

**18VARIANCE1073**  
**Hi View Lane Variance**



**Louisville Metro Board of Zoning Adjustment**  
**Public Hearing**

**Dante St. Germain, Planner II**  
**September 4, 2018**

# Requests

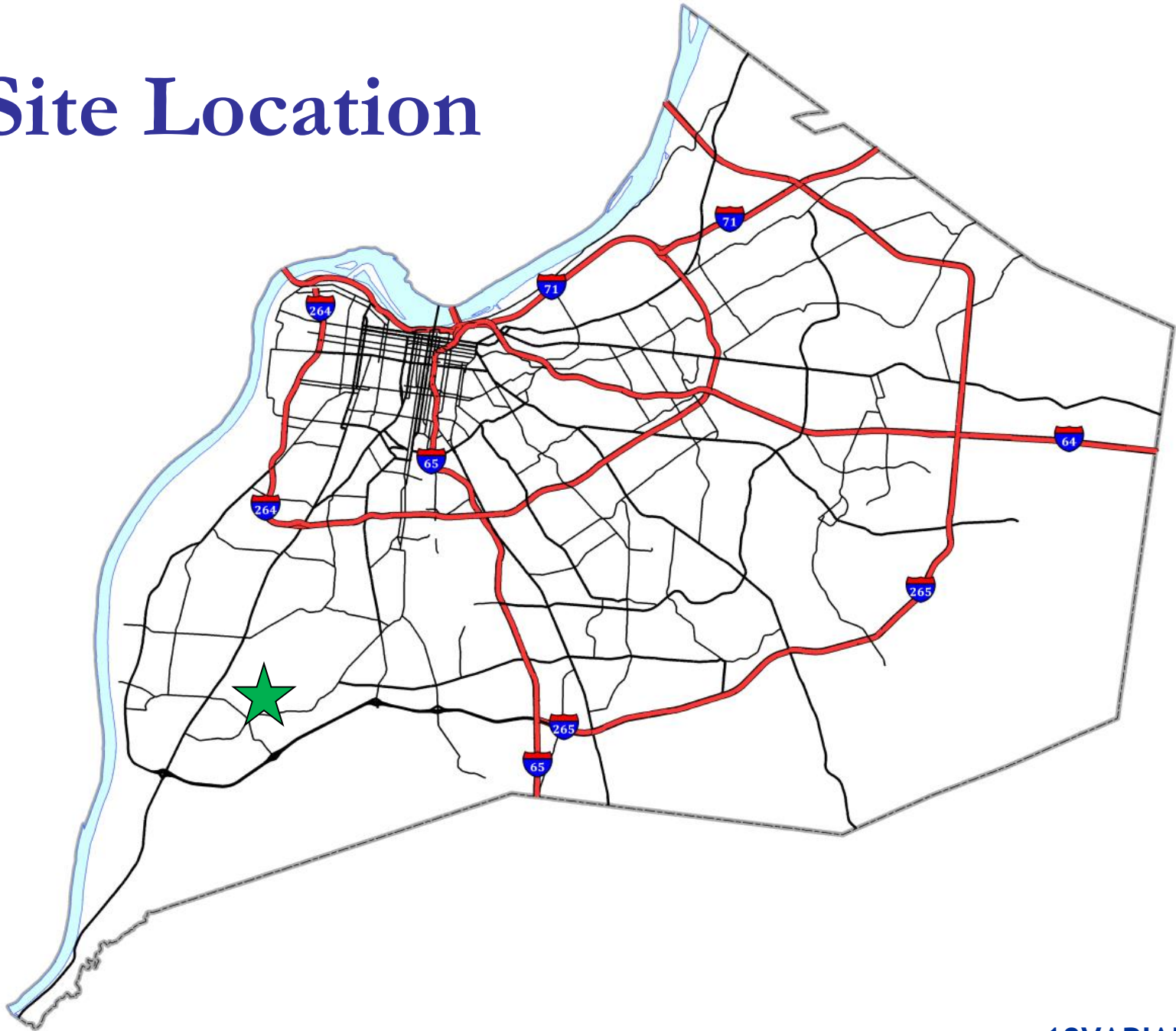
- **Variance:** from Land Development Code section 5.1.12.B.2.a to allow a structure to encroach into the required infill front yard setback.

Location	Requirement	Request	Variance
Front Yard Setback	63.5 ft.	44 ft.	19.5 ft.

# Case Summary / Background

- The subject property is currently undeveloped and the applicant proposes to construct a new single-family residence on the subject site.
- The garage is proposed to extend from the front of the house into the front yard setback.
- The required infill front yard setback is 63.5 feet according to the applicant.

# Site Location



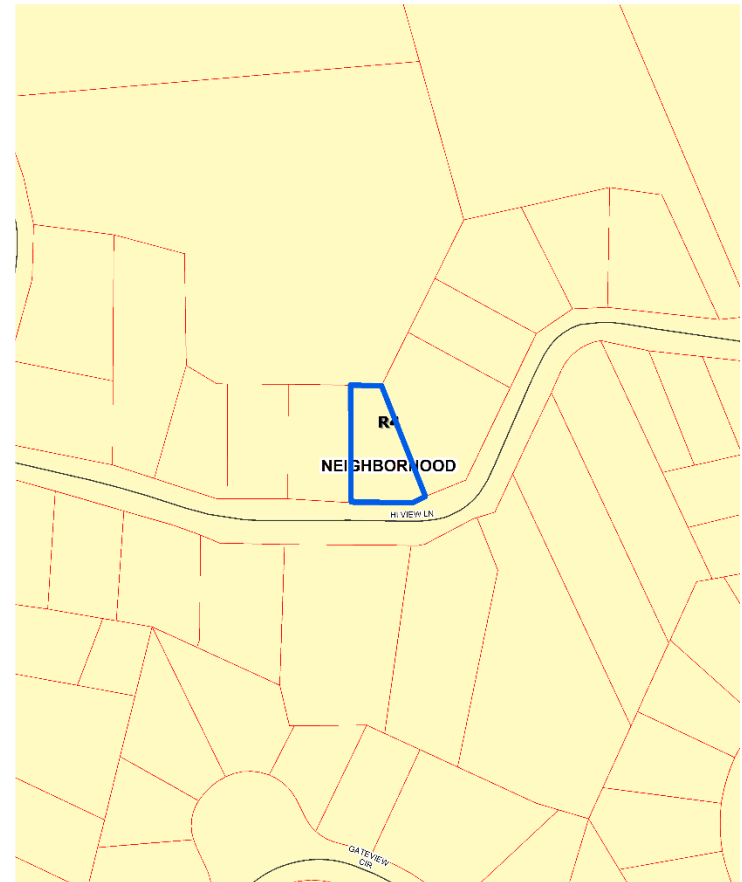
# Zoning/Form Districts

## Subject Property:

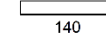
- Existing: R-4/Neighborhood

## Adjacent Properties:

- North: R-4/Neighborhood
- South: R-4/Neighborhood
- East: R-4/Neighborhood
- West: R-4/Neighborhood



9015 Hi View Lane  
feet



Map Created: 8/14/2018



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# Aerial Photo/Land Use

## Subject Property:

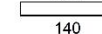
- Existing: Single Family Residential

## Adjacent Properties:

- North: Single Family Residential
- South: Single Family Residential
- East: Single Family Residential
- West: Single Family Residential



9015 Hi View Lane  
feet



140

Map Created: 8/14/2018



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# Site Photos-Subject Property



The front of the subject property.

# Site Photos-Subject Property



The front of the subject property.



# Site Photos-Subject Property



The front of the subject property.

# Site Photos-Subject Property



The front of the subject property.

# Site Photos-Subject Property



Looking toward the subject property from  
the west.

# Site Photos-Subject Property



Looking toward the subject property from  
the west.

# Site Photos-Subject Property



Looking toward the subject property from  
the west.

# Conclusions

- The variance request appears to be adequately justified and meets the standard of review.

# Required Actions

- **Variance:** from Land Development Code section 5.1.12.B.2.a to allow a structure to encroach into the required infill front yard setback. Approve/Deny

Location	Requirement	Request	Variance
Front Yard Setback	63.5 ft.	44 ft.	19.5 ft.