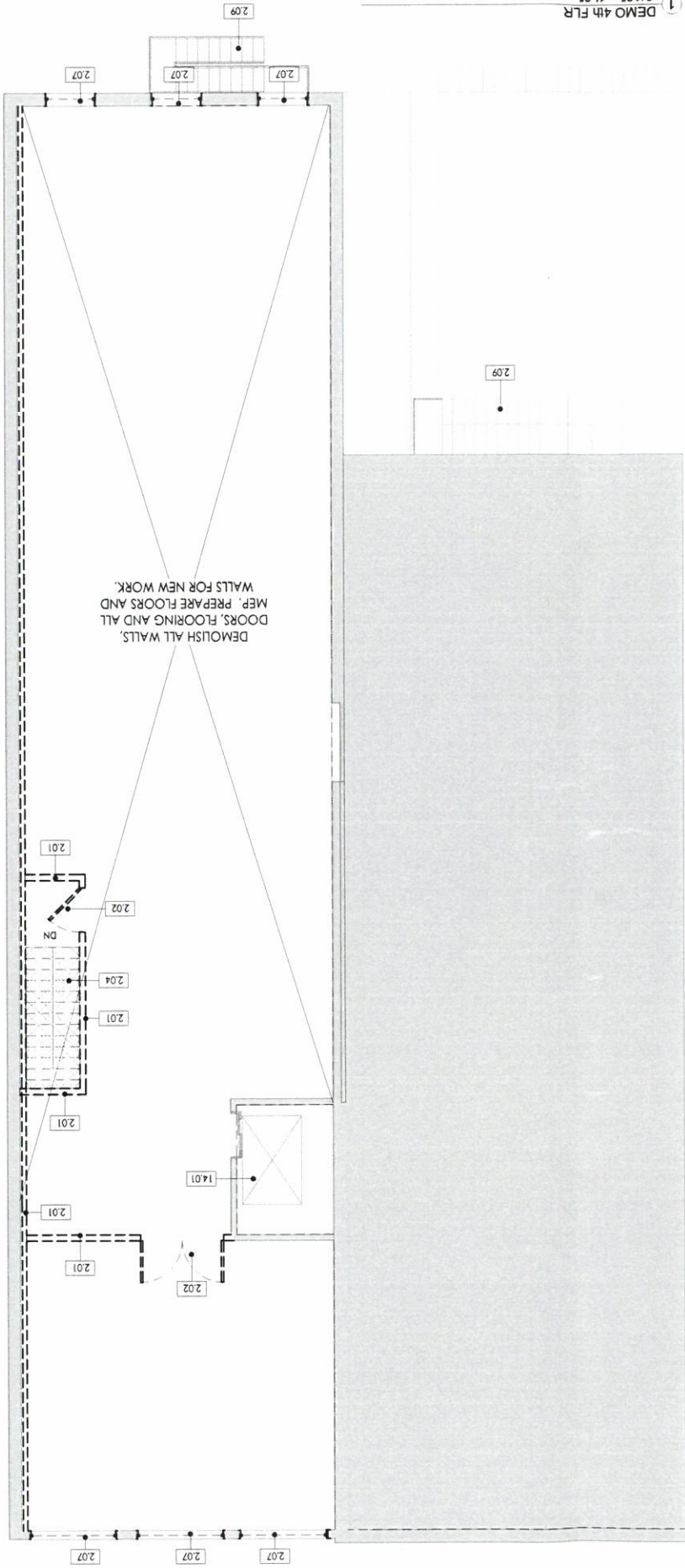
2 DEMO 3rd FLR
3/16" = 1'-0"

2 DEMO 3rd FLR
3/16" = 1'-0"

1 DEMO 2nd FLR

1 DEMO 2nd FLR

- KEYNOTES
- 2.01 REMOVE EXISTING PARTITION, PATCH FLOOR AND PREP FOR NEW FLOOR.
 - 2.02 REMOVE EXISTING DOOR AND FRAME.
 - 2.04 REMOVE STAIR COMPLETE, REFER TO STRUCTURAL DRAWINGS FOR FLOOR INFILL.
 - 2.07 REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW.
 - 2.09 EXISTING FIRE ESCAPE TO REMAIN AS PART OF THE EMERGENCY EGRESS.
 - 1.4.01 EXISTING ELEVATOR TO REMAIN, PROVIDE UPDATED INTERIOR FINISHES.



1 DEMO 4th FLR
3/16" = 1'-0"

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- EXISTING WALLS TO REMAIN
 - A1 - NON RATED PARTITION TYPE
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KTC MACKIN DEVELOPMENT
RESIDENTIAL UNITS
121 & 123 South 7th Street
PROJECT/PASSIFUME/ARCHITECT PROJECT NO. 038-177
DEMO - 4TH FLOOR PLAN

PICKETT PASSAFUME
1974A Douglas Blvd., Ste 100, Louisville, KY 40205
(502) 432-2197 pickettarch.com



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KTC MACKIN DEVELOPMENT

RESIDENTIAL UNITS

121 & 123 South 7th Street

PICKETT/PASSIFUME/ARCHITECTS PROJECT NO. 030-177

NEW - BASEMENT & 1ST FLOOR PLAN

RR

PICKETT PASSAFIUME

1974A Douglass Blvd., Ste 100, Louisville, KY 40205
[502] 432-2197 pickarch.com

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SYMBOLS

EXISTING WALLS TO REMAIN

A1 - NON PATED PARTITION TYPE

A2 - 50 HR PARTITION TYPE

A3 - 1 HR PARTITION TYPE

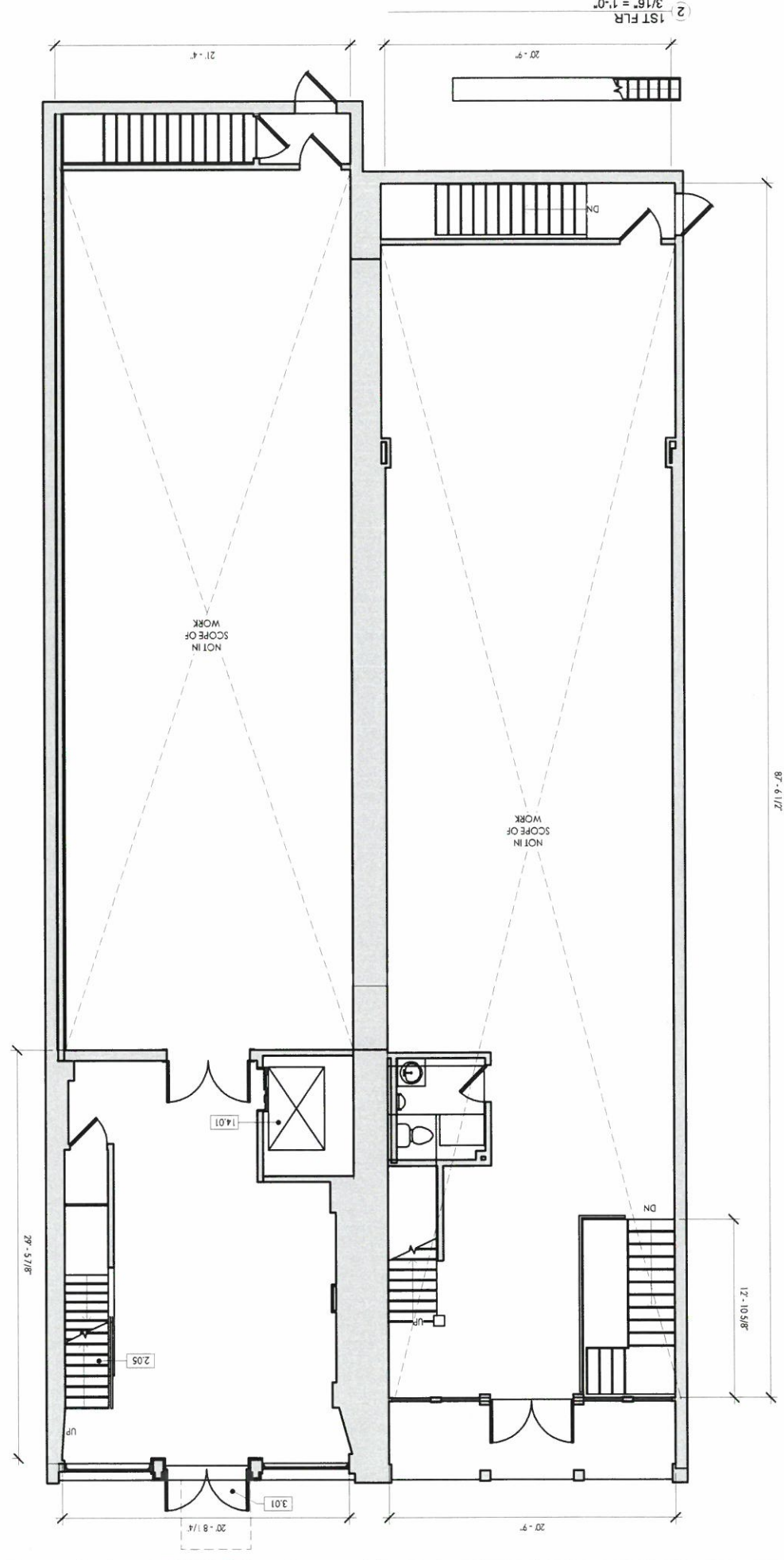
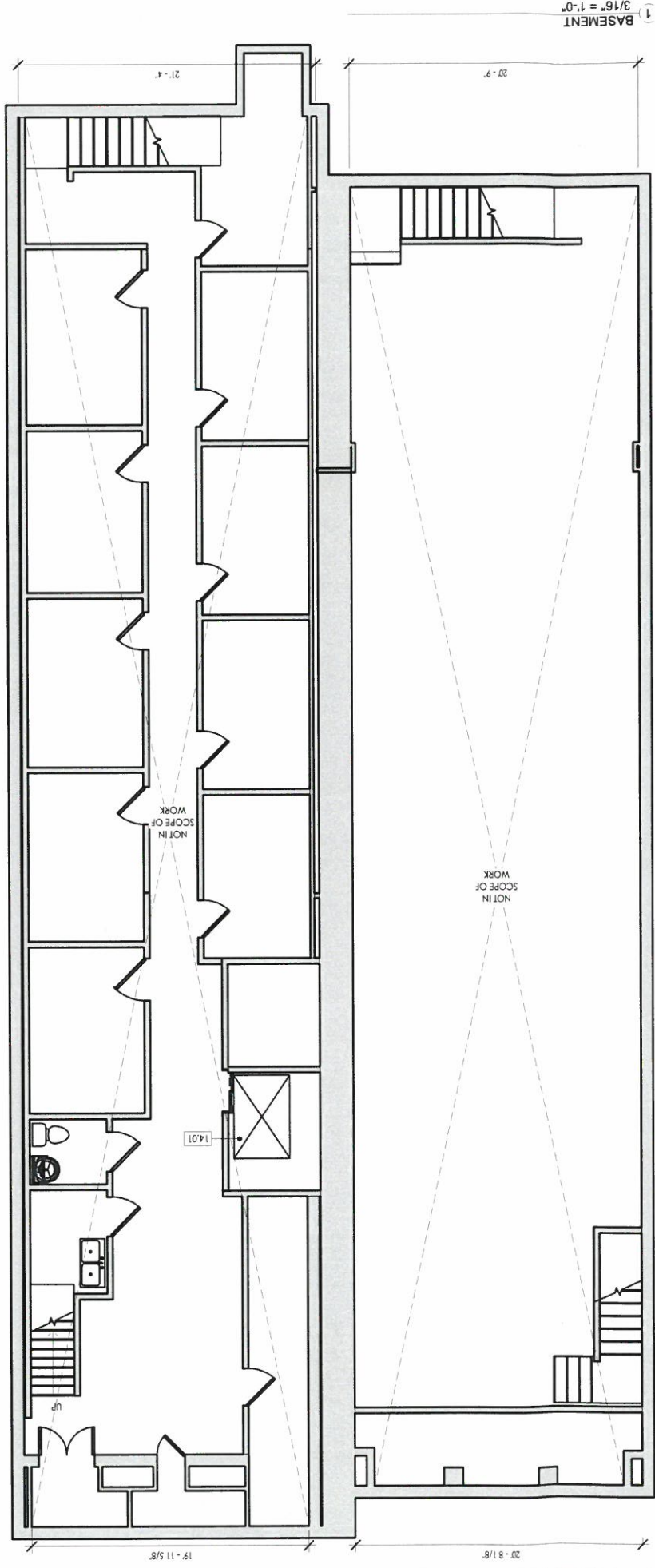
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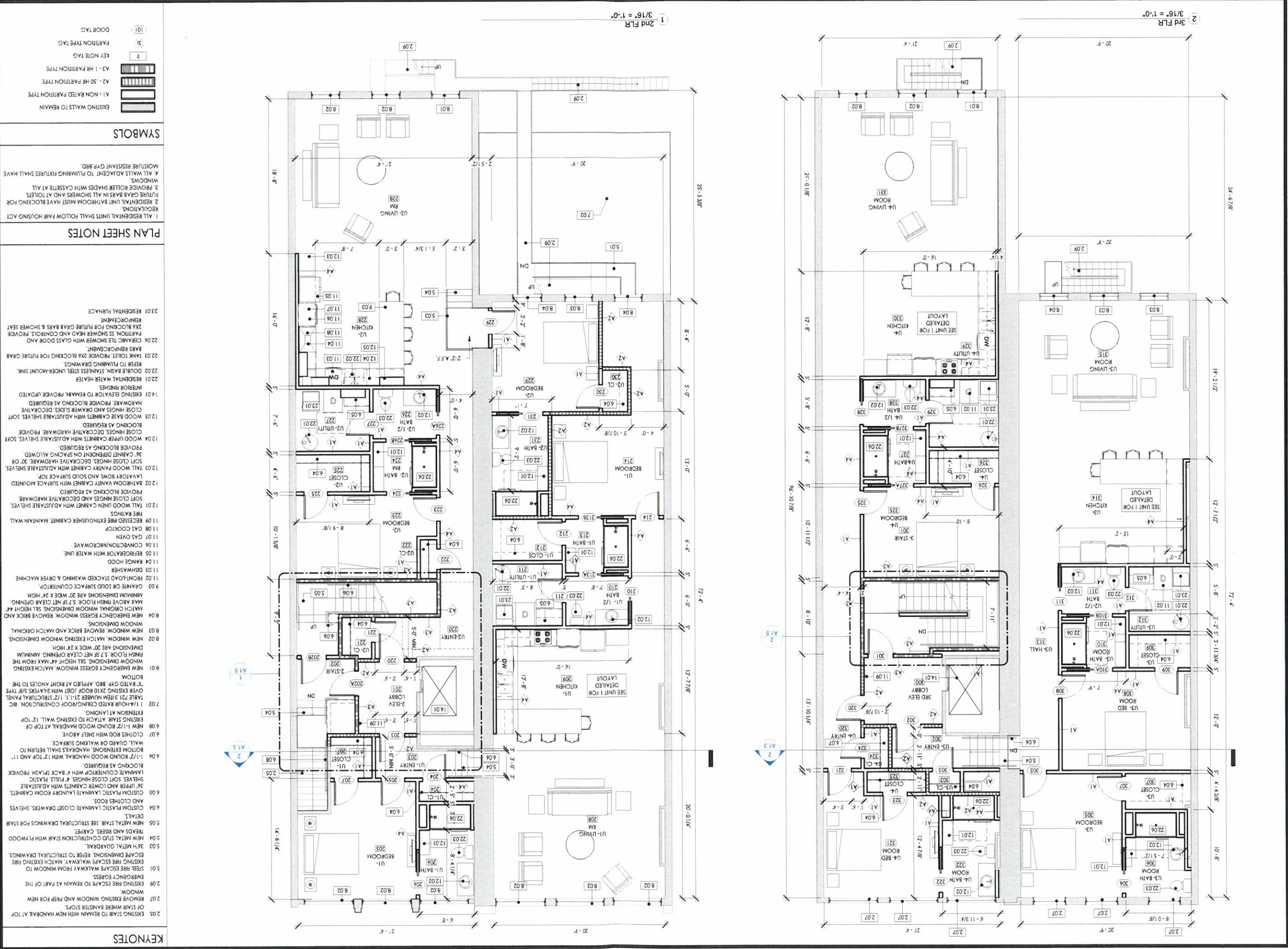
PARTITION TYPE TAG

DOOR TAG

KEYNOTES

2.05 EXISTING STAIR TO REMAIN WITH NEW HANDRAIL AT TOP
OF STAIR WHERE BANISTER STOPS.
3.01 ASSESSABLE ROUTE. WALK SURFACE SHALL NOT BE STEEPER
THAN 1:20 TO ENTRY DOOR. MANEUVERING
CLEARANCE: 5'-0" WIDE BY 5'-0" DEEP AND A MAX SLOPE
OF 1:48 SHALL BE LOCATED AT THE ENTRY DOOR.
14.01 EXISTING ELEVATOR TO REMAIN. PROVIDE UPDATED
INTERIOR FINISHES.





KEYNOTES

2.05 EXISTING STAIR TO REMAIN WITH NEW HANDRAIL AT TOP
2.07 REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW
2.08 EXISTING FIRE ESCAPE TO REMAIN AS PART OF THE WINDOW
5.01 STEEL FIRE ESCAPE WALKWAY FROM WINDOW TO ESCAPE DIMENSIONS. REFER TO STRUCTURAL DRAWINGS.
5.04 NEW METAL STAIR CONSTRUCTION STAIR WITH PLYWOOD TREADS AND RISERS. CARPET.
5.05 NEW METAL STAIR. SEE STRUCTURAL DRAWINGS FOR STAIR DETAILS.
6.04 CUSTOM PLASTIC LAMINATE CLOSET DRAWERS, SHELVES AND CLOTHES RODS.
6.05 CUSTOM PLASTIC LAMINATE LAUNDRY ROOM CABINETS, 36\"/>

PLAN SHEET NOTES

1. ALL RESIDENTIAL UNITS SHALL FOLLOW FAIR HOUSING ACT REGULATIONS.
2. RESIDENTIAL UNIT BATHROOM MUST HAVE BLOCKING FOR FUTURE GRAB BARS IN ALL SHOWERS AND AT TOILETS.
3. PROVIDE ROLLER SHADES WITH CASSETTE AT ALL WINDOWS.
4. ALL WALLS ADJACENT TO PLUMBING FIXTURES SHALL HAVE MOISTURE RESISTANT GYP BRD.
SYMBOLS

EXISTING WALLS TO REMAIN
A1 - NON RATED PARTITION TYPE
A2 - 50 HR PARTITION TYPE
A3 - 1 HR PARTITION TYPE
KEY NOTE TAG
PARTITION TYPE TAG
DOOR TAG

KEYNOTES

2.05 EXISTING STAIR TO REMAIN WITH NEW HANDRAIL AT TOP
2.07 REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW
2.08 EXISTING FIRE ESCAPE TO REMAIN AS PART OF THE WINDOW
5.01 STEEL FIRE ESCAPE WALKWAY FROM WINDOW TO ESCAPE DIMENSIONS. REFER TO STRUCTURAL DRAWINGS.
5.04 NEW METAL STAIR CONSTRUCTION STAIR WITH PLYWOOD TREADS AND RISERS. CARPET.
5.05 NEW METAL STAIR. SEE STRUCTURAL DRAWINGS FOR STAIR DETAILS.
6.04 CUSTOM PLASTIC LAMINATE CLOSET DRAWERS, SHELVES AND CLOTHES RODS.
6.05 CUSTOM PLASTIC LAMINATE LAUNDRY ROOM CABINETS, 36\"/>

DATE: 04.10.2020
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CHECKED BY: Checker
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A1.2

ISSUES AND REVISIONS

No.	Date	Description

KTC MACKIN DEVELOPMENT
RESIDENTIAL UNITS
121 & 123 South 7th Street
PROJECT/PASSAUME/ARCHITECTS PROJECT NO. 009A177
NEW - 2ND & 3RD FLOOR PLANS

PPA
PROJECT PASSAUME
1974A Douglas Blvd., Ste 100, Louisville, KY 40205
(502) 432-2197 ppaarch.com

Jeffrey D. Piccetti
REGISTERED ARCHITECT
No. 6850
EXPIRATION 12/31/2024

4/14/2020 9:59:47 AM

20 - COA - 0141

A1.5

DATE:	04.10.2020
DRAWN BY:	Author
CHECKED BY:	Checker
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ISSUES AND REVISIONS		
No.	Date	De

KTC MACKIN DEVELOPMENT
RESIDENTIAL UNITS
121 & 123 South 7th Street
RICKET/PASSI/UMEA/ARCHITECTS PROJECT NO. 030-177

BLDG SECTIONS & STAIR PLANS

1974a Douglas Blvd. Ste 100, Louisville, KY 40205
[502] 432-1977 picketch.com



SYMBOLS

PLAN SHEET NOTES

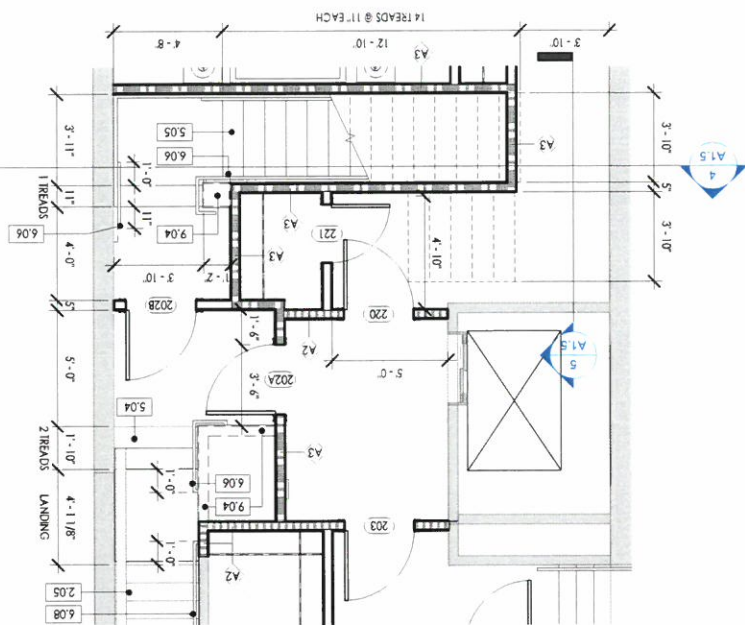
KEYNOTES



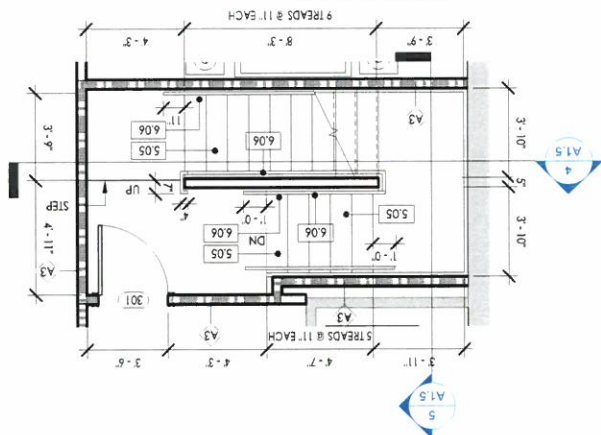
1. THE RESIDENTIAL UNITS SHALL FOLLOW FAIR HOUSING ACT REGULATIONS.
2. RESIDENTIAL UNIT BATHROOM MUST HAVE BLOCKING FOR CURTAIN GRAB BARS IN ALL SHOWERS AND AT TOILETS.
3. PROVIDE ROLLER SHADES WITH CASSETTE AT ALL WINDOWS.
4. ALL WALLS ADJACENT TO PLUMBING FIXTURES SHALL HAVE MOISTURE RESISTANT GYP BRD.

9.06	1-ANCHOR RATED CEILING NEW UNDER STAIR, 1X 150.1, 3 LAYERS OF 3/8" GYP. RBD. BELOW ATTACHED TO 6"
9.05	1-1/4" HOUR RATED CEILING/ROOF CONSTRUCTION PANEL 7 (SEE DRAWING 21-1.1); 1/2" STRUCTURAL GYP. RBD. 3. RATED GYP. ROOF JOIST WITH 2-1/2" X 8" S.F. RATED GYP. RBD. APPLIED AT RIGHT
9.04	1-1/4" HOUR RATED CEILING/ROOF CONSTRUCTION PANEL 8 (SEE DRAWING 21-1.1); 1/2" STRUCTURAL GYP. RBD. 3. RATED GYP. ROOF JOIST WITH 2-1/2" X 8" S.F. RATED GYP. RBD. APPLIED AT RIGHT
7.02	1-1/4" HOUR RATED CEILING/ROOF CONSTRUCTION PANEL 9 (SEE DRAWING 21-1.1); 1/2" STRUCTURAL GYP. RBD. 3. RATED GYP. ROOF JOIST WITH 2-1/2" X 8" S.F. RATED GYP. RBD. APPLIED AT RIGHT
6.08	NEW 1-1/2" ROUND WOUND HANDRAIL AT TOP OF NEW 1-1/2" ROUND WOUND HANDRAIL AT TOP OF WALL GUARD OR WALKING SURFACE
6.06	1-1/4" HOUR RATED CEILING/ROOF CONSTRUCTION PANEL 10 (SEE DRAWING 21-1.1); 1/2" STRUCTURAL GYP. RBD. 3. RATED GYP. ROOF JOIST WITH 2-1/2" X 8" S.F. RATED GYP. RBD. APPLIED AT RIGHT
5.05	NEW METAL STAIR, SEE STRUCTURAL DRAWINGS FOR STAIR DETAILS, HANDRAILS AND RISERS, CARPETS
5.04	NEW METAL STAIR CONSTRUCTION STAIRS WITH HANDRAILS AND RISERS, CARPETS
2.05	EXISTING STAIR TO REARBY WITH NEW HANDRAIL AT TOP

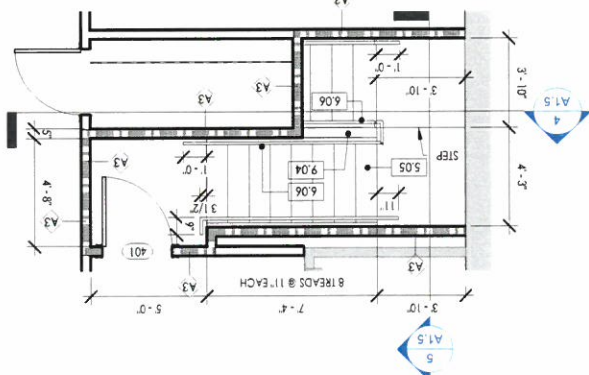
2ND FLR STAIR PLAN



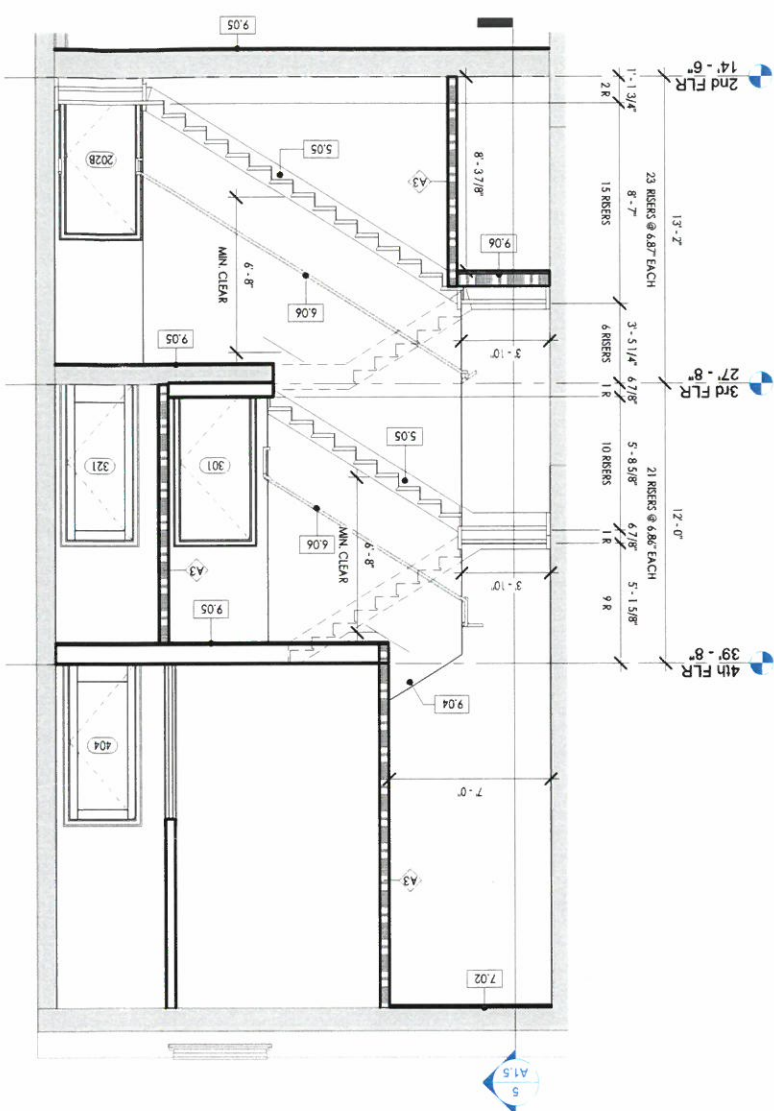
2) 3RD FLR STAIR PLAN 1/4" = 1'-0"



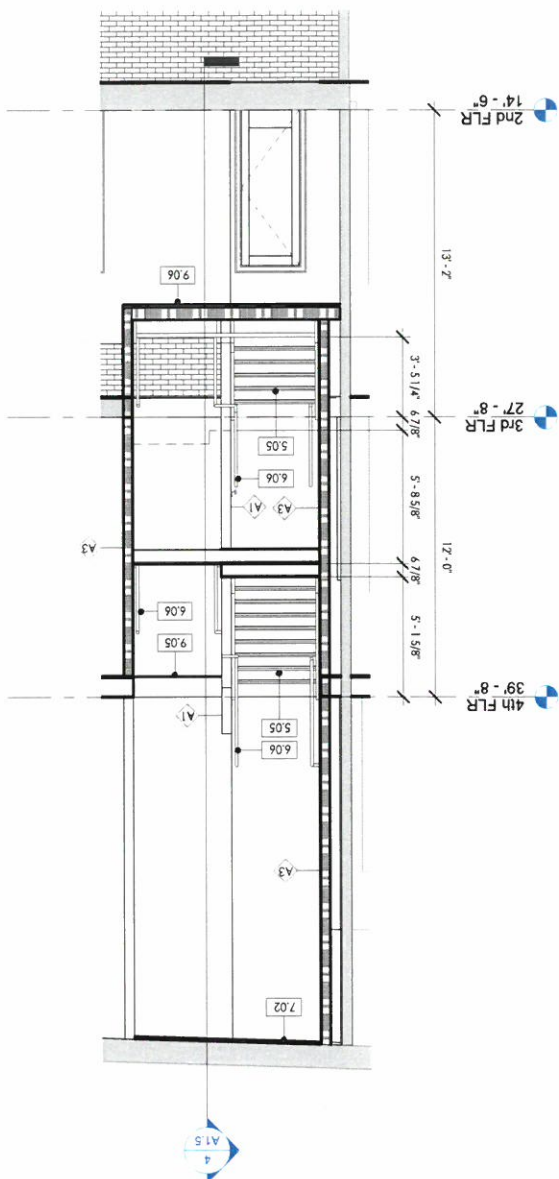
4TH FLR STAIR PLAN (3) 1/4" = 1'-0"



4 STAIR SECTION
1/4" = 1'-0"



5) STAIR SECTION 2



20-COA-0141

