



Louisville Metro Government

Old Jail Auditorium
514 W. Liberty Street
Louisville, KY 40202

Agenda - Final Development Review Committee

Wednesday, July 15, 2026

1:00 PM

OldJail Auditorium

The Development Review Committee meeting will be conducted in-person at the Old Jail Building Auditorium, 514 West Liberty Street, Louisville, KY 40202.

Anyone wishing to join the meeting virtually using a computer, laptop, or mobile device, as well as anyone wishing to sign up to speak in support, in opposition, or as other for any case, should visit the following link:

<https://louisvilleky.gov/government/upcoming-public-meetings>

You can access case materials (staff reports, proposed plans, etc.) by clicking on the link below and selecting this meeting in the Calendar tab:

<https://louisville.legistar.com/Calendar.aspx>

If you have any questions, please contact the case manager or call the Office of Planning at 502-574-6230.

Call To Order

Minutes

1. [06.17.2026 DRC Minutes](#)

Attachments: [06.17.2026 DRC Minutes.pdf](#)

Old Business

2. [Minutes Correction-2/18/26-25-](#)

Attachments: [25-MSUB-0013_MinutesCorrection_021826.pdf](#)

New Business

3. [26-STRCLOSURE-0010](#)

Request: Closure of Public Right-of-Way
Project Name: 809 Sobro LLC - Alley Closure
Location: W. Breckinridge Street & S. 8th Street
Applicant: 809 Sobro LLC
Representative: LJB Inc.
Jurisdiction: Louisville Metro
Council District: 6 - JP Lyninger
Case Manager: Sydney Fawcett, AICP, Planner I

Attachments: [26-STRCLOSURE-0010_DRCStaffReport.pdf](#)
[26-STRCLOSURE-0010_Plat_051826.pdf](#)
[26-STRCLOSURE-0010_APOAgreements.pdf](#)
[26-STRCLOSURE-0010_Justification.pdf](#)

4. [26-STRCLOSURE-0017](#)

Request: Closure of Public Right-of-Way
Project Name: Mermaid Lane Street Closure
Location: Mermaid Lane
Owner: Ford Motor Company
Applicant: Sam Kandah, Ford Motor Company
Representative: Lockett & Farley
Jurisdiction: Louisville Metro
Council District: 17 - Markus Winkler
Case Manager: Zack Jones, Planner II

Attachments: [26-STRCLOSURE-0017_DRC Staff Report_070126.pdf](#)
[26-STRCLOSURE-0017_Exhibit.pdf](#)
[26-STRCLOSURE-0017_Justification.pdf](#)
[26-STRCLOSURE-0017_Description.pdf](#)

5. [26-WAIVER-0054](#)

Request: Waiver of Land Development Code Section 5.5.1.A.5 to allow a detached canopy to be located between the principal structure and the public street.

Project Name: Broadway Gas Canopy
Location: 2701 West Broadway
Applicant: IM Real Estate Corporation
Representative: Shaik Mohiuddin
Jurisdiction: Louisville Metro
Council District: District 5 - Donna Purvis
Case Manager: Abby Bills, Planner I

Attachments: [26-WAIVER-0054_DRCStaffReport_071526.pdf](#)
[26-WAIVER-0054_Plan.pdf](#)
[26-WAIVER-0054_Justification.pdf](#)

6. [26-WAIVER-0072](#)

Request: Landscape Waiver to not provide the required Interior Landscaping Areas (ILAs)

Project Name: Landscape Waiver
Location: 2111 Lytle Street
Applicant: Hanka LLC
Representative: Renaissance Design Build, Inc.
Jurisdiction: Louisville Metro
Council District: 5 - Donna Purvis
Case Manager: Sydney Fawcett, AICP, Planner I

Attachments: [26-WAIVER-0072_DRCStaffReport.pdf](#)
[26-LANDSCAPE-0061_Plan_060426.pdf](#)
[26-WAIVER-0072_Justification.pdf](#)

7. [26-WAIVER-0077](#)

Request: Waiver of Land Development Code Section 3.1.3.I.3 to permit a signature entrance to exceed the maximum height of 6 feet along a designated scenic corridor within the Floyds Fork Special Zoning Overlay

Project Name: Echo Trail Signature Entrance
Location: 2405 Echo Trail
Applicant: Long Run Creek Properties
Representative: Mindel Scott
Jurisdiction: Louisville Metro
Council District: District 11 - Kevin Kramer
Case Manager: Catherine Gomez, Planner I

Attachments: [26-WAIVER-0077_DRCStaffReport_071526.pdf](#)
[26-WAIVER-0077_Plan.pdf](#)
[26-WAIVER-0077_Justification.pdf](#)

8. [26-DDP-0016](#)

Request: Detailed District Development Plan with Binding Elements and associated Waiver

Project Name: Middletown Acquisition LLC
Location: 209 N English Station Road
Applicant: Louisville Water Company
Representative: Milestone Design Group
Jurisdiction: Middletown
Council District: 19 - Anthony Piagentini
Case Manager: Sydney Fawcett, AICP, Planner I

Attachments: [26-DDP-0016_DRCStaffReport.pdf](#)
[26-DDP-0016_Plan_062226.pdf](#)
[26-DDP-0016_Elevations.pdf](#)
[26-DDP-0016_LetterOfExplanation.pdf](#)
[26-WAIVER-0062_Justification.pdf](#)

9. [26-DDP-0018](#)

Request: Revised Detailed District Development Plan with Revision to Binding Elements
Project Name: River Green Office/Warehouse
Location: 2610 River Green Circle
Applicant: River Green Development, LLC
Representative: Heritage Engineering
Jurisdiction: Louisville Metro
Council District: 9 - Andrew Owen
Case Manager: Zach Schwager, Planner I

Attachments: [26-DDP-0018_DRCStaffReport_071526.pdf](#)
[26-DDP-0018_Plan.pdf](#)
[26-DDP-0018_Elevations.pdf](#)
[09-110-89_ApprovedPlan.pdf](#)
[26-DDP-0018_LetterofExplanation.pdf](#)

10. [26-DDP-0021](#)

Request: Detailed District Development Plan with Binding Elements
Project Name: Wesley Manor Senior Independent Living
Location: 5400 E Manslick Road
Applicant: Wesley Manor Retirement Community
Representative: Qk4
Jurisdiction: Louisville Metro
Council District: 24 - Ginny Mulvey-Woolridge
Case Manager: Catherine Gomez, Planner I

Attachments: [26-DDP-0021_DRCStaffReport_071526.pdf](#)
[26-DDP-0021_Plan.pdf](#)
[26-DDP-0021_Elevations.pdf](#)
[26-DDP-0021_InterestedParty_063026.pdf](#)
[26-DDP-0021_Justification Statement.pdf](#)
[26-DDP-0021_Letter of Explanation.pdf](#)

11. [26-DDP-0024](#)

Request: Revised Detailed District Development Plan with Revision to Binding Elements

Project Name: Intertech Group, LLC - Shop Addition

Location: 5836 Fern Valley Road

Applicant: Intertech Group, LLC

Representative: White Professional Contracting

Jurisdiction: Louisville Metro

Council District: 24 - Ginny Mulvey-Woolridge

Case Manager: Zach Schwager, Planner I

Attachments: [26-DDP-0024_DRCStaffReport_071526.pdf](#)

[26-DDP-0024_Plan.pdf](#)

[19-DDP-0072_AprovedPlan.pdf](#)

[26-DDP-0024_LetterofExplanation.pdf](#)

Adjournment

This meeting will begin at 1:00 PM Eastern/12:00 PM Central



Louisville Metro Government

Text File

File Number: 06.17.2026 DRC Minutes

Agenda Date: 7/15/2026

Version: 1

Status: Minutes to be Approved

In Control: Development Review Committee

File Type: Minutes

Agenda Number: 1.

**MINUTES OF THE MEETING
OF THE
LOUISVILLE METRO DEVELOPMENT REVIEW COMMITTEE
June 17, 2026**

A meeting of the Louisville Metro Development Review Committee was held on June 17, 2026, at 1:00 p.m. at the Old Jail Auditorium, 514 West Liberty Street Louisville, KY 40202.

Committee Members Present:

Bill Fischer, Chair
Steve Lannert
David Steff
Beth Stuber
Jim Mims

Staff Members Present:

Julia Williams, Assistant Planning Director
Joseph Haberman, Planning Manager
Rachel Casey, Planning Supervisor
Laura Ferguson, Assistant County Attorney
Catherine Gomez, Planner I
Sydney Fawcett, Planner I
Abby Bills, Planner I
Mollie Share, Planner I
Zach Schwager, Planner I
Haritha Gurivindapalli, Management Assistant

The following matters were considered:

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

APPROVAL OF MINUTES

JUNE 3, 2026, DEVELOPMENT REVIEW COMMITTEE MINUTES

00:03:10 On a motion by Commissioner Steff, seconded by Commissioner Stuber, the following resolution was adopted:

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the minutes of its meeting conducted on June 3, 2026.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 25-STRCLOSURE-0012

Request:	Closure of Public Right-of-Way
Project Name:	Trinity High School Street Closure
Location:	North Sherrin Ave
Owner:	Trinity High School Foundation
Applicant:	Trinity High School Foundation
Representative:	Land Design & Development Inc.
Jurisdiction:	St Matthews
Council District:	District 9 – Andrew Owen
Case Manager:	Tyler Pobiedzinski, Planner I

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:03:45 Rachel Casey presented the case on behalf of Tyler Pobiedzinski. Rachel Casey provided an overview of the request and presented a PowerPoint presentation. Casey responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Ted Bernstein, Land Design & Development Inc, 503 Washburn Avenue, Louisville, KY 40222

Summary of those in favor:

00:06:30 Ted Bernstein spoke in favor of the request and presented a PowerPoint presentation. Bernstein stated that street closure is proposed to improve student safety as pedestrian traffic has increased and the road is heavily used as a fast cut-through. Agency officials from St. Matthews have expressed support for the plan, and Bernstein emphasized that Trinity does not have plans to fully gate the road but will begin with traffic-calming measures. Bernstein responded to questions from Committee Members. (See recording for details)

The following spoke in opposition to the request:

None

Deliberation:

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 25-STRCLOSURE-0012

00:14:50 Committee deliberation

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Closure of Public Right-of-Way

00:20:50 On a motion by Commissioner Mims, seconded by Commissioner Steff, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that there is concern about the provision of adequate public facilities and connectivity for surrounding neighborhoods that would result from this proposed closure of public right-of-way, now, therefore be it

RESOLVED, that the Louisville Metro Development Review Committee does hereby **PLACE** case number **25-STRCLOSURE-0012** on the next available Planning Commission public hearing in which the noticing requirements can be met.

The vote was as follows:

YES: Commissioners Lannert, Stuber, Mims, Steff, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-STRCLOSURE-0008

Request:	Closure of Public Right-of-Way
Project Name:	I-65 Central Corridor Project
Location:	E. Jacob Street between S. Brook Street & S. 1 st Street
Applicant:	Louisville Metro
Representative:	Louisville Metro Public Works
Jurisdiction:	Louisville Metro
Council District:	4 – Ken Herndon
Case Manager:	Zach Schwager, Planner I

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

00:21:40 Commissioner Stuber recused herself from this case:

Agency Testimony:

00:22:00 Zach Schwager provided an overview of the request and presented a PowerPoint presentation. Schwager responded to questions from Committee Members. (See recording for details)

00:24:00 Zach Schwager clarified that the road closure is being requested because the Kentucky Transportation Cabinet (KYTC) plans to eliminate the existing underpass by replacing certain I-65 bridges with built-up fill, meaning the roadway will no longer pass beneath the interstate. Metro Public Works submitted the application on KYTC's behalf because the affected road is Metro Road, not a state road. (See recording for details)

00:27:00 The committee Members questioned whether closing Jacob Street conflicts with the City's connectivity principles in Plan 2040, and Schwager explained that the closure supports a larger interstate project and overall regional connectivity, because the underpass will be removed and the road sealed with mechanically stabilized earth. (See recording for details)

The following spoke in favor of the request:
None

The following spoke in opposition of the request:
None

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-STRCLOSURE-0008

Deliberation:

00:32:14 Committee deliberation

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Closure of Public Right-of-Way

00:32:15 On a motion by Commissioner Mims, seconded by Commissioner Lannert, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that adequate public facilities are available to serve existing and future needs of the community. The proposed closure does not result in an increase in demand on public facilities or services as utility agencies have coordinated with the applicant and Office of Planning staff to ensure that facilities are maintained or relocated through agreement with the developer. No property adjacent or abutting the rights-of-way to be closed will be left absent of public facilities or services or be dispossessed of public access to their property. The applicant will provide necessary easements or relocation of equipment per utility agency requirements, and

WHEREAS, the Development Review Committee finds that there are concerns about providing adequate public facilities and maintaining connectivity in Downtown associated with the proposed closure of public right-of-way, now, therefore be it

RESOLVED, that the Louisville Metro Development Review Committee does hereby **PLACE** case number **26-STRCLOSURE-0008** on the next available Planning Commission public hearing in which the noticing requirements can be met.

The vote was as follows:

YES: Commissioners Lannert, Stuber, Mims, Steff, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-WAIVER-0049

Request: Waiver of the Land Development Code Section 4.4.8.C.1.a to permit outdoor sales and display area to exceed 800sf
Project Name: Concrete Kingdon
Location: 6319 Bardstown Rd
Applicant: Nicole Woods
Representative: Nicole Woods
Jurisdiction: Louisville Metro
Council District: District 22 – Kevin Kramer
Case Manager: Catherine Gomez, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:33:00 Catherine Gomez provided an overview of the request and presented a PowerPoint presentation. Gomez responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Tony Woods, 1001 Hwy 31 E, Clarksville, IN 47129

Summary of testimony of those in favor of the request:

00:36:10 Tony Woods confirmed that a display previously located in the right-of-way has been removed and committed to keep future displays neat and orderly. Tony Woods responded to questions from Committee Members. (See recording for details)

The following spoke in opposition of the request:

None

Deliberation:

00:37:25 Committee deliberation

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-WAIVER-0049

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Waiver of Land Development Code (LDC) Section 4.4.8.C.1.a to permit outdoor sales and display area to exceed 800 square feet.

00:38:00 On a motion by Commissioner Steff, seconded by Commissioner Mims, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that the waiver will not adversely affect adjacent property owners as the location of the proposed outdoor display and sales area will remain the same as before, except for the sales display in the right-of-way, which will be moved to the rear of the building, and

WHEREAS, the Development Review Committee finds that the waiver will not violate specific guidelines of Plan 2040. The Town Center form typically has a compact mixture of moderately intense uses including shopping, restaurants, offices and residences. Buildings are generally close to and oriented toward the street. These characteristics strengthen the role of the Town Center as a community focal point. The amount of floor space in town centers is usually between 100,000 and 400,000 square feet reflecting a market area designed to serve a population of between 25,000 to 75,000. For this request specifically, the retail space is outdoors instead of inside a principal building. Community Form 1, Policy 3.2 suggests using Form District pattern as a basis for site design standards such as lot dimensions, building scale, size, height, as well as how buildings relate to other nearby buildings and the site itself, and

WHEREAS, the Development Review Committee finds that the extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant as the applicant is dependent on having the outdoor display and sales area for their retail business due to the product, and

WHEREAS, the Development Review Committee finds that the strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant as the items for sale are large and would require significant investment to put inside a building, now, therefore be it.

DEVELOPMENT REVIEW COMMITTEE MINUTES
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NEW BUSINESS

CASE NO. 26-WAIVER-0049

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the requested Waiver of Land Development Code (LDC) Section 4.4.8.C.1.a to permit outdoor sales and display area to exceed 800 square feet.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-WAIVER-0063

Request: Landscape Waivers from the Shively Land Development Code
Project Name: Landscape Taco Bell Dixie and Gagel
Location: 4643 Dixie Highway
Applicant: Kupco LLC
Representative: ABTB Louisville LLC
Jurisdiction: Shively
Council District: District 3 – Shameka Parrish-Wright
Case Manager: Sydney Fawcett, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:38:50 Sydney Fawcett provided an overview of the request and presented a PowerPoint presentation. Fawcett responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Dan Pelussier, 2406 Glenview Avenue, Louisville, KY 40222

Summary of testimony of those in favor of the request:

00:42:00 Dan Pelussier spoke in support of the request and made himself available to answer questions on behalf of the applicant. (See recording for details)

The following spoke in opposition of the request:

None

Deliberation:

00:43:00 Committee deliberation

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-WAIVER-0063

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Waivers:

00:43:20 On a motion by Commissioner Mims, seconded by Commissioner Lannert, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

1. Waiver of Shively Land Development Code Table 10.1.2 to not provide the required tree canopy coverage area. (Waiver #1)

WHEREAS, the Development Review Committee finds the waiver will not violate specific guidelines of Plan 2040. Community Form Goal 1 Policy 3.1.8 characterizes Suburban Marketplace Corridor as a mixture of medium-to high intensity uses located along major roadways. Developers are encouraged to have a common buffering or streetscape with respect to any abutting used or lower density or intensity. Community Form Goal 1 Policy 4 calls to ensure development and redevelopment are compatible with the scale and site design of nearby existing development and with the desire pattern of the Form District. Several developments along Dixie Highway and Gagel Avenue provide minimal tree canopy. Not providing the required tree canopy would remain compatible have a minimal impact on the surrounding developments, and

WHEREAS, the Development Review Committee finds that the applicant has made a good faith effort to provide as many trees as possible on the site as they are limited in where trees can be provided due to the layout of the parking lot and drive thru. The Shively Land Development Code requires the applicant to provide roughly 6,861 square feet, or 18% of the subject site, of tree canopy. The applicant is able to provide 2,880 square feet of tree canopy, resulting in a difference of 3,941 square feet. Due to the use and layout of the site, the applicant is limited to where trees can be planted, and

WHEREAS, the Development Review Committee finds that there are other mitigating circumstances affecting this site which do not generally apply to sites developed for the same use and in the same form district as the right of way along Gagel Avenue will be used for sidewalk construction which limits where the applicant can provide the required tree canopy. The majority of the site is used for the parking lot and vehicular circulation which adds additional barriers to the site, now, therefore be it.

DEVELOPMENT REVIEW COMMITTEE MINUTES
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NEW BUSINESS

CASE NO. 26-WAIVER-0063

Waiver of Shively Land Development Code Table 10.2.6 to not provide the required 10' Vehicular Use Area Landscape Buffer Area and associated plantings along Gagel Avenue. (Waiver #2)

WHEREAS, the Development Review Committee finds the waiver will not adversely affect adjacent property owners, as adjacent commercial properties are not providing plantings or screening along Gagel Avenue. The proposed sidewalk will connect to an adjacent property extending the pedestrian connection to Dixie Highway, and

WHEREAS, the Development Review Committee finds the waiver will not violate specific guidelines of Plan 2040. Community Form Goal 1 Policy 3.1.8 characterizes Suburban Marketplace Corridor as a mixture of medium-to high intensity uses located along major roadways. Developers are encouraged to have a common buffering or streetscape with respect to any abutting used or lower density or intensity. Community Form Goal 1 Policy 4 calls to ensure development and redevelopment are compatible with the scale and site design of nearby existing development and with the desire pattern of the Form District. Community Form Goal 1 Policy 9 suggests implementing a transition between uses that are substantially different in scale and intensity through methods such as landscaped buffer yards, vegetative berms, compatible building design and materials, height restrictions, and setback requirements. The adjacent properties are similar in scale and intensity so the impact of eliminating the landscape buffer is minimal. Additionally, the surrounding commercial properties are providing minimal buffering or screening along Gagel Avenue, and

WHEREAS, the Development Review Committee finds the extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant, as the applicant is now unable to come into compliance with the Shively Land Development Code with the proposed public sidewalk, and

WHEREAS, the Development Review Committee finds the strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land, as the applicant does not have the option to provide the required landscape buffer or plantings along Gagel Avenue. The applicant will be providing trees elsewhere on site, now, therefore be it.

RESOLVED, that the Louisville Metro Development Review Committee does hereby **RECOMMEND** the City of Shively **APPROVE** the Waiver of Shively Land Development Code Table 10.1.2 to not provide the required tree canopy coverage area. **(Waiver #1)** and Waiver of Shively Land Development Code Table 10.2.6 to not provide the required

DEVELOPMENT REVIEW COMMITTEE MINUTES
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NEW BUSINESS

CASE NO. 26-WAIVER-0063

10' Vehicular Use Area Landscape Buffer Area and associated plantings along Gagel Avenue. (**Waiver #2**).

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
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NEW BUSINESS

CASE NO. 26-WAIVER-0065

Request:	Parkway Waivers to construct a single family residence
Project Name:	4519 River Rd Single Family Residential
Location:	4519 River Road
Applicant:	River Vision Retire LLC
Representative:	Work Architecture
Jurisdiction:	Louisville Metro
Council District:	District 16 – Scott Reed
Case Manager:	Sydney Fawcett, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:44:30 Sydney Fawcett provided an overview of the request and presented a PowerPoint presentation. Fawcett responded to questions from Committee Members. (See recording for details)

Tony Kelly, 700 W Liberty Street, Louisville, KY 40202

00:47:20 Tony Kelly from MSD, stated that the proposal avoids the 25-ft MSD buffer, must use Board of Health approved sanitary sewers, and is allowed to develop in the floodplain because only critical facilities are restricted under the updated ordinance. The buildings will still need to be elevated like other riverfront structures. Kelly responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Mitchell Kersting, 3235 Robin Road, Louisville, KY 40213

Summary of testimony of those in favor of the request:

00:47:20 Mitchell Kersting explained that the proposed riverfront home will use non-combustible steel and concrete construction, will be elevated above the floodplain, and is designed around Army Corps setbacks and site views. The owner intends it as a

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NEW BUSINESS

CASE NO. 26-WAIVER-0065

primary residence, and sewer service will likely involve a holding tank system with internal filtration, pending MSD and Health Department approval. Kersting responded to questions from Committee Members. (See recording for details)

The following spoke in opposition to the request:
None

Deliberation:

00:54:30 Committee deliberation

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Waivers:

00:54:55 On a motion by Commissioner Mims, seconded by Commissioner Lannert, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

1. Waiver from Land Development Code (LDC) Table 10.3.1 to allow a single-family home to encroach into the required 75 ft. parkway setback. (Waiver #1)

WHEREAS, the Development Review Committee finds that the waiver will not adversely affect adjacent property owners as adjacent developed properties are constructed within the required parkway setback along River Road. The majority of the properties in the surrounding area are undeveloped, and

WHEREAS, the Development Review Committee finds that the waiver will not violate specific guidelines of Plan 2040. Community Form Goal 1 Policy 4 calls to ensure new development is compatible with the scale and site design of nearby existing development and with the desired pattern of development. Community Form Goal 1 Policy 11 states that setbacks, lot dimensions, and building heights should be compatible with those of nearby developments that meet Form District guidelines. The proposed structure meets the site design standards that are typically required in the Neighborhood Form District. Community Form Goal 3 Policy 9 encourages development that respects the natural features of the site through sensitive site design, avoids substantial changes to the topography, and minimizes property damage and environmental degradation resulting from disturbance of natural systems. The applicant is proposing to construct the single-

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NEW BUSINESS

CASE NO. 26-WAIVER-0065

family home as close to the front property as possible to remain functional and not disturb the Ohio River while maintaining the desired pattern of development in the Neighborhood Form District, and

WHEREAS, the Development Review Committee finds that the extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant as the required parkway setback is more restrictive than what is required in the Neighborhood Form District. If the parkway setback was not applicable, the applicant would be able to meet the site design requirements of the form district, and

WHEREAS, the Development Review Committee finds that the strict application of the provisions of the regulation would deprive the applicant of reasonable use of the land as the land is limited on how it can be developed with the layout and size of the property as well as the proximity of the Ohio River to the subject site. The parkway setback prevents the applicant from developing the site without waiver approval, now, therefore be it.

2. Waiver from Land Development Code (LDC) Table 10.3.1 to not provide the required 50 ft. parkway buffer area along River Road. (Waiver #2)

WHEREAS, the Development Review Committee finds that the waiver will not adversely affect adjacent property owners as properties along River Road are developed with structures encroaching into the required parkway buffer, and

WHEREAS, the Development Review Committee finds that the waiver will not violate specific guidelines of Plan 2040. Community Form Goal 1 Policy 4 calls to ensure new development is compatible with the scale and site design of nearby existing development and with the desire pattern of development. Community Form Goal 1 Policy 9 suggests providing an appropriate transition between uses that are substantially different in scale and intensity or density of development. The transition may be achieved through methods such as landscaped buffer yards, compatible building design, and setback requirements. The proposed single-family home is compatible with the existing development along River Road and the surrounding area. Eliminating the required buffer area would have a minimal impact, and

WHEREAS, the Development Review Committee finds that the extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant as the required parkway buffer encompasses the majority of the buildable portion of the subject property. Since River Road is classified as a parkway, the parkway buffer standards supersede the

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NEW BUSINESS

CASE NO. 26-WAIVER-0065

Neighborhood Form District setback standards. If the parkway buffer was not applicable, the applicant would be able to meet the site design requirements of the form district, and

WHEREAS, the Development Review Committee finds that the strict application of the provisions of the regulation would deprive the applicant of reasonable use of the land as the land is limited on how it can be developed with the layout and size of the property as well as the proximity of the Ohio River to the subject site. The parkway buffer prevents the applicant from developing the site without waiver approval, now, therefore be it.

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the requested Waiver **(1)** from LDC Table 10.3.1 to allow a single-family home to encroach into the required 75 ft. parkway setback (**Waiver #1**) and the Waiver **(2)** from LDC Table 10.3.1 to not provide the required 50 ft. parkway buffer area along River Road. (**Waiver #2**).

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-CAT3-0003

Request: Category 3 Development Plan
Project Name: JW Marriott
Location: 401 S 4th St
Owner: Louisville, Tower Properties LLC
Applicant: Louisville, Tower Properties LLC
Representative: Sabak, Wilson & Lingo, Inc
Jurisdiction: Louisville Metro
Council District: District 4 – Ken Herndon
Case Manager: Tyler Pobiedzinski, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:56:00 Rachel Casey presented the case on behalf of Tyler Pobiedzinski. Rachel Casey provided an overview of the request and presented a PowerPoint presentation. Casey responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Doug Sellers, 301 E Main Street, Suite 201, Louisville, KY 40202

Summary of testimony of those in favor of the request:

01:00:00 Doug Sellers provided an overview of the request and presented a PowerPoint presentation. Sellers outlined the development plan, floor plans, elevations, site photos, zoning and access. Sellers mentioned that the plan is to retain and renovate the existing tower, adding a new third-floor ballroom constructed above the porte-cochere along Liberty Street. Updated elevations show a redesigned lower façade using stone and metal to better align with surrounding historic buildings. Sellers responded to questions from Committee Members. (See recording for details)

The following spoke in opposition of the request:

None

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-CAT3-0003

Deliberation:

01:04:20 Committee deliberation

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Category 3 Development Plan

01:04:50 On a motion by Commissioner Mims, seconded by Commissioner Stuber, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that the proposal meets the requirements of the Land Development Code, now, therefore be it.

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the requested Category 3 Development Plan.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0012

Request:	Revised Detailed District Development Plan (RDDDP) with revised binding elements.
Project Name:	907 Ormsby Lane Condominiums
Location:	907 Ormsby Ln
Applicant:	Meridian Construction LLC
Representative:	Milestone Design
Jurisdiction:	Lyndon
Council District:	District 7 – Paula McCraney
Case Manager:	Mollie Share, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

01:05:30 Mollie Share provided an overview of the request and presented a PowerPoint presentation. Share responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Sophia Mazzocco, 108 Daventry Lane, Louisville, KY 40223

Tim Thomas, 108 Daventry Lane, Louisville, KY 40223

Summary of testimony of those in favor of the request:

01:08:00 Sophia Mazzocco provided an overview of the request and presented a PowerPoint presentation. Mazzocco outlined the current development plan, elevations, parking and access. Mazzocco responded to questions from Committee Members. (See recording for details)

01:13:30 Tim Thomas explained that the previously approved 64-unit plan had already received all major utility and agency approvals—sanitary sewer, water main,

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0012

MSD, and LG&E—and was essentially ready for bond posting. The only issue was a small corner of the detention basin overlapping an easement, which LG&E said they were fine with. Thomas responded to questions from Committee Members. (See recording for details)

The following spoke in opposition of the request:
None

Deliberation:

01:14:30 Committee deliberation

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Revised Detailed District Development Plan (RDDDP) with revised binding elements.

01:14:50 On a motion by Commissioner Mims, seconded by Commissioner Lannert, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that there are no significant natural or cultural resources present on the subject site. Compliance with the applicable tree canopy requirements will be achieved through submission of a detailed landscape plan, which will be reviewed and approved by the Planning Commission staff prior to the issuance of construction permits. The front of the site is partially located within the 100-year floodplain; however, there is no significant impact as no buildings, parking, or open space are located within it, and

WHEREAS, the Development Review Committee finds that provisions for safe and efficient vehicular and pedestrian circulation within the development and the surrounding community have been incorporated into the proposal. Metro Public Works has reviewed and approved the preliminary development plan, and

WHEREAS, the Development Review Committee finds that all open space requirements of the Lyndon Land Development Code have been met. Provisions for sufficient private

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0012

and recreational open space have been provided in the proposal, through balconies and a mulch path around the main open space area, and

WHEREAS, the Development Review Committee finds that the Metropolitan Sewer District has approved the preliminary development plan and will ensure the provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community, and

WHEREAS, the Development Review Committee finds the overall site design and proposed land use are compatible with both existing and anticipated future development in the area. The surrounding context consists of a mix of single and multi-family residential development, making the proposal consistent with the prevailing development pattern. Landscape buffering and screening will be provided to screen adjacent properties and parking areas where appropriate, and

WHEREAS, the Development Review Committee finds that the development plan complies with the applicable guidelines and policies of the Comprehensive Plan and to the requirements of the Land Development Code.

Community Form Goal 1, Policy 5 encourages a mixture of densities if the designs are compatible with those of nearby residences, i.e., landscape buffers, open space, site design, and building height. There are landscape buffers provided along the two property lines it shares with single-family homes on it, as well as along the roadway. The site provides open space in the rear and a large setback and detention basin in the front, as well as the parking itself being mostly screened by the building orientation, providing a site design that minimally disturbs the surrounding neighborhood. Additionally, the two-story buildings are located along the property line shared with the single-family homes while the three-story buildings are located along the property line shared with a site containing other three-story apartment units, allowing a transition in building height.

Housing Goal 1, Policy 1 encourages a variety of housing types including detached and attached single family, multi-family, mixed use, zero lot line, average lot, cluster, and cohousing. It also allows for accessory residential structures and apartments and encourages housing types that reflect the Form District pattern. The Neighborhood Form District places emphasis on diverse housing types within a neighborhood as long as the different types are designed to be compatible with nearby land uses, including high density multi-family housing, as stated in Community Form Goal 1, Policy 3.1.3, now, therefore be it.

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0012

RESOLVED, that the Louisville Metro Development Review Committee does hereby **RECOMMEND** that the City of Lyndon **APPROVE** the Revised Detailed District Development Plan **SUBJECT** to the following revised Binding Elements:

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exist within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works, and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a certificate of occupancy. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
 - c. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
4. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0012

5. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors, and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of this site, shall be responsible for compliance with these binding elements.

6. Applicant shall not apply for, nor receive, any permit (building, clearing or otherwise), until receiving the approval of the City of Lyndon Council for the final renderings and elevations of the proposed structures on the site. Exterior materials shall be either brick, stone, or masonry (including cement fiber board such as Hardi Board), or solid wood. Vinyl siding shall not be used as an exterior material, except for soffits.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0017

Request: Revised District Development Plan (RDDP) with revised binding elements.
Project Name: Preston Hwy Multifamily
Location: 9220 Preston Hwy
Applicant: Camileo LLC
Representative: Land Design & Development, Inc.
Jurisdiction: Louisville Metro
Council District: District 24 – Ginny Mulvey-Woolridge
Case Manager: Abby Bills, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

01:15:40 Abby Bills provided an overview of the request and presented a PowerPoint presentation. Bills responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Cliff Ashburner, Dinsmore & Shohl, 101 South 5th Street, Suite 2500, Louisville, KY 40202

Derek Triplett, 503 Washburn Avenue, Suite 101, Louisville, KY 40222

Summary of testimony of those in favor of the request:

01:18:40 Cliff Ashburner provided an overview of the request and presented a PowerPoint presentation. Ashburner outlined the proposed site plan, parking, building elevations and access. Ashburner stated that the site is a commercially zoned, sloped property along Preston Hwy where a new building is planned to align with nearby structures while preserving an existing home and benefiting from continuous sidewalks and surrounding mixed commercial uses. Ashburner answered questions from Committee Members. (See recording for details)

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0017

01:23:00 Derek Triplett stated that the project keeps the existing home as a duplex, adds a 24-unit building, improves drainage by sending water to the Preston Highway swale, exceeds open-space and tree-canopy requirements, and meets all development standards. Triplett answered questions from Committee Members. (See recording for details)

The following spoke in opposition of the request:

Judy Parks, 9300 Preston Hwy, Louisville, KY 40229

Summary of testimony of those in opposition to the request:

01:30:20 Judy Parks was concerned that the retention basin and dumpster are planned too close to their property, which could cause water runoff, trash issues, and odors near their home. Parks also asked whether fencing will be installed to protect their property. Parks worried about people cutting through their yard and the overall safety impacts. Parks responded to questions from Committee Members. (See recording for details)

Rebuttal:

01:31:50 Derek Triplett stated that although the detention basin sits near the neighbor's property, its water will not flow onto that property because it will be piped to Preston Highway. Triplett stated that the dumpster will be about 50 feet from the property line and screened with both an 8-foot barrier and its own enclosure to reduce impacts. Triplett stated that they could install a fence along the property line in which they share with Ms. Parks' property. Triplett also noted that this fencing and screening will act as a physical barrier to prevent trespassing. Triplett answered questions from Committee Members. (See recording for details)

01:32:50 Cliff Ashburner stated that code requires an 8-foot solid screen, and they will use fencing around the back corner of the site, from the detention basin up to the dumpster, with landscaping only closer to the road. Ashburner answered questions from Committee Members. (See recording for details)

Deliberation:

01:36:00 Committee deliberation

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0017

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Revised Detailed District Development Plan with revised binding elements.

01:36:25 On a motion by Commissioner Mims, seconded by Commissioner Steff, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that there are no significant natural resources present on the subject site. Compliance with the applicable tree canopy requirements will be achieved through submission of a detailed landscape plan, which will be reviewed and approved by the Office of Planning prior to the issuance of construction permits. The property is classified as a historic site due to the presence of the historic home known as the “Sellers House”, and

WHEREAS, the Development Review Committee finds that provisions for safe and efficient vehicular and pedestrian circulation within the development and the surrounding community have been incorporated into the proposal. Metro Public Works has reviewed and approved the preliminary development plan, and

WHEREAS, the Development Review Committee finds that there are no open space requirements pertinent to the current proposal, and

WHEREAS, the Development Review Committee finds that the Metropolitan Sewer District has approved the preliminary development plan and will ensure the provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community, and

WHEREAS, the Development Review Committee finds the overall site design and proposed land use are compatible with both existing and anticipated future development in the area. The surrounding context consists of a mix of residential and commercial development, including multiple other multifamily developments north of the subject site. This makes the proposal consistent with the prevailing development pattern and with the intended pattern of the Neighborhood Form District. Landscape buffering and screening will be provided to screen adjacent properties and roadways where appropriate, and

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0017

WHEREAS, the Development Review Committee finds that the development plan complies with the applicable guidelines and policies of the Comprehensive Plan and to the requirements of the Land Development Code. Community Form Goal 1 Policy 4 seeks to “Ensure new development and redevelopment are compatible with the scale and site design of nearby existing development and with the desired pattern of development within the Form District.” The proposed development is compatible with the scale and site design of the surrounding area, as there are multiple other multifamily developments in the general vicinity, in addition to the general mix of commercial and residential development along the Preston Hwy corridor.

The proposal is additionally compatible with the pattern of development within the Neighborhood Form District, as the Neighborhood Form District seeks to “promote redevelopment that is compatible with and enhances the unique site and community design elements of a neighborhood.” The proposal will enhance the neighborhood in the intended way by adding diverse forms of housing to the area through the creation of a duplex and a multifamily structure, now, therefore be it.

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the Revised Detailed District Development Plan **SUBJECT** to the following revised Binding Elements:

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission’s designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. No application to amend binding elements or to revise the development plan shall be accepted without the applicant providing evidence that it provided adjoining property owners and the Okolona Baptist Church fifteen (15) days written notice of the request.
3. Construction fencing shall be erected when off-site trees or tree canopy exists within 3’ of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0017

4. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Louisville Metro Public Works, the Metropolitan Sewer District and Construction Review.
 - b. Encroachment permits must be obtained from the Kentucky Transportation Cabinet.
 - c. The property owner/ developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.

5. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0020

Request: Revised Detailed District Development Plan with revisions to binding elements
Project Name: 2728, 2730, 2732 S 3rd St – Revised Development Plan
Location: 2728, 2730, & 2732 S 3rd Street
Applicant: Lewis Capital Holdings LLC
Representative: Jake Guhy
Jurisdiction: Louisville Metro
Council District: District 15 – Jennifer Chappell
Case Manager: Sydney Fawcett, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

01:38:40 Sydney Fawcett provided an overview of the request and presented a PowerPoint presentation. Fawcett responded to questions from Committee Members. (See recording for details)

The following spoke in favor of the request:

Jacob Guhy, 226 S Hampton Road, Louisville, KY 40223

Summary of testimony of those in favor of the request:

01:40:55 Jacob Guhy noted that nearby residential properties are already zoned similarly and says the project will help improve the area. Guhy responded to questions from Committee Members. (See recording for details)

The following spoke in opposition of the request:

None

Deliberation:

01:41:40 Committee deliberation

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0020

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Revised Detailed District Development Plan with revised binding elements.

01:42:00 On a motion by Commissioner Stuber, seconded by Commissioner Lannert, the following resolution, based on the staff report, staff analysis, and the evidence and testimony heard today, was adopted:

WHEREAS, the Development Review Committee finds that there are no significant natural or cultural resources located on the subject site. Street trees will be provided along the South 3rd Street and M Street frontages, and

WHEREAS, the Development Review Committee finds that provisions for safe and efficient vehicular and pedestrian transportation within and around the development and the community have been provided. Metro Public Works has approved the preliminary development plan, and

WHEREAS, the Development Review Committee finds that there are no open space requirements for the proposed development, and

WHEREAS, the Development Review Committee finds that the Metropolitan Sewer District has approved the preliminary development plan and will ensure the provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community, and

WHEREAS, the Development Review Committee finds the overall site design and proposed land uses are compatible with both existing and future development in the area. The surrounding area includes established multifamily and single-family developments, making the proposed use consistent with the development pattern. The site plan incorporates appropriate setbacks and site design, further showing compatibility with adjacent properties, and

WHEREAS, the Development Review Committee finds that the development plan complies with the applicable guidelines and policies of the Comprehensive Plan, as well as the requirements of the Land Development Code. Plan 2040 Community Form Goal 1 Policy 3.1.2 characterizes the Traditional Neighborhood form district of predominately

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0020

residential uses, by a grid pattern of streets with sidewalks and often including alleys. Traditional Neighborhood Form requires a particular emphasis on new developments using traditional building scales and site layouts. Plan 2040 Community Form Goal 1 Policy 4 calls to ensure new development is compatible with the scale and site design of nearby existing development and with the desired pattern of development within the Form District. The development is consistent with Housing Goal 1, Policy 3 of Plan 2040. This policy encourages developments to create a variety of housing types that meet the needs of all residents including an adequate supply of affordable housing and physically accessible housing. The proposed development creates more inclusive and accessible housing opportunities while preserving the existing residential site design in the general area, now, therefore be it.

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the Revised Detailed District Development Plan **SUBJECT** to the following revised Binding Elements:

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is issued:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works, and the Metropolitan Sewer District.
4. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

NEW BUSINESS

CASE NO. 26-DDP-0020

binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.

5. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors, and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

The vote was as follows:

YES: Commissioners Steff, Lannert, Stuber, Mims, and Fischer

DEVELOPMENT REVIEW COMMITTEE MINUTES
June 17, 2026

ADJOURNMENT

The meeting adjourned at approximately 2:43 p.m.

Chair

Planning Director



Louisville Metro Government

Text File

File Number: Minutes Correction-2/18/26-25-

Agenda Date: 7/15/2026

Version: 1

Status: Old Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 2.

DEVELOPMENT REVIEW COMMITTEE MINUTES
February 18, 2026

NEW BUSINESS

CASE NO. 25-MSUB-0013

Request: Major Preliminary Subdivision with Conditions of Approval
Project Name: Shepherdsville Rd Section 2
Location: 8809 Shepherdsville Rd
Applicant: Mindel Scott
Representative: Mindel Scott
Jurisdiction: Louisville Metro
Council District: 23 – Jeff Hudson
Case Manager: Abby Bills, Planner I

Notices were sent by first class mail to those adjoining property owners whose names were supplied by the applicants.

The staff report prepared for this case was incorporated into the record. The Committee received this report in advance of the hearing, and this report was available to any interested party prior to the public hearing. (The staff report is part of the case file maintained at the Office of Planning, 444 South 5th Street.)

Agency Testimony:

00:56:51 Abby Bills provided an overview of the request and presented a PowerPoint presentation. Bills responded to questions from Committee Members. (see recording for details)

The following spoke in favor of the request:

Rayko Simona Anderson, Mindel Scott & Associates, 5151 Jefferson Boulevard
Louisville, KY 40219

Summary of those in favor:

00:59:22 Rayko Simona Anderson spoke in favor of the request and presented a PowerPoint presentation. Simona Anderson responded to questions from Committee Members. (see recording for details)

The following spoke in opposition to the request:

None

Deliberation:

01:01:23 Committee deliberation

DEVELOPMENT REVIEW COMMITTEE MINUTES
February 18, 2026

NEW BUSINESS

CASE NO. 25-MSUB-0013

An audio/visual recording of the Development Review Committee meeting related to this case is available on the Office of Planning website, or you may contact the Customer Service staff to view the recording or to obtain a copy.

Major Preliminary Subdivision with Conditions of Approval

01:02:06 On a motion by Commissioner Stuber, seconded by Commissioner Mims, the following resolution, based on the staff report, the staff analysis, and the evidence and testimony heard today, was adopted:

RESOLVED, that the Louisville Metro Development Review Committee does hereby **APPROVE** the requested Major Preliminary Subdivision **SUBJECT** to the following Conditions of Approval:

1. The development shall be in accordance with the approved Preliminary Subdivision Plan. No further subdivision of the land into a greater number of lots than originally approved shall occur without approval of the Planning Commission.
2. A note shall be placed on the preliminary plan, construction plan and the record plat that states, "Construction fencing shall be erected prior to any grading or construction activities – preventing compaction of root systems of trees to be preserved. The fencing shall enclose the area beneath the dripline of the tree canopy and shall remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area."
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. Encroachment permits must be obtained from Louisville Metro Public Works.
4. Prior to the recording of the record plat, copies of the recorded documents listed below shall be filed with the Planning Commission.

DEVELOPMENT REVIEW COMMITTEE MINUTES
February 18, 2026

NEW BUSINESS

CASE NO. 25-MSUB-0013

- a. Articles of Incorporation is a form approved by Counsel for the Planning Commission and the Certificate of Incorporation of the Homeowners Association.
 - b. A deed of restriction in a form approved by Counsel of the Commission outlining responsibilities for the maintenance of open space.
 - c. Bylaws of the Homeowner's Association in a form approved by the Counsel for the Planning Commission.
5. The applicant shall submit a landscape plan for approval by Planning Commission staff showing plantings and/or other screening and buffering materials to comply with the Chapter 10 of the Land Development Code prior to recording the record plat. The applicant shall provide the landscape materials on the site as specified on the approved Landscape Plan prior to issuance of Certificates of Occupancy for the site.
 6. If proposed, the signature entrance shall be submitted to the Planning Commission staff for review and approval prior to recording the record plat.
 7. At the time the developer turns control of the homeowner's association over to the homeowners, the developer shall provide sufficient funds to ensure there is no less than \$3,000 cash in the homeowner's association account. The subdivision performance bond may be required by the Planning Commission to fulfill this funding requirement.
 8. All street signs shall be installed by the Developer and shall conform with the Manual on Uniform Traffic Control Devices (MUTCD) requirements. Street signs shall be installed prior to the recording of the subdivision record plat or occupancy of the first residence on the street, and shall be in place at the time of any required bond release. The address number shall be displayed on a structure prior to requesting a certificate of occupancy for that structure.
 9. The applicant shall install signs, approved by the Metro Public Works Dept., which indicate the future extension of the public right of way for ~~Binford Way~~ **Street B**. Such signs shall be installed prior to release of bonds for the installation of the street infrastructure.

DEVELOPMENT REVIEW COMMITTEE MINUTES
February 18, 2026

NEW BUSINESS

CASE NO. 25-MSUB-0013

10. Open space lots shall not be further subdivided or developed for any other use and shall remain as open space in perpetuity. A note to this effect shall be placed on the record plat.

The vote was as follows:

YES: Commissioners Steff, Stuber, Lannert, Mims, Fischer



Louisville Metro Government

Text File

File Number: 26-STRCLOSURE-0010

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 3.



26-STRCLOSURE-0010

Development Review Committee
Staff Report
July 15, 2026

809 Sobro LLC - Alley Closure

Location: W. Breckinridge Street & S 8th Street
Applicant: 809 Sobro LLC
Representative: LJB Inc.
Jurisdiction: Louisville Metro
Council District: 6 – JP Lyninger
Case Manager: Sydney Fawcett, AICP, Planner I

REQUEST & RECOMMENDED ACTION

1. Closure of Public Right-of-Way

- Staff finds the applicant received a Consent of Street Closure from more than 51% of adjacent property owners and **RECOMMENDS** the Development Review Committee place the Street Closure on the consent agenda at the next available Planning Commission.

CASE SUMMARY

The applicant is requesting the closure of an unnamed alley near the intersection of W. Breckinridge Street and S. 8th Street. The area to be closed is roughly 5,500 square feet. Portions of the proposed closure will not be conveyed evenly to the adjacent property owners. However, the applicant has obtained documentation from the affected property owners indicating they are aware of and agree to the proposed conveyance of the right-of-way closure.

TECHNICAL REVIEW

- The proposed closure will maintain public facilities. All agencies have been addressed and approvals received from relevant utilities.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR STREET CLOSURES

(a) Adequate Public Facilities – Whether and the extent to which the request would result in demand on public facilities and services (both on-site and off-site), exceeding the capacity or interfering with the function of such facilities and services, existing or programmed, including transportation, utilities, drainage, recreation, education, emergency services, and similar necessary facilities and serves. No closure of any public right-of-way shall be approved where an identified current or future need for the facility exists. Where existing or proposed utilities are located within the right-of-way to be closed, it shall be retained as an easement, or alternative locations shall be provided for the utilities; and

STAFF FINDING: Adequate public facilities are available to serve existing and future needs of the community. The proposed closure does not result in an increase in demand on public facilities or services as utility agencies have coordinated with the applicant and Office of Planning staff to ensure that facilities are maintained or relocated through agreement with the developer. No property adjacent or abutting the rights-of-way to be closed will be left absent of public facilities or services or be dispossessed of public access to their property. The applicant will provide necessary easements or relocation of equipment per utility agency requirements.

(b) Cost for Improvement – The cost for a street or ally closing, or abandonment of any easement or land dedicated to the use of the public shall be paid by the applicant or developer of a proposed project, including cost of improvements to adjacent rights-of-way or relocation of utilities within an existing easement; and

STAFF FINDING: Any cost associated with the rights-of-way to be closed will be the responsibility of the applicant or developer, including the cost of improvements to those rights-of-way and adjacent rights-of-way, or the relocation of utilities and any additional agreement reached between the utility provider and the developer.

(c) Other Matters – Any other matter which the Planning Commission may deem relevant and appropriate.

STAFF FINDING: There are no other relevant matters to be considered by the Planning Commission.

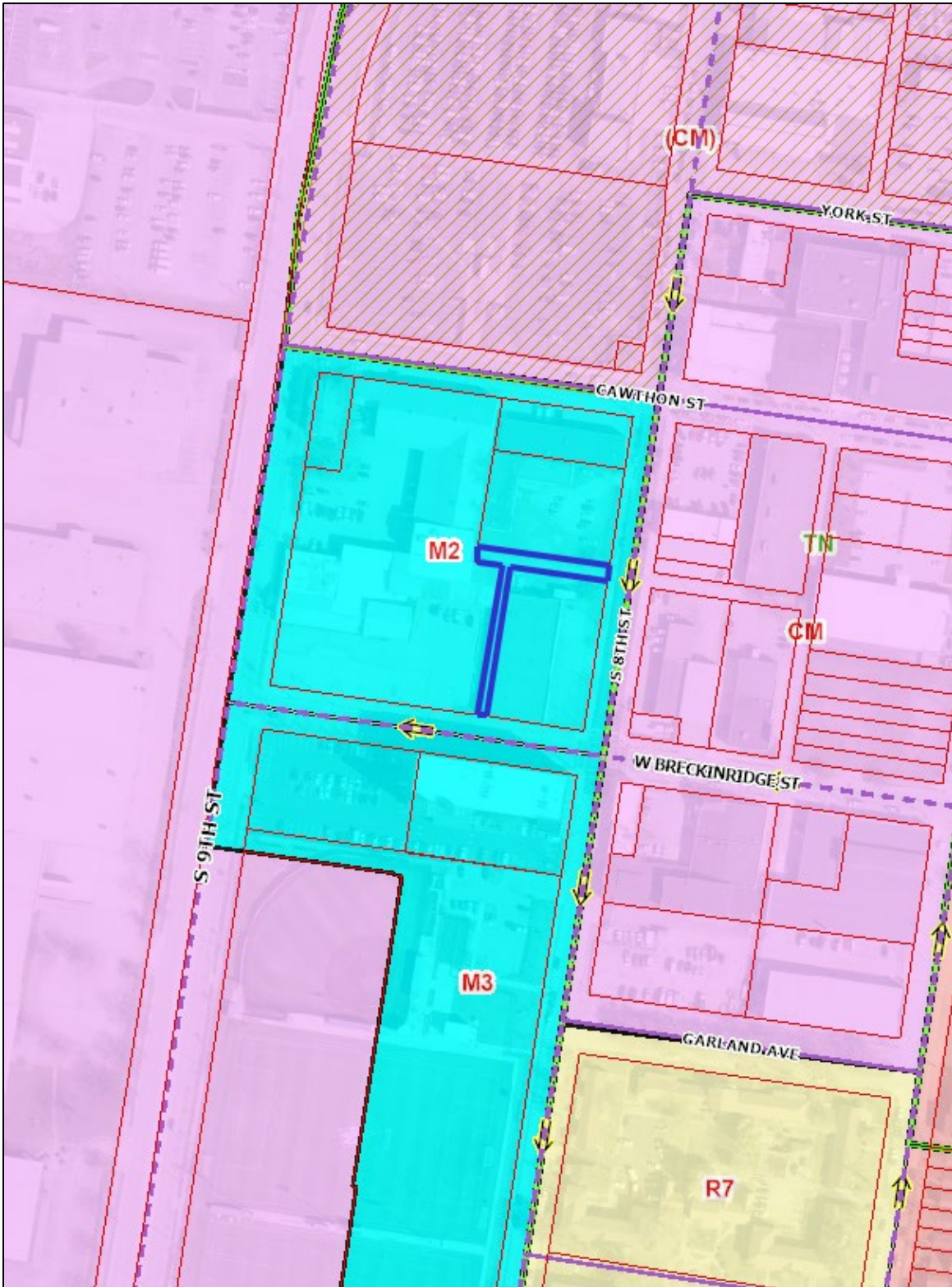
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/22/2026	Development Review Committee Public Hearing	Registered Neighborhood Groups in Council District 6

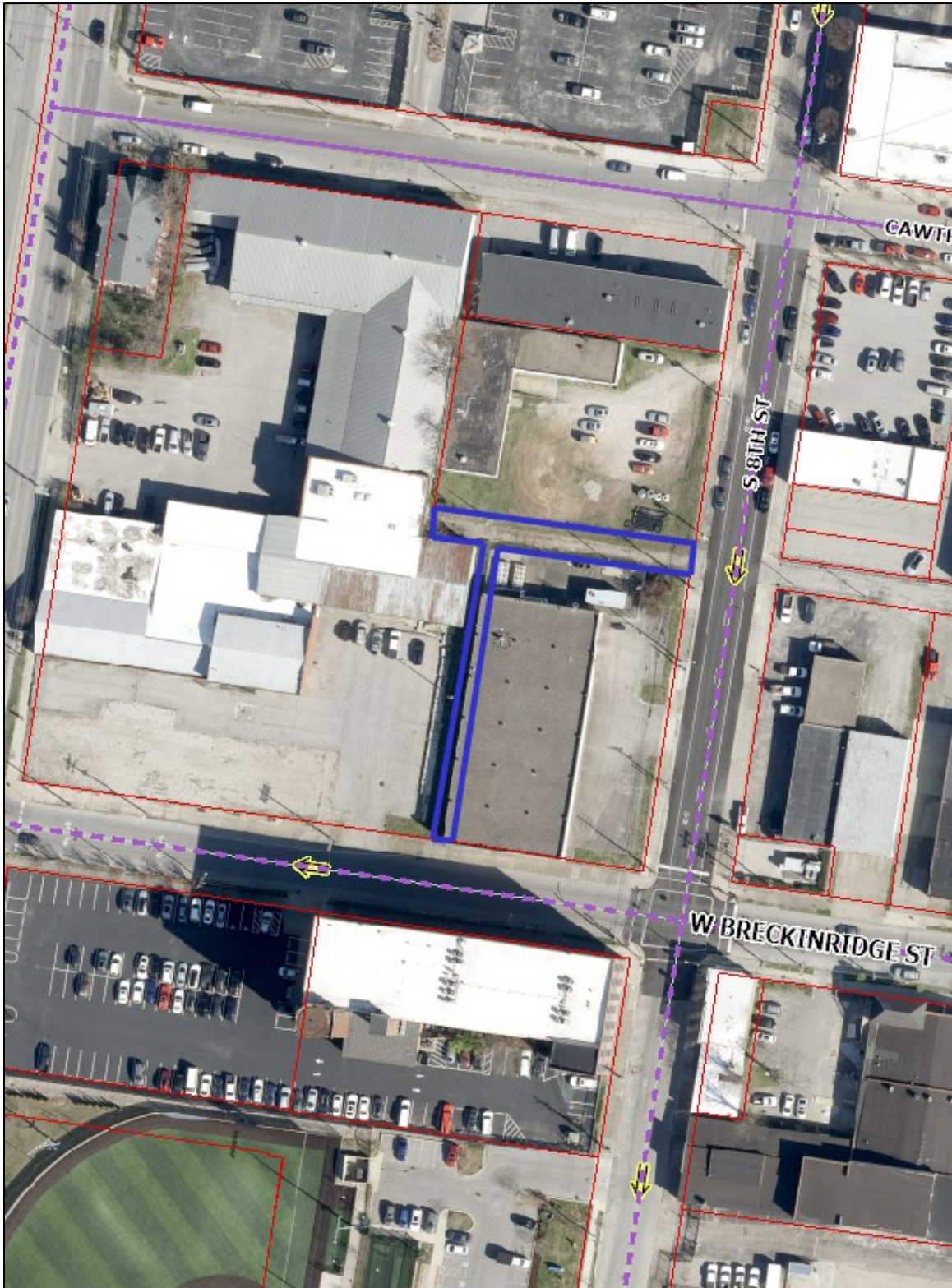
ATTACHMENTS

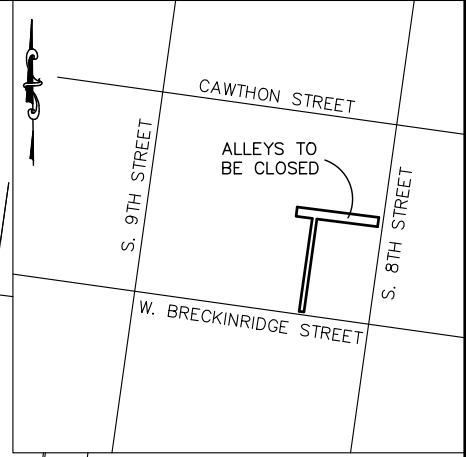
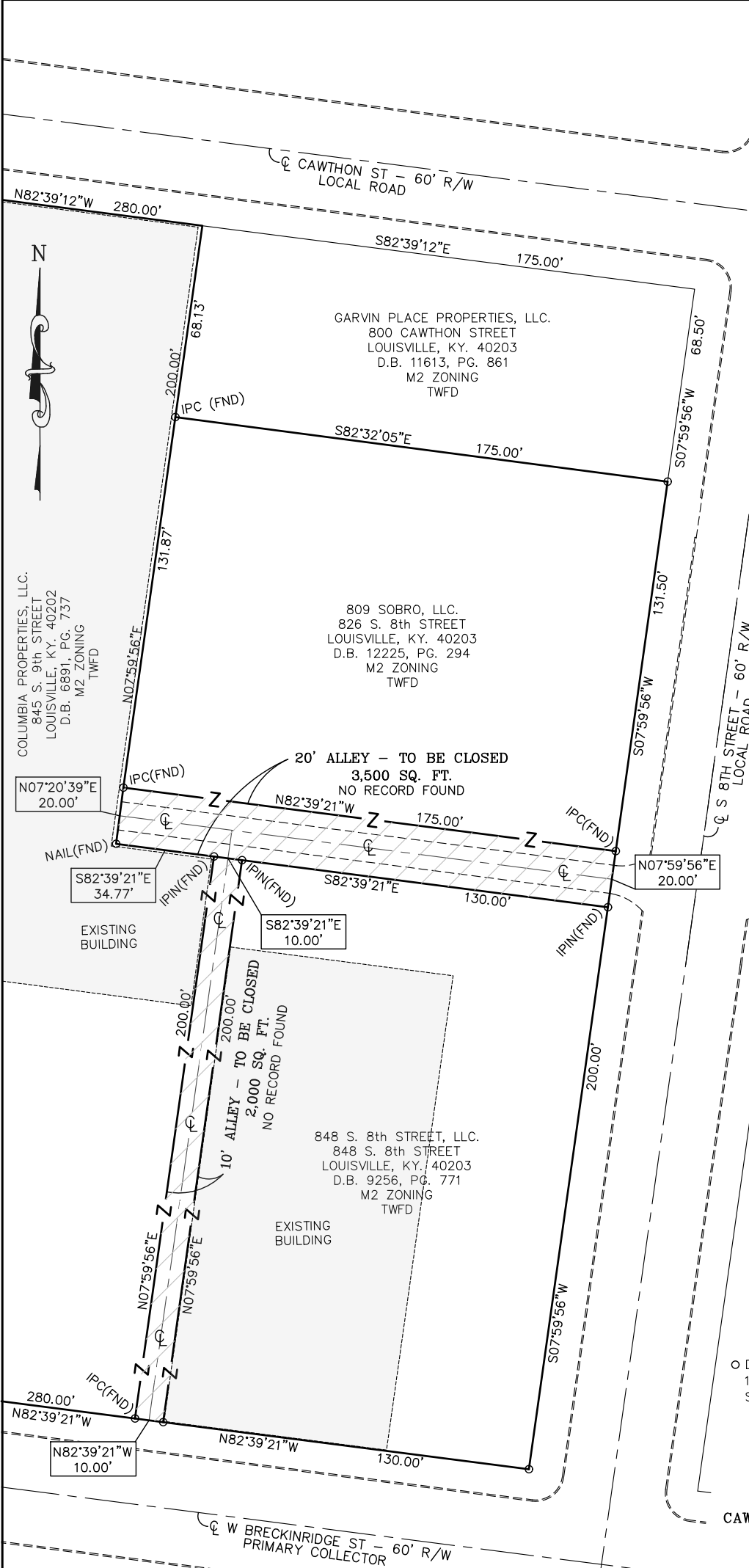
1. Zoning Map
2. Aerial Photograph

1. ZONING MAP



2. AERIAL PHOTOGRAPH





VICINITY MAP
NOT TO SCALE



COLUMBIA PROPERTIES, LLC.
845 S. 9th STREET
LOUISVILLE, KY. 40202
D.B. 6891, PG. 737
M2 ZONING
TWFD

GARVIN PLACE PROPERTIES, LLC.
800 CAWTHON STREET
LOUISVILLE, KY. 40203
D.B. 11613, PG. 861
M2 ZONING
TWFD

809 SOBRO, LLC.
826 S. 8th STREET
LOUISVILLE, KY. 40203
D.B. 12225, PG. 294
M2 ZONING
TWFD

848 S. 8th STREET, LLC.
848 S. 8th STREET
LOUISVILLE, KY. 40203
D.B. 9256, PG. 771
M2 ZONING
TWFD

20' ALLEY - TO BE CLOSED
3,500 SQ. FT.
NO RECORD FOUND

10' ALLEY - TO BE CLOSED
2,000 SQ. FT.
NO RECORD FOUND

NOTES

1. THIS SURVEY IS SUBJECT TO ALL LEGAL RESTRICTIONS, ROADWAYS, EASEMENTS, RIGHT-OF-WAYS, IF ANY WHETHER SHOWN HEREON OR NOT.
2. NO STRUCTURES LIE WITHIN THE PROPOSED ALLEY CLOSURE AREA.

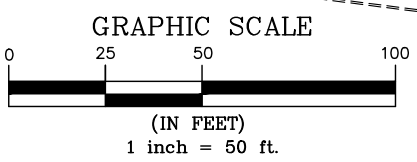
BEARING DATUM

THE BASIS OF THE REFERENCE MERIDIAN USED ON THIS SURVEY TO DETERMINE THE DIRECTIONS OF SURVEY LINES IS THE BEARING OF S07°59'56"W ALONG THE EAST LINE OF D.B. 6891, PG. 737 BEING RECORDED IN THE OFFICE OF THE COUNTY COURT CLERK OF JEFFERSON COUNTY, KY.

○ DENOTES:
1/2" STEEL PIN WITH YELLOW PLASTIC CAP (SET)
STAMPED LJB INC./PLS #4053 UNLESS OTHERWISE NOTED.

ALLEY CLOSURE PLAT

THE PURPOSE OF THIS PLAT IS TO CLOSE
A 20' ALLEY LOCATED OFF
SOUTH 8TH STREET BETWEEN
CAWTHON STREET & WEST BRECKINRIDGE STREET
AND A 10' ALLEY LOCATED OFF
WEST BRECKINRIDGE STREET BETWEEN
SOUTH 8TH STREET & SOUTH 9TH STREET



LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND SURVEY WERE MADE UNDER MY SUPERVISION AND MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR AN URBAN SURVEY AS ESTABLISHED BY THE COMMONWEALTH OF KENTUCKY, PER 201 KAR 18:150. THIS SURVEY WAS COMPLETED BY THE METHOD OF RANDOM TRAVERSE WITH SIDESHOTS. THE UNADJUSTED TRAVERSE CLOSURE WAS 1:56,167. THE DIRECTIONAL AND LINEAR MEASUREMENTS, AS WITNESSED BY THE MONUMENTS SHOWN HEREON, ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

(Signature) _____ PLS # _____ Date _____

LJB INC.
2500 Newmark Circle
Miamisburg, OH 45342
(502) 899-9611
LJBinc.com



APPLICANT: 809 SOBRO, LLC.
809 S. 8th STREET
LOUISVILLE, KY. 40203
D.B. 12225, PG. 294
PARCEL ID: 029C01390000

Date: 5/13/26
Project No.: 0132341A.00
Drawing Name: 0132341CLOSURE.DWG

Paul A. Lichtefeld
848 South Eight Street, LLC.
908 S. 8th Street, Suite 102
Louisville, KY. 40203
(502) 589-4777
April 6, 2026

Case #26-STRCLOSURE-0004

Louisville Metro Government
Office of Planning
444 S. 5th Street
Louisville, KY. 40202

Re: Closure & disbursement of the existing 20' alley located along the west line of S. 8th Street, lying north of W. Breckinridge Street and south of Cawthon Street.

To whom it may concern:

I, Paul A. Lichtefeld, owner of 848 South Eight Street, LLC. and the property located at 848 S. 8th Street, are writing to confirm we are fully aware of and in agreement with the proposed alley closure adjacent to my property. An alley closure pre-application (Case# 26-STRCLOSUREPA-004) has been filed by the adjacent property owner, 809 Sobro, LLC. located at 826 S. 8th Street.

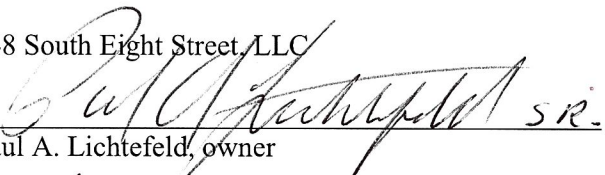
I further acknowledge and agree that, should the alley closure be approved by Louisville Metro Government, the portion of the 20' alley to be closed adjacent to our property will be conveyed in its entirety to 809 Sobro, LLC. and consolidated by deed to the property located at 826 S. 8th Street. Per agreement between adjoining property owners, an ingress/egress easement over the total area of the 20' alley to be closed will be granted and recorded in the Office of the Clerk of Jefferson County, Ky. and provide a 20' wide access for vehicular and pedestrian ingress and egress on, over and across the designated property. The rights conveyed by said ingress/egress easement shall be limited to maintenance access customarily incidental to Commercial and Industrial usage of the adjoining properties.

I also confirm that no monetary compensation or exchange of funds will occur in connection with the alley closure application and/or approval as submitted.

I understand that this letter serves as documentation of our awareness as requested by the Office of Planning.

Sincerely,

848 South Eight Street, LLC


Paul A. Lichtefeld, owner

April 20 2026
Date

Notary Acknowledgment (Commonwealth of Kentucky)

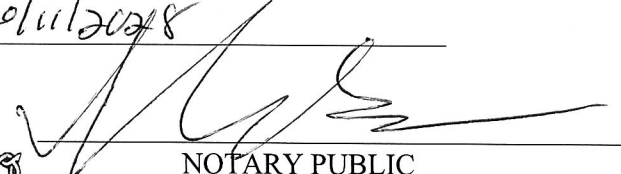
COMMONWEALTH OF Kentucky

COUNTY OF Jefferson

I, the undersigned Notary Public in and for the Commonwealth and County aforesaid, do hereby certify that the foregoing instrument was subscribed to this day, sworn to and acknowledged before me by Paul A. Lichtefeld, owner of 848 South Eight Street, LLC., who being by me first duly sworn, declared that he signed the foregoing instrument by as a true and proper act and deed.

Witness my hand this 20th day of April, 2026

My Commission expires: 6/11/2028


NOTARY PUBLIC



Stephen A. Smith
Columbia Properties, LLC.
845 S. 9th Street
Louisville, KY. 40203
ssmith@paristown.com
(502) 821-0054
April 6, 2026

Case #26-STRCLOSURE-0004

Louisville Metro Government
Office of Planning
444 S. 5th Street
Louisville, KY. 40202

Re: Closure & disbursement of the existing 20' alley located along the west line of S. 8th Street, lying north of W. Breckinridge Street and south of Cawthon Street.

To whom it may concern:

I, Stephen A. Smith, representative of Columbia Properties, LLC. and owner of the property located at 845 S. 9th Street, are writing to confirm we are fully aware of and in agreement with the proposed alley closure adjacent to my property. An alley closure pre-application (Case# 26-STRCLOSUREPA-004) has been filed by the adjacent property owner, 809 Sobro, LLC. located at 826 S. 8th Street.


I further acknowledge and agree that, should the alley closure be approved by Louisville Metro Government, the portion of the 20' alley to be closed adjacent to our property will be conveyed in its entirety to 809 Sobro, LLC. and consolidated by deed to the property located at 826 S. 8th Street. Per agreement between adjoining property owners, an ingress/egress easement over the total area of the 20' alley to be closed will be granted and recorded in the Office of the Clerk of Jefferson County, Ky. and provide a 20' wide access for vehicular and pedestrian ingress and egress on, over and across the designated property. The rights conveyed by said ingress/egress easement shall be limited to maintenance access customarily incidental to Commercial and Industrial usage of the adjoining properties.

I also confirm that no monetary compensation or exchange of funds will occur in connection with the alley closure application and/or approval as submitted.

I understand that this letter serves as documentation of our awareness as requested by the Office of Planning.

Sincerely,

Columbia Properties LLC.



Stephen A. Smith, representative

4-7-2024

Date

Notary Acknowledgment (Commonwealth of Kentucky)

COMMONWEALTH OF Kentucky

COUNTY OF Jefferson

I, the undersigned Notary Public in and for the Commonwealth and County aforesaid, do hereby certify that the foregoing instrument was subscribed to this day, sworn to and acknowledged before me by Stephen A. Smith, Representative for Columbia Properties, LLC., who being by me first duly sworn, declared that he signed the foregoing instrument by as a true and proper act and deed.

Witness my hand this 7th day of April, 20 24

My Commission expires: 10-10-26



NOTARY PUBLIC KY NP 60282

JUSTIFICATION

1. Adequate Public Facilities - Whether and the extent to which the request would result in demand on public facilities and services (both on-site and off-site), exceeding the capacity or interfering with the function of such facilities and services, existing or programmed, including transportation, utilities, drainage, recreation, education, emergency services, and similar necessary facilities and services. No closure of any public right-of-way shall be approved where an identified current or future need for the facility exists. Where existing or proposed utilities are located within the right-of-way to be closed, it shall be retained as an easement or alternative locations shall be provided for the utilities.

The requested alley closure would not result in any additional demand on surrounding public facilities and/or services. Where existing or proposed utilities (if any) located within the right-of-way to be closed, it shall be retained as an easement or alternative locations shall be provided for the utilities.

2. Cost for Improvement - The cost for a street or alley closing, or abandonment of any easement or land dedicated to the use of the public shall be paid by the applicant or developer of a proposed project, including cost of improvements to adjacent rights-of-way or relocation of utilities within an existing easement.

There are no foreseen improvements at this time. The Cost for Improvement for the alley closing shall be paid by the applicant if future improvements are required.

3. Comprehensive Plan – The extent to which the proposed closure is in compliance with the Goals, Objectives, and Policies of the Comprehensive Plan.

The proposed alley closure is in compliance with goals, objectives, and policies of the Comprehensive Plan.

4. Other Matters - Any other matters which the Planning Commission may deem relevant and appropriate.



Louisville Metro Government

Text File

File Number: 26-STRCLOSURE-0017

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 4.



26-STRCLOSURE-0017

Development Review Committee
Staff Report
July 15, 2026

Mermaid Lane Street Closure

Location: Mermaid Lane
Applicant: Sam Kandah, Ford Motor Company
Representative: Lockett & Farley
Jurisdiction: Louisville Metro
Council District: 17 – Markus Winkler
Case Manager: Zack Jones, Planner II

REQUESTS & RECOMMENDED ACTIONS

1. Closure of public right-of-way
 - Staff finds the request is justified and recommends the Development Review Committee **RECOMMENDS** that the Planning Commission **APPROVE** the requested street closure and direct it to the consent agenda

CASE SUMMARY

The applicant is requesting the closure of 1.165 acres of right-of-way, referenced as “Mermaid Lane”, perpendicular to Collins Lane. The properties adjacent to the entirety of Mermaid Lane are owned by the Ford Motor Company. The requested closure is intended to provide more direct access for the Ford industrial expansion south of Mermaid Lane to the existing parking area north of Mermaid Lane. This closure is related to proposed zone change request 26-ZONE-0056 going before Planning Commission on July 16, 2026.

TECHNICAL REVIEW

- Land Development Code (Louisville Metro 2025)
- MSD, Transportation, and all applicable public utilities have provided preliminary approval.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR 26-STRCLOSURE-0017

1. *Adequate Public Facilities – Whether and the extent to which the request would result in demand on public facilities and services (both on-site and off-site), exceeding the capacity or interfering with the function of such facilities and services, existing or programmed, including transportation,*

utilities, drainage, recreation, education, emergency services, and similar necessary facilities and services. No closure of any public right-of-way shall be approved where an identified current or future need for the facility exists. Where existing or proposed utilities are located within the right-of-way to be closed, it shall be retained as an easement or alternative locations shall be provided for the utilities; and

STAFF FINDING: Adequate public facilities are available to serve existing and future needs of the community. The proposed closure would not result in an increase in demand or strain on public facilities or services as utility agencies have coordinated with the applicant and Office of Planning staff to ensure that facilities are maintained or relocated through agreement with the developer. No property adjacent or abutting the rights-of-way to be closed will be left absent of public facilities or services or be dispossessed of public access to their property. The applicant will provide necessary easements or relocation of equipment per utility agency requirements.

- 2. Cost for Improvement – The cost for a street or alley closing, or abandonment of any easement or land dedicated to the use of the public shall be paid by the applicant or developer of a proposed project, including cost of improvements to adjacent rights-of-way or relocation of utilities within an existing easement; and*

STAFF FINDING: Any cost associated with the rights-of-way to be closed will be the responsibility of the applicant or developer, including the cost of improvements to those rights-of-way and adjacent rights-of-way, or the relocation of utilities and any additional agreement reached between the utility provider and the developer.

- 3. Other Matters – Any other matters which the Planning Commission may deem relevant and appropriate.*

STAFF FINDING: STAFF: There are no other relevant matters to be considered by the Planning Commission.

REQUESTS & RECOMMENDED ACTIONS

1. Place on the consent agenda at the next available Planning Commission

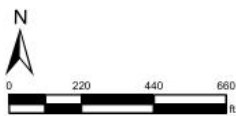
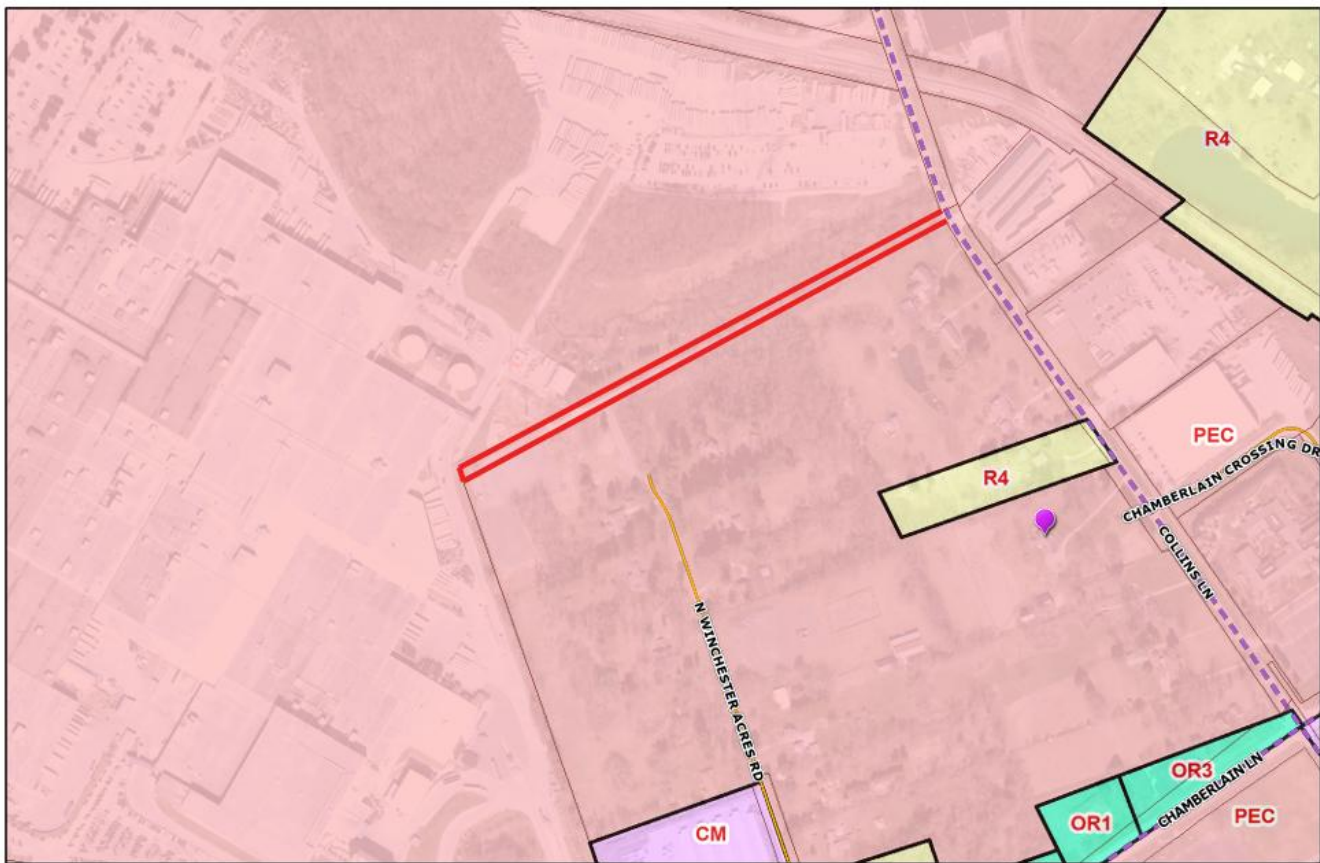
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
7/2/2026	Planning Commission Public Hearing	1st and 2nd tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 17

ATTACHMENTS

- 1. Zoning Map
- 2. Aerial Photograph
- 3. Proposed Condition

1. ZONING MAP



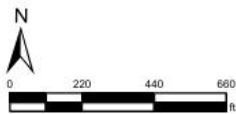
Wednesday, July 1, 2026 | 6:55 PM



LOJIC © 2026

This map is not a legal document and should only be used for general reference and identification.

2. AERIAL MAP



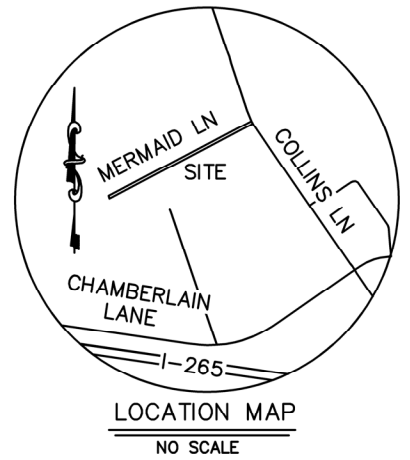
Wednesday, July 1, 2026 | 6:54 PM



This map is not a legal document and should only be used for general reference and identification.

2. PROPOSED CONDITION

1. Prior to recording the issuance of permits, the applicant must receive written confirmation from all affected utility agencies that easement agreements are in place.



GENERAL NOTES:

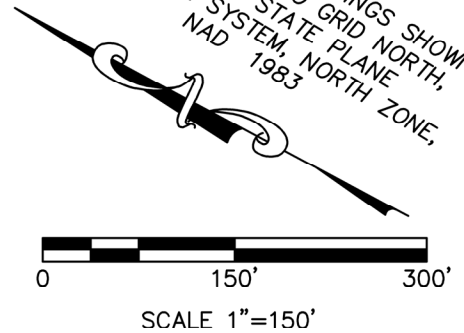
A TITLE SEARCH MAY REVEAL ROADS AND EASEMENTS NOT SHOWN HEREON.

THE ADJOINING PROPERTIES WILL BECOME ONE CONTIGUOUS PARCEL ONCE THE ROAD IS CLOSED.

LEGEND

- = SET 18" X 5/8" REBAR WITH CAP STAMPED "HOLLAND #4043" AT CORNER UNLESS OTHERWISE NOTED
- = FOUND 5/8" REBAR WITH CAP STAMPED "THOMAS 3259" AT CORNER UNLESS OTHERWISE NOTED
- = FOUND 1" PIN AT CORNER UNLESS OTHERWISE NOTED
- = CONSOLIDATION LINE
- = STREET CLOSURE 50,764 SQUARE FEET

NORTH AND ALL BEARINGS SHOWN HEREON REFER TO GRID NORTH, KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE, 1983



MERMAID LANE CLOSURE PLAT

APPLICANT

FORD MOTOR COMPANY
17000 ROTUNDA, FIRST FLOOR SOUTH
DEARBORN, MI 48120

SITE DATA

ZONING: PEC
FORM DISTRICT: SUBURBAN WORKPLACE

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND SURVEY WERE MADE UNDER MY SUPERVISION, AND THAT THE ANGULAR AND LINEAR MEASUREMENTS AS WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY WAS MADE BY METHOD OF RANDOM TRAVERSE WITH SIDESHOTS, THE UNADJUSTED CLOSURE RATIO OF THE TRAVERSE WAS 1:27,918. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN CLASS SURVEY AS ESTABLISHED BY THE STATE OF KENTUCKY PER 201 KAR 18:150.

PRELIMINARY

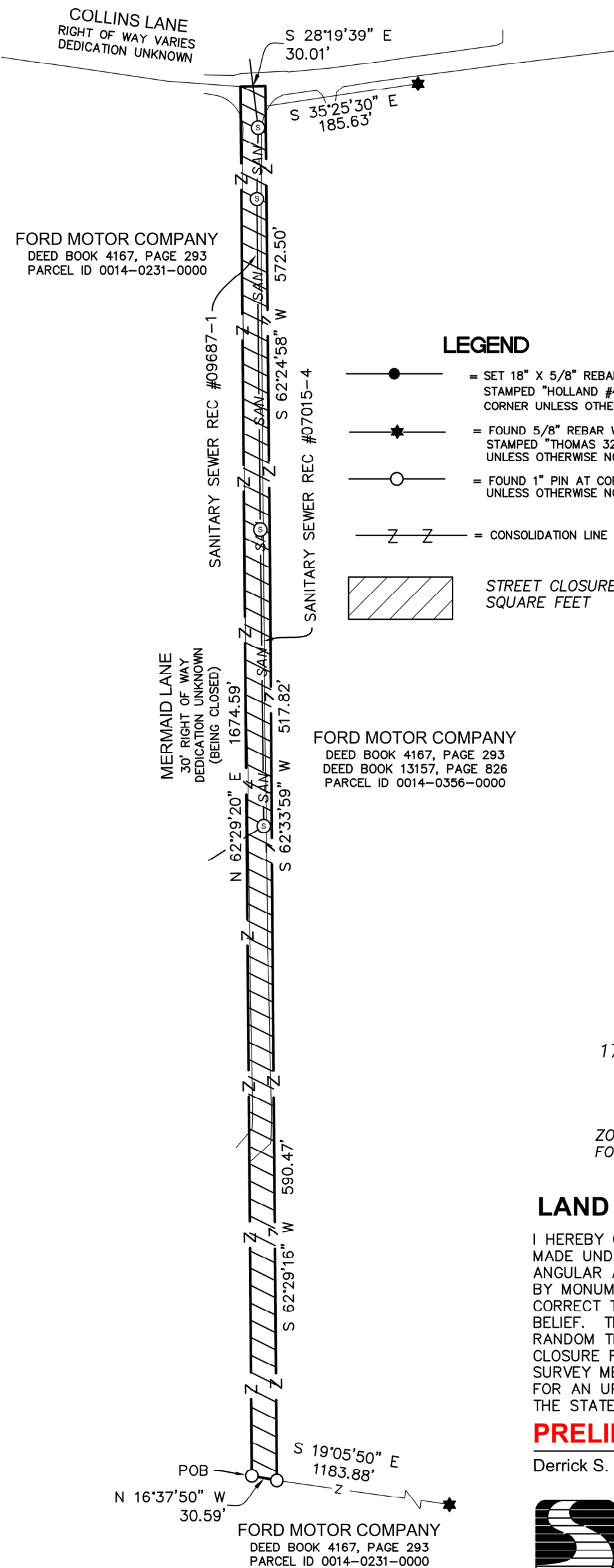
06/17/26

Derrick S. Holland, PLS 4043

Date:



SABAK, WILSON & LINGO, INC.
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
301 EAST MAIN STREET, SUITE 201
LOUISVILLE, KY 40202
PHONE: 502-584-6271 FAX: 502-584-6292



JUSTIFICATION STATEMENT

Ford Motor Company

Mermaid Lane

The proposed closure of Mermaid Lane adjacent to 11200 Westport Road and 3306 Collins Lane is being requested as part of the continued operation and security management of the Ford Kentucky Truck Plant. The applicant, Ford Motor Company, owns all of the properties on Mermaid Lane, and the roadway, though open to the public, has long functioned primarily as an internal access point serving the plant's operational needs.

The subject area has evolved into a manufacturing facility for Ford Motor Company, and Mermaid Lane no longer functions as a public thoroughfare or connector. The roadway does not provide access to any external properties or public streets. As such, its continued designation as a public right-of-way is no longer appropriate given the existing land use and site conditions.

The proposed closure will allow the applicant to incorporate the area of Mermaid Lane into its secured facility, improving site control and enhancing overall safety and operational efficiency. Eliminating unnecessary public access to this industrial area will support ongoing manufacturing operations while minimizing any impact on surrounding properties, as there is no through connectivity or reliance on this roadway for access.

The proposed closure is consistent with the surrounding industrial character of the area and represents a logical adjustment to reflect current land use conditions. Additionally, the closure will not create additional demand on public facilities or interfere with the operation of transportation, utilities, drainage, recreation, education, emergency services, or similar essential services. Adequate access and functionality will be maintained, and no adverse impacts to public infrastructure are anticipated.

All costs associated with the street closure will be the responsibility of Ford Motor Company, including any necessary improvements to adjacent rights-of-way and the relocation of utilities. Accordingly, the request will not place any financial burden on public resources. The proposed closure further complies with Plan 2040 in that it will minimally impact the surrounding properties while supporting the operational needs of the Ford Kentucky Truck Plant.

ROAD CLOSURE DESCRIPTION
MERMAID LANE

BEGINNING AT A FOUND 1" PIN AT THE NORTHWEST CORNER OF A 30' PRIVATE ROADWAY (MERMAID LANE) AND BEING THE CORNER OF A TRACT OF LAND CONVEYED TO FORD MOTOR COMPANY BY DEED DATED JANUARY 5, 1968 OF RECORD IN DEED BOOK 4167, PAGE 293 IN THE OFFICE OF THE CLERK OF JEFFERSON COUNTY, KENTUCKY; THENCE FOLLOWING THE NORTH LINE OF MERMAID LANE, **NORTH 62°29'20" EAST**, (THIS AND ALL SUBSEQUENT BEARINGS HEREON REFER TO THE KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 1983), **1,674.59 FEET** TO A POINT IN THE CENTERLINE OF COLLINS LANE; THENCE LEAVING THE NORTH LINE OF MERMAID LANE AND FOLLOWING THE CENTERLINE OF COLLINS LANE, **SOUTH 28°19'39" EAST, 30.01 FEET** TO THE SOUTH LINE OF MERMAID LANE; THENCE **SOUTH 62°24'58" WEST, 572.50 FEET** TO A POINT IN THE NORTH LINE OF A TRACT OF LAND CONVEYED TO FORD MOTOR COMPANY DATED SEPTEMBER 16, 2025 OF RECORD IN DEED BOOK 13157, PAGE 826 IN THE AFORESAID CLERK'S OFFICE; THENCE FOLLOWING THE SOUTH LINE OF MERMAID LANE, **SOUTH 62°33'59" WEST, 517.82 FEET** TO A POINT; THENCE FOLLOWING THE SOUTH LINE OF MERMAID LANE, **SOUTH 62°29'16" WEST, 590.47 FEET** TO A FOUND 1" PIN AT THE SOUTHWEST CORNER OF MERMAID LANE; THENCE **NORTH 16°37'50" WEST, 30.59 FEET** TO THE POINT OF BEGINNING AND CONTAINING 50,764 SQUARE FEET OR 1.165 ACRES.



Louisville Metro Government

Text File

File Number: 26-WAIVER-0054

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 5.



26-WAIVER-0054

Development Review Committee
Staff Report
July 15, 2026

Broadway Gas Canopy

Location: 2701 West Broadway
Applicant: IM Real Estate Corporation
Representative: Shaik Mohiuddin
Jurisdiction: Louisville Metro
Council District: 5 – Donna Purvis
Case Manager: Abby Bills, Planner I

REQUEST & RECOMMENDED ACTION

26-WAIVER-0054: Waiver of Land Development Code Section 5.5.1.A.5 to allow a detached canopy to be located between the principal structure and the public street.

- Staff finds the justification for the request is adequate and recommends the Development Review Committee **APPROVE** the Waiver

CASE SUMMARY

The subject site is currently zoned C-1 Commercial within the Town Center Form District on 0.14 acres. The site is located on the corner of West Broadway and South 27th Street. The applicant is proposing to construct a 720 square foot gas station canopy in front of the existing building on site. Detached canopies are not permitted between principal structures and public streets in traditional form districts, therefore a waiver is being requested.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR WAIVER

(a) The waiver will not adversely affect adjacent property owners; and

STAFF FINDING: The waiver will not adversely affect adjacent property owners as the only adjacent residential property is located behind the existing building, and the proposed location of the gas canopy will ensure that pedestrian and vehicular traffic is separated from that residential use.

(b) The waiver will not violate specific guidelines of Plan 2040;

STAFF FINDING: The waiver will not violate specific guidelines of Plan 2040 or the Vision Russell Transformation Plan applicable to the site. In Plan 2040, Community Form Goal 2 Policy 9 seeks to “Encourage new developments and rehabilitation of buildings that provide commercial, office and/or residential uses.” The subject site was previously developed as a gas station but has been abandoned

for around 15 years, based on Streetview imagery. The previous building and gas canopy have both been demolished, and a new structure has been constructed on the lot in its place. The applicant’s request for the gas canopy will complete the rehabilitation of the property and restore it to its original commercial use, which is in line with the guidelines of the Comprehensive Plan.

Additionally, the waiver will fall in line with the intent of the Vision Russel Transformation Plan applicable to the site. Goal C.2 of the neighborhood plan states that “Existing Russell businesses are encouraged to stay and grow, and new commercial activities are drawn to the area to further stimulate growth.” The waiver to allow the gas canopy, which contributes to the rehabilitation of the site, will stimulate growth along the West Broadway corridor.

(c) The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant

STAFF FINDING: The extent of the waiver is the minimum necessary to afford relief to the applicant as there is no area behind the building in which the canopy could be placed. A variance under case B-45-90 was previously approved to allow the existing building to encroach into the rear yard setback, leaving no additional space behind the building on what is already a small parcel.

(d) Either: (i) The applicant has incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect); OR (ii) The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

STAFF FINDING: The strict application of the provisions of the regulation would deprive the applicant of reasonable use of the land. There is no area on the parcel where a gas canopy compliant with the regulation could be built, due to the existing conditions of the development site as well as the small size of the parcel.

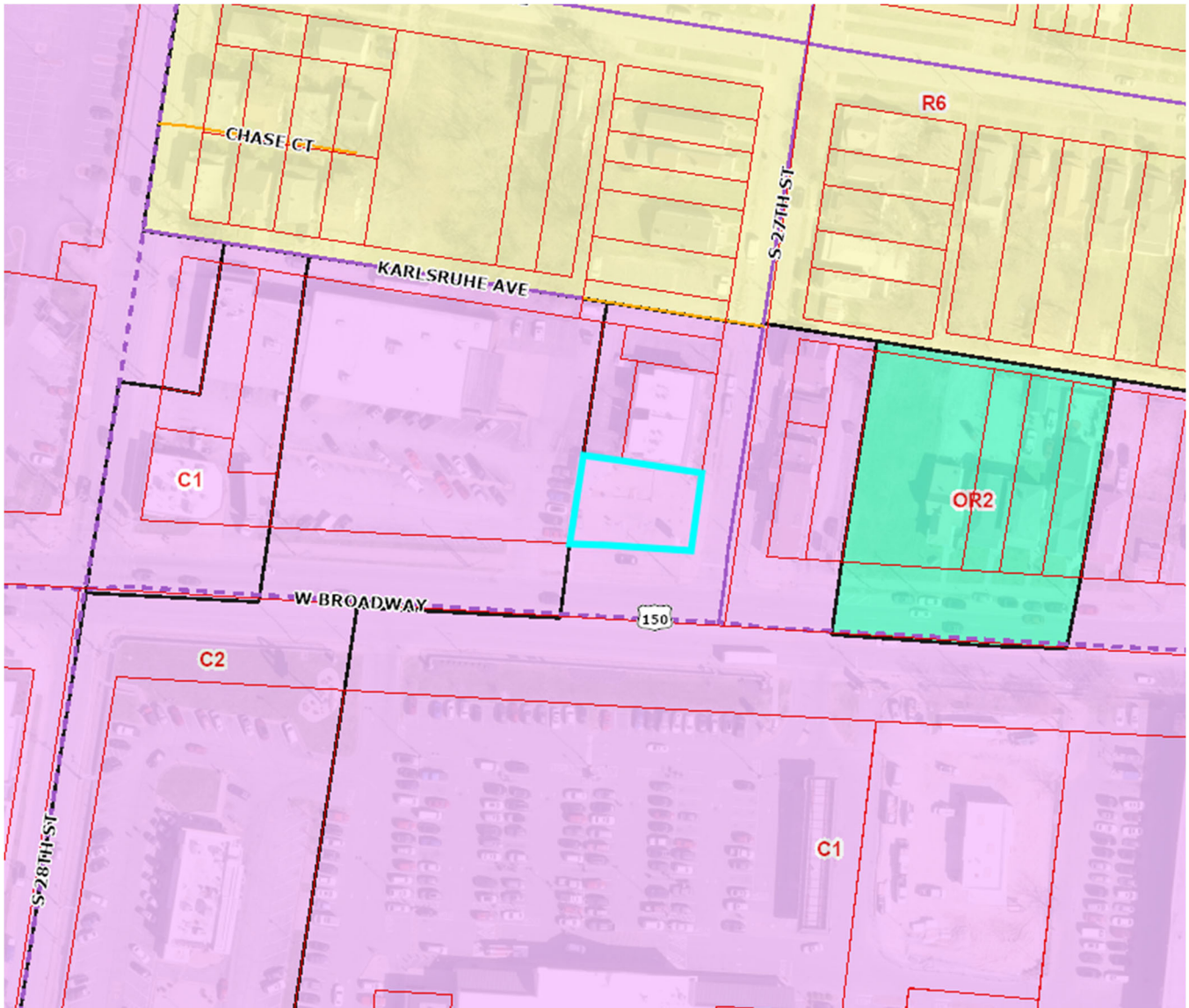
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/24/2026	Development Review Committee Public Hearing	1st tier adjoining property owners and current residents
6/24/2026	Development Review Committee Public Hearing	Registered Neighborhood Groups in Council District 5

ATTACHMENTS

1. Zoning Map
2. Aerial Photograph

1. Zoning Map



2. Aerial Photograph



SITE PLAN

2701 W Broadway
Louisville, KY 40211
Parcel ID: 02001F00140000
Lot area: 0.13 Acres
Paper Size: 11"x17"



scale 1"=20'

RECEIVED

APR 24 2026

OFFICE OF
PLANNING



VICINITY MAP

Disclaimer

This is not a Legal Survey, nor is it intended to be or replace one. These measurements are approximate and are for illustrative purposes only. This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.

JUSTIFICATION

To justify approval of any waiver, the Board or Commission considers the following criteria.

Please answer **ALL** of the following items. Use additional sheets if needed. Responses of **Yes, No, or N/A** will **NOT** be accepted.

1. Will the waiver adversely affect adjacent property owners?

No it does not

2. Will the waiver violate the Comprehensive Plan?

No it does not
The canopy sits on its front of the building covers tow pump.

3. Is extent of waiver of the regulation the minimum necessary to afford relief to the applicant?

Yes it will hurt property and the business also the neighborhood customers.

4. Has either (a) the applicant incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect) or would the strict application of the provisions of the regulation deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant?

Yes it would be ~~at~~ Pump will sit in a rain, they could go bad. and also it would be hard for the customer to fill up gas, rain, snow the would hurt our financial.

RECEIVED

APR 24 2026

OFFICE OF PLANNING



Louisville Metro Government

Text File

File Number: 26-WAIVER-0072

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 6.



26-WAIVER-0072

Development Review Committee
Staff Report
July 15, 2026

Landscape Waiver

Location: 2111 Lytle Street
Applicant: Hanka LLC
Representative: Renaissance Design Build, Inc.
Jurisdiction: Louisville Metro
Council District: 5 – Donna Purvis
Case Manager: Sydney Fawcett, AICP, Planner I

REQUEST & RECOMMENDED ACTION

1. **26-WAIVER-0072:** Waiver of Land Development Code (LDC) Section 10.2.12 to not provide the required Interior Landscape Areas (ILAs).
 - Staff finds the justification for the request is adequate and recommends the Development Review Committee **APPROVE** the Waiver

CASE SUMMARY

The subject site is approximately 0.63 acres zoned C-M Commercial Manufacturing within the Traditional Neighborhood form district. The subject site is located near the intersection of Lytle Street and N 22nd Street west of I-64. The applicant is proposing to convert an existing storage building to an athletic facility and is requesting a change in use which triggers landscaping requirements, including Interior Landscaping Areas (ILAs). However, there is no new construction being proposed, and the existing parking lot is to remain. The applicant does not want to alter the existing parking lot; therefore, a waiver is being requested.

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Land Development Code (Louisville Metro 2025)

STANDARD OF REVIEW AND STAFF ANALYSIS FOR 26-WAIVER-0072

(a) The waiver will not adversely affect adjacent property owners; and

STAFF FINDING: The waiver will not adversely affect adjacent property owners as the applicant is proposing to replace the existing chain link fence with a 6-foot wooden fence to screen the existing parking lot from the adjacent property owners and mitigate potential impacts from vehicles

maneuvering on site. The required plantings and buffering along Lytle Street are being provided as well.

(b) The waiver will not violate specific guidelines of Plan 2040; and

STAFF FINDING: The waiver will not violate specific guidelines of Plan 2040. Community Form Goal 1 Policy 10 suggests mitigating the impacts caused when incompatible developments unavoidably occur adjacent to each other. Buffers should be used between uses that are substantially different in intensity or density. Buffers should be variable in design and may include landscaping, vegetative berms and/or walls and should address issues such as lights from automobiles, loud noise, odors, smoke, automobile exhaust, and other visual nuisances. Community Form Goal 1 Policy 12 encourages designing parking areas located adjacent to residential areas to minimize adverse impacts from noise, lights, and other potential impacts. The applicant will be installing a 6-foot wooden fence to enclose the parking lot which will mitigate potential impacts from vehicles maneuvering on site.

(c) The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant; and

STAFF FINDING: The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant as the applicant is not proposing any changes to the existing parking lot and no new construction is being proposed. However, the landscape requirements are triggered by the change in use on site.

(d) Either: (i) The applicant has incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect); OR (ii) The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

STAFF FINDING: The strict application of the provisions of the regulation would create an unnecessary hardship on the applicant as the parking lot without Interior Landscaping Areas (ILAs) is an existing condition of the subject property and providing the ILAs would require the applicant to significantly alter the parking lot. The applicant will be providing the required buffering and screening to mitigate the potential impacts of the existing parking lot.

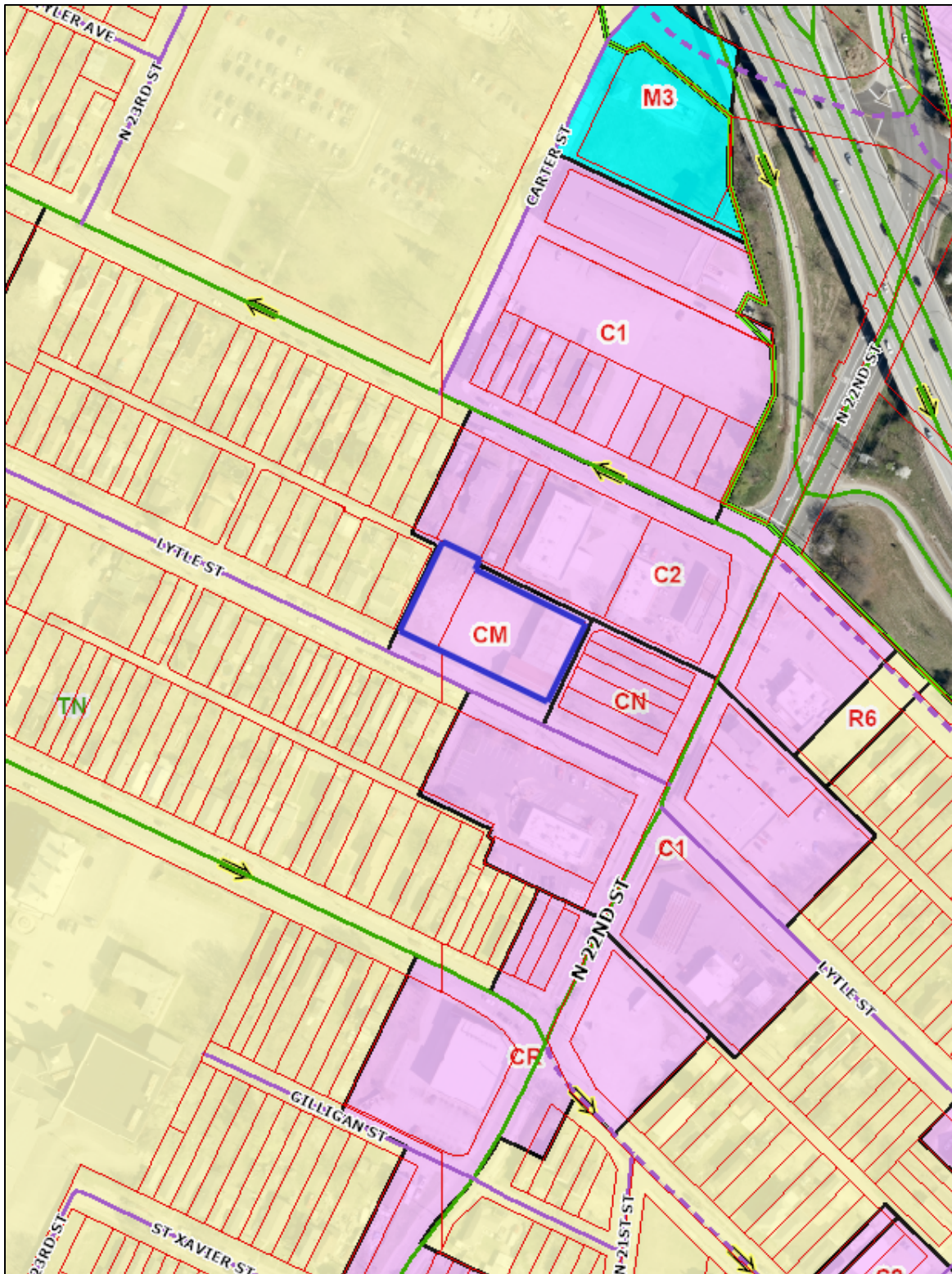
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/22/2026	Development Review Committee Public Hearing	1 st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 5

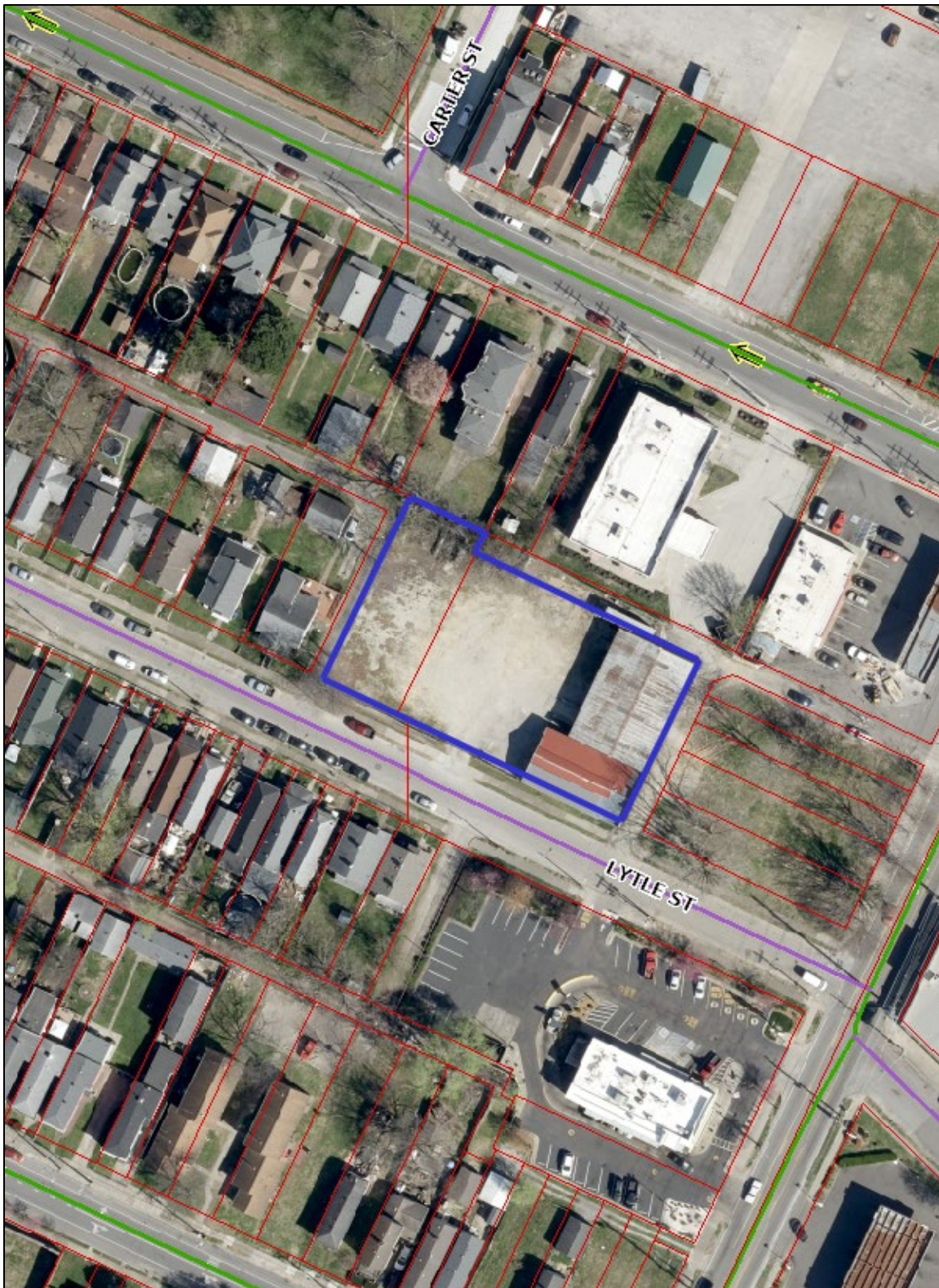
ATTACHMENTS

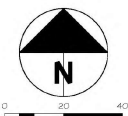
1. Zoning Map
2. Aerial Photograph

1. Zoning Map



2. Aerial Photograph





WAIVER REQUESTED
OWNER IS REQUESTING A TREE CANOPY WAIVER
VUA & IUA INFORMATION (WAIVER REQUEST)

AREA OF VUA:	15,130 SQ FT
IUA % REQ:	7.5%
LA REQ:	1,135 SQ FT
IUA PROVIDED:	0 SQ FT

PROJECT DESCRIPTION: REQUIRED SITE REVISIONS TO MEET STATE & LOCAL CODE STANDARDS FOR FORM DISTRICT & OCCUPANCY USE

DOWNER IS REQUIRED TO INSTALL THE FOLLOWING UPGRADES RELIANT TO THE EXISTING BUILDING ON THE PROPERTY TO MEET THE LOCAL AND STATE CODE REQUIREMENTS: (REFER TO THE NUMBERS BELOW ON THE SITE PLAN)

- NEW TREE SUPPORT DOCK AS NOTED ON THE SAFETY PLAN
- NEW FKE SHALL ASSEMBLY BETWEEN TWO SPACES AS NOTED ON THE SAFETY PLAN
- REPLACE EXISTING DOOR BETWEEN TWO SPACES WITH 20 MIN. FIRE RATED DOOR AS NOTED ON THE LIFE SAFETY PLAN
- NEW OUTSIDE STAIR AT THE END OF THE DOCK AS SHOWN ON THE SAFETY PLAN
- NEW RAILING ALONG THE DOCK FOR EXT. EGRESS SAFETY AS SHOWN ON THE LIFE SAFETY PLAN
- CONCRETE EXISTING FEE RATING OF ALL EXISTING DOORS. REPLACE DOOR AND/OR WINDOW AS REQUIRED ACCORDING TO STATE & LOCAL CODE. REFER TO DOOR SCHEDULE FOR DETAILS & NOTES ON THE LIFE SAFETY PLAN.

PROJECT INFORMATION

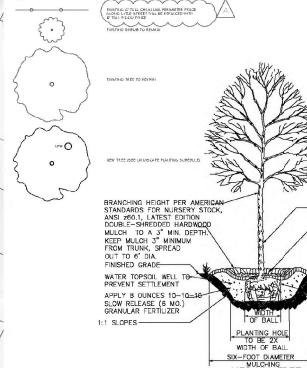
PROJECT SITE LOCATED AT 2111 LYTLE STREET, LOUISVILLE, KY, 40212
FORM DISTRICT: TRADITIONAL NEIGHBORHOOD
EXISTING ZONE 4 USE: COMMERCIAL MANUFACTURING, CM
STORAGE
PROPOSED ZONE 4 USE: COMMERCIAL MANUFACTURING, CM
TRAINING FACILITY / STORAGE / MIXED USE
SITE ACREAGE: 0.83 AC. (27,443 SQ FT)
BUILDINGS HEIGHT ALLOWED: 45 FT
EXISTING BUILDING HEIGHT: 10 FT
EXISTING OCCUPANCY CODE: STORAGE
PROPOSED OCCUPANCY USE: ASSEMBLY / STORAGE

BUILDING OWNERS:
HANCA, LLC - PAT HANCA
2111 LYTLE STREET, LOUISVILLE, KY, 40212

BUILDING SET BACK REQUIREMENTS:
PER TABLE 3.2.2 DIMENSIONAL STANDARDS FOR TRADITIONAL NEIGHBORHOOD, COMMERCIAL MANUFACTURING DISTRICT
NO NEW CONSTRUCTION BUILDING IS EXISTING

PARKING REQUIREMENTS:
PER TABLE 9.1.3B CODE 4100 FOR TRAINING FACILITY
MIN REQUIREMENT: TO BE DETERMINED BY PLANNING DIRECTOR OR DESIGNER
MAX REQUIREMENT: NO MORE THAN 20% ABOVE MINIMUM

PLANT LEGEND



NOTE

THE ENGINEER MAY SUPPLY CONTINUED WITH ADDITIONAL INFORMATION ON TREES AND SPECIES FOR PROPOSAL AND PRODUCE TO THE CLIENT AND PROVIDE TO THE CONTRACTOR FOR THE CONSTRUCTION PROCESS.

VERTICAL ROOTBALLS MUST BE REMOVED PER ARCHITECT'S DESIGNATION. REMOVE ALL EXISTING STONE BASE TO EXISTING SOIL OR A MINIMUM OF 24" IF ON ENGINEERED FILL. REMOVE ALL EXISTING MATERIAL FROM AROUND ROOT BALL. REMOVE BURLAP AND SOPE FROM TOP 1/3 OF ROOT BALL.

TREE SHALL BE PLUMB AND CENTERED IN THE HOLE. DID NOT TO DEPTH OF ROOT BALL AND POSITION DALL ON UNDISTURBED SUBGRADE. PLACE TOP OF ROOT BALL NO MORE THAN 1" ABOVE EXISTING GRADE. TOP OF ROOT BALL SHALL NOT BE PLACED ON FINISHED GRADE.

PLANTING DETAIL: 1 1/2" - 2 1/2" CAL. NO SCALE

LOC. ORDINANCE REQUIRED LANDSCAPE NOTES:

- GRASS OR GROUND COVER SHALL BE PLANTED ON ALL PORTION OF THE LANDSCAPE BUFFER AREA (SHOWN) OCCUPIED BY OTHER LANDSCAPE MATERIAL.
- THE GROUND PLANE OF ALL EXTERIOR LANDSCAPE AREAS SHALL BE PLANTED USING EITHER ST. TURF, GRASS/SEDGE, OR TURF.
- EXISTING TREES AND PLANT MATERIAL ARE BEING USED TO MEET LANDSCAPE CODE REQUIREMENTS. IF ANY TREES OR SCREENING VEDICATION DIE OR ARE REMOVED THEY WILL BE REPLACED AS PER THE LANDSCAPE CODE REQUIREMENTS. (IF APPLICABLE)
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERMANENTLY MAINTAIN ALL LANDSCAPE AREAS AND ASSOCIATED PLANT MATERIAL REQUIRED UNDER LAND DEVELOPMENT CODE REGULATIONS. THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE URGED AND ASSOCIATED TREES WITHIN THE URGED (UNLESS THE AGENCY HAVING JURISDICTION OVER THAT URGED AGREES THAT OTHERWISE).
- ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEDUCTIBLE PLANT MATERIAL SHALL BE REPLACED WITHIN THREE (3) MONTHS.
- ALL PLANT MATERIAL LOCATED WITHIN A UTILITY easement THAT IS DAMAGED OR REMOVED DUE TO WORK REQUIRED BY THE UTILITY COMPANY SHALL BE IMMEDIATELY REPLACED BY THE OWNER IN ACCORDANCE WITH LAND DEVELOPMENT CODE CHAPTER 10 REQUIREMENTS.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER DISTANCES.
- ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH LAND DEVELOPMENT CODE CHAPTER 10, SECTION 10.2.6 AND 10.4.9. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: FUEL-TANKS, EQUIPMENT, HVAC UNITS, ELECTRIC TRANSFORMERS, TELECOM BOWERS, ETC.
- SCREENING STRUCTURES, SIGNAGES, ETC. SHALL NOT OCCUPY MORE THAN ONE (1) ANY UTILITY LANDSCAPE AREA (OR EXCEED THE WIDTH OF ANY PLANTING AREA TO LESS THAN 4 FEET). CONTRACTOR SHALL COORDINATE LIGHT POLE LOCATIONS WITH LANDSCAPE PLAN APPROVED. TREE PLANTING TO BE IN ACCORDANCE WITH LANDSCAPE CODE.
- IRRIGATION SHALL BE PROVIDED AS REQUIRED; WHERE BOWERS OR EXISTING MATERIALS ARE PROPOSED. THIS IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ADEQUATE WATERING OF THE PROPOSED PLANT MATERIAL AND LAWN AREAS. THE SYSTEM SHALL CONSIST OF SEVERAL WATERING ZONES CONTROLLED BY A CENTRAL TIME WITH FIVE (5) POP-UP AND INSTANT REGENERATION HEADS OR A Drip IRRIGATION. THE PROPOSED SYSTEM SHALL BE INSTALLED PRIOR TO PLANTING, IF APPLICABLE.

LANDSCAPING NOTES

- MULCH AND/OR GRAVEL MULCH SHALL BE CONTIGUOUS TO EDGE OF LANDSCAPE AREAS. ALSO INSTALL MULCH UNDER ALL PLANTS.
 - PROVIDE WIPED BARBER LINDER GRAVEL MULCH APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES.
 - PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH / WIDTH OF PLANTING HOLE, AND SOIL AMENDMENTS.
 - ALL PLANTINGS SHOWN ON THE APPROVED PLAN MUST BE PERMANENTLY MAINTAINED IN GOOD GROWING CONDITION AND REPLACED WITH NEW PLANT MATERIALS WHEN NECESSARY TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- TREE SPACING CALCULATIONS**
- CONTRACTOR IDENTIFY TREE REQUIREMENTS PLANTING BETWEEN C/N 4 U/N FORMING PROPERTY AT THE FOLLOWING LIMITATIONS:
- 3 CANOPY TREES ALONG SOUTHWEST SIDE PROPERTY LINE

LANDSCAPE PLANTING SCHEDULE						
NO.	NATURAL SPECIFIC NAME	NATURAL COMMON NAME	VARIETY	QUANTITY	PLANTING DATE	REMARKS
1	CRATAEGUS TOMENTOSA	HONEYLOCUST	SPERMATOPHYTES	3	10/2024	SEE NOTES

LOC: 26-LANDSCAPE-0061

NOTICE

The Associated sign does not define the scope of individual trades, subcontractors, material suppliers, or vendors. Any alert warning system used on vehicles designed as safety for the Association's governance, and is not intended to define a subcontractor's scope of work. Information regarding material handling, subcontractors, material suppliers, and vendors may be obtained, determined and included at all relevant locations throughout these documents. No consideration will be given to requests for exceptions to any feature to obtain any Received 6/4/26

RENAISSANCE DESIGN BUILD, INC.
1012 S. Fourth Street
Louisville, KY 40203
Tel: 502-424-8373
www.rdbi-inc.com

LANDSCAPING PLAN
PORTLAND BOXING ACADEMY
2111 LYTLE STREET
LOUISVILLE, KENTUCKY 40212

DATE: JUN 01, 2024
DRAWN BY: J. DURALL
CHECKED BY: K. RILEY
APPROVED BY: N. GRIMES

REVISIONS:
1. REV A 06-03-2024

JOB NO.: 2024-036

SHEET NUMBER:
CI.0

JUSTIFICATION

To justify approval of any waiver, the Board or Commission considers the following criteria.

Please answer **ALL** of the following items. Use additional sheets if needed. Responses of **Yes, No, or N/A** will **NOT** be accepted.

1. Is the waiver in compliance with the Comprehensive Plan?

Yes, the owner is providing landscaping along Lytle Street planting buffer as required and there is a property line 6' fence around the entire property.

2. Have you made a good faith effort to provide as many trees as possible on the site, on the adjacent right of way, or on an alternative site as specified in Section 10.1.3?

Yes, the owner does have landscaping on the site to meet the requirements along the buffer zone along with a 6' perimeter fence.

3. Are there other mitigating circumstances affecting this site which do not generally apply to sites developed for the same use and in the same form district?

The construction for the ILA would be more disruptive to the surrounding properties and the parking lot is gravel only. There is a perimeter 6' fence around the property and the buffer zone landscaping is provided where required.



Louisville Metro Government

Text File

File Number: 26-WAIVER-0077

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 7.



26-WAIVER-0077

Development Review Committee
Staff Report
July 15, 2026

Echo Trail Subdivision Signature Entrance

Location: 2405 Echo Trail
Applicant: Long Run Creek Properties
Representative: Mindel Scott
Jurisdiction: Louisville Metro
Council District: 11 – Kevin Kramer
Case Manager: Catherine Gomez, Planner I

REQUEST & RECOMMENDED ACTION

1. Waiver of Land Development Code Section 3.1.3.I.3 to permit a signature entrance to exceed the maximum height of 6 feet located along a designated scenic corridor within the Floyd's Fork Special Zoning Overlay.
 - Staff finds the justification for the request is not adequate and recommends the Development Review Committee **DENY** the Waiver.

CASE SUMMARY

The subject site is currently zoned R-4 Single Family Residential and is in the Neighborhood Form District, within the boundaries of the Floyd's Fork Special Zoning Overlay. The applicant is proposing a 14-foot-tall signature entrance sign along Echo Trail, which is a designated scenic corridor. The portion of the sign with the subdivision name is 7 feet wide and 3 feet in height, however, the structure holding the sign in place is 14 feet tall and approximately 16 feet wide.

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Land Development Code (Louisville Metro 2025)

STANDARD OF REVIEW AND STAFF ANALYSIS FOR THE WAIVER

(a) The waiver will not adversely affect adjacent property owners; and

STAFF FINDING: The requested waiver will not adversely affect adjacent property owners as the proposed sign will be setback 17 feet from the right-of way. Additionally, the 2 closest dwellings to the sign are 200 feet and 225 feet away.

(b) The waiver will not violate specific guidelines of Plan 2040;

STAFF FINDING: Community Form Goal 1 Policy 2 states that we should use the patterns of development described as community forms in reviewing proposals for zoning or Form District changes and land development decision making, especially for any pattern or form of development that is appropriate for an area within a special district such as Floyds Fork, the Ohio River or Jefferson Memorial Forest. Community Form Goal 1 Policy 7 states the standards and regulations for Special Districts to preserve sites that have designated natural and historic features and ensure that new land uses do not have a negative impact. Community Form Goal 1, Policy 14 ensures that signs are compatible with the Form District pattern and contribute to the visual quality of their surroundings. Promote signs of a size and height adequate for effective communication and conducive to motor vehicle safety. Encourage limiting freestanding signs to monument style signs unless such design would unreasonably compromise sign effectiveness. Give careful attention to signs in historic districts, parkways, scenic corridors, design review districts and other areas of special concern. Mobility Goal 2 Policy 9 encourages the preservation of important cultural resources, landscapes and scenic vistas in the design, maintenance and development of major thoroughfares and parkways and scenic corridors. This property is in the Floyds Fork Special Zoning Overlay, which sets specific restrictions on monument sign sizes. The proposed sign's height is excessive and does not meet the intended regulations set forth by the Comprehensive Plan and Land Development Code.

(c) The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant

STAFF FINDING: The extent of the waiver of the regulation is not the minimum necessary to afford relief to the applicant since the height of the message portion of the sign is not exceeding 6 feet in height, only the structure holding the sign is. If the proposed column were reduced to meet the height of the subdivision sign, then the waiver would be justified, however, that is not what the applicant is proposing.

(d) The waiver or modification will not adversely impact the health of the waterways of the Floyds Fork Special Zoning Overlay District.

STAFF FINDING: The proposed monument sign will not adversely impact on the health of the Floyds Fork waterways since the sign will not be near Floyds Fork or its corresponding tributaries.

(e) The waiver of modification will not adversely impact the visual quality of the waterways or designated Floyds Fork Special Zoning Overlay scenic corridor.

STAFF FINDING: The waiver will have an impact on the visual quality of the designated Floyds Fork Special Zoning Overlay scenic corridor by not preserving the scenic vista and landscape of Echo Trail, which is a designated scenic corridor. The purpose of the Floyds Fork Special Zoning Overlay District is to protect the quality of the natural environment by promoting compatible development of land and structures. One of the District's primary objectives is to respect the high-quality visual

character of the area. The excessive height of the monument sign would have a negative effect on the visual quality of the scenic corridor and does not promote compatible land development. The proposed monument sign would have been permitted outside of this District, however, the Comprehensive Plan and Land Development Code hold development to a higher standard to maintain the purpose and objectives of the District.

(f) Either: (i) The applicant has incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect); OR (ii) The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

STAFF FINDING: The strict application of the provisions of the regulation would not deprive the applicant of reasonable use of land or would create an unnecessary hardship on the applicant. The applicant is permitted to have a signature entrance sign that is 6 feet in height along the scenic corridor. The applicant has set the sign back from the right of way a significant amount to not impede motor vehicle safety.

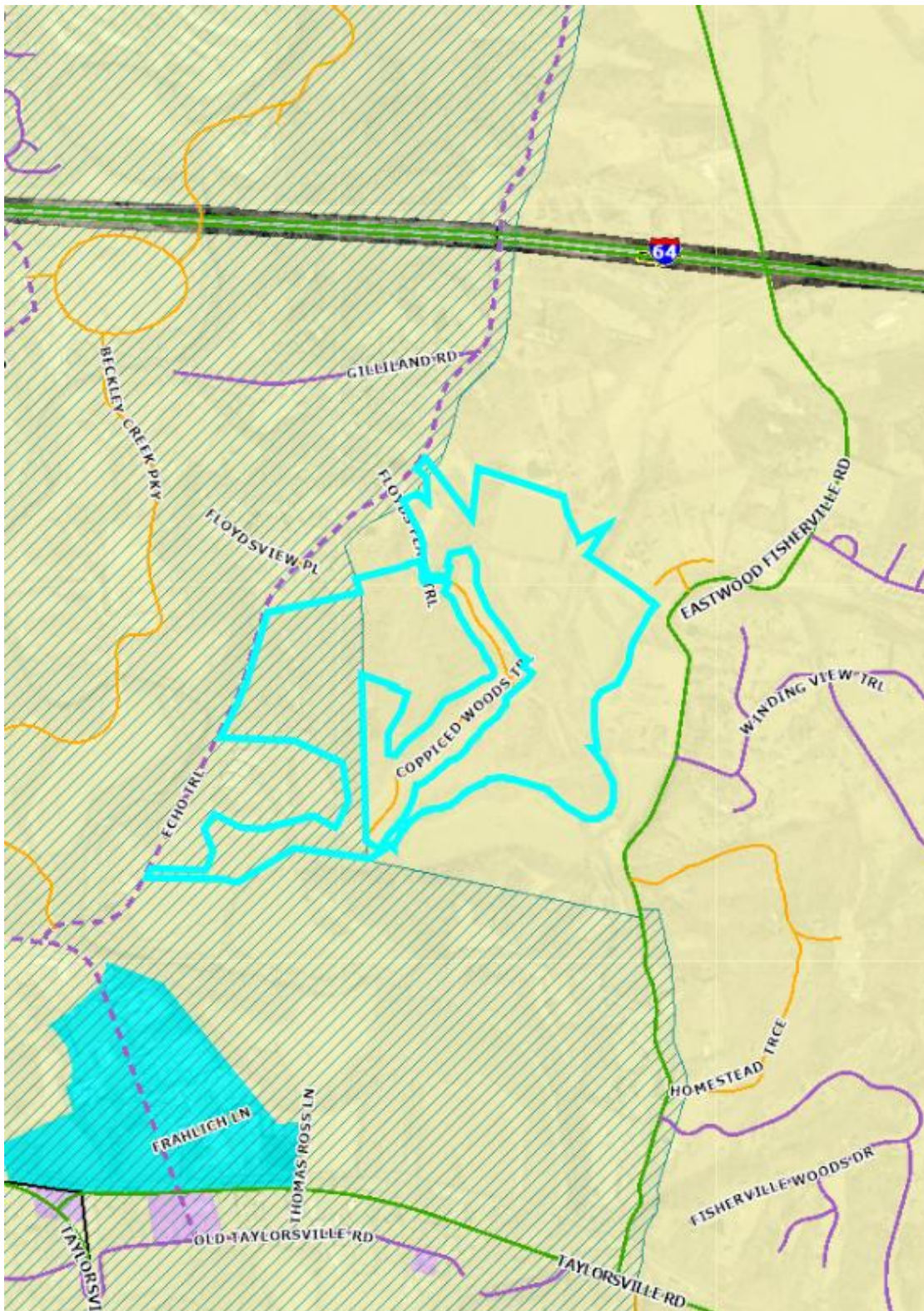
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/30/2026	Development Review Committee Hearing	1 st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 11

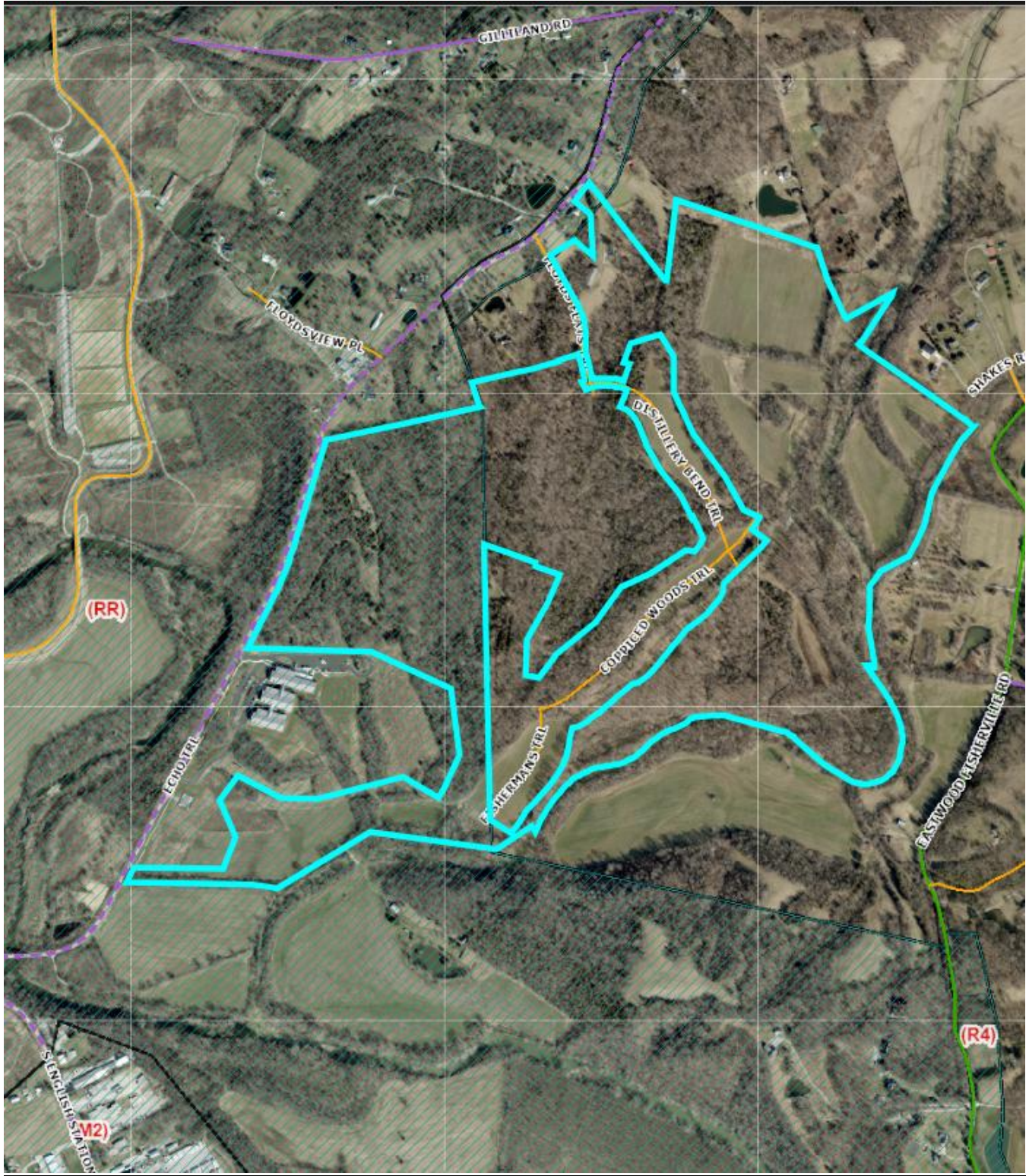
ATTACHMENTS

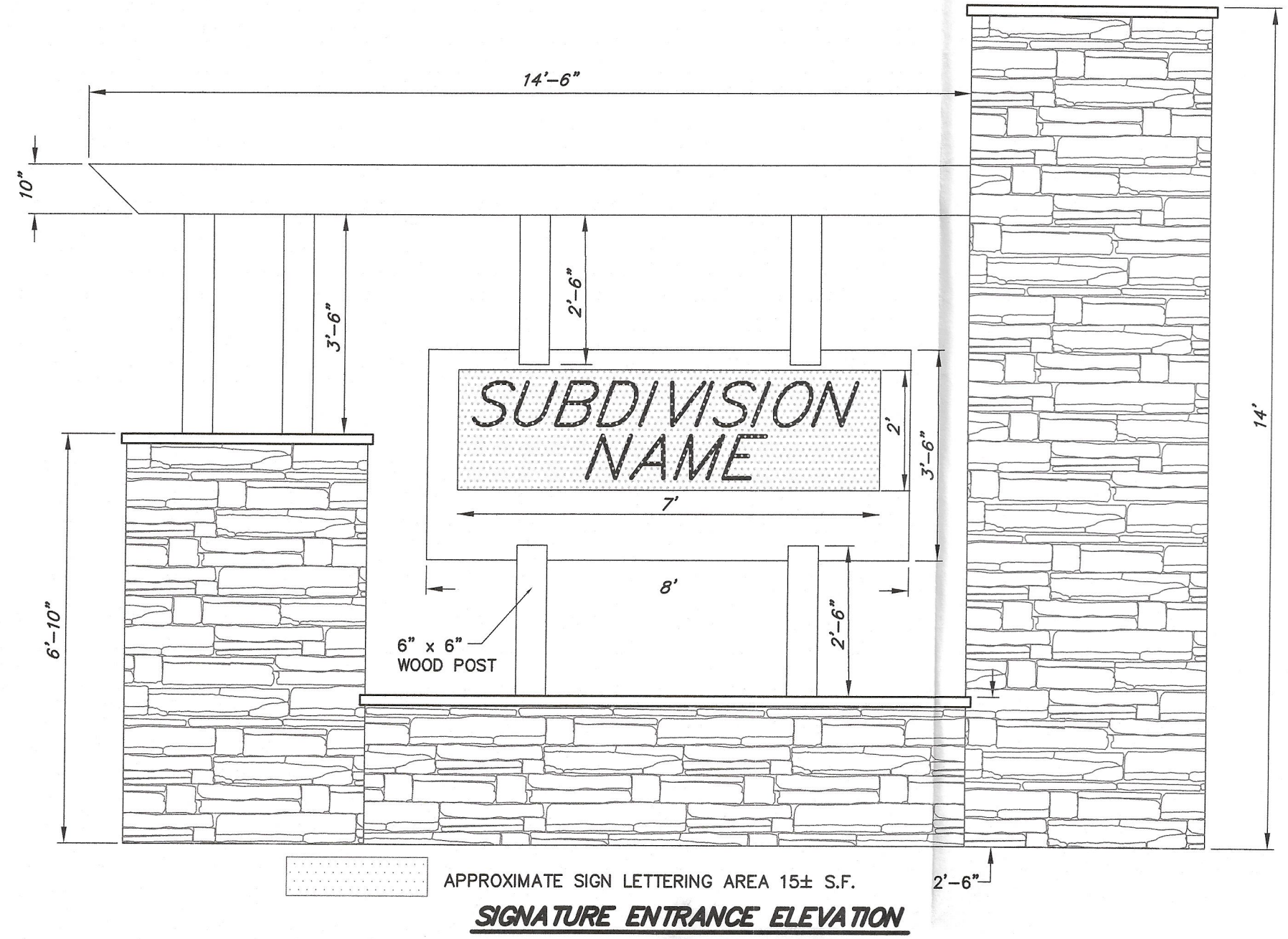
- 1. Zoning Map
- 2. Aerial Photograph

1. **Zoning Map**

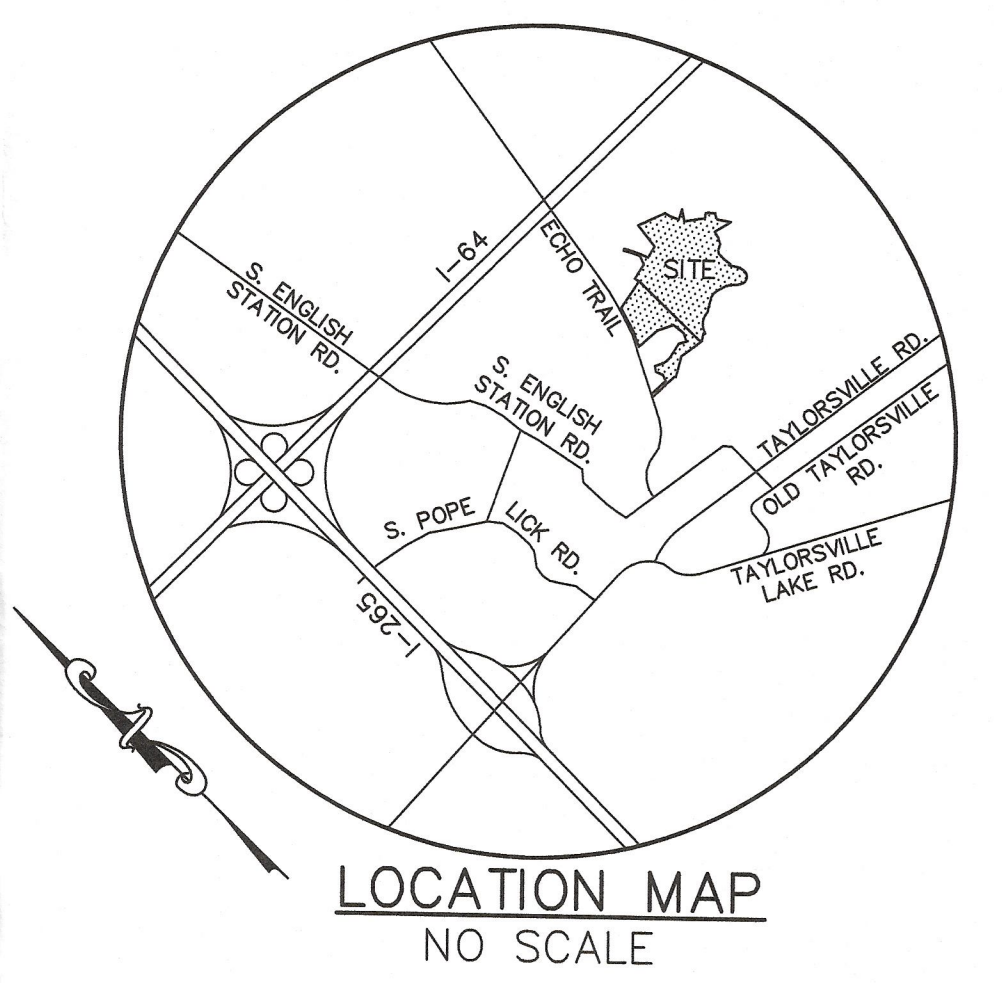


2. Aerial Photograph





NOTES:
1. FINAL NAME AND SIGN DESIGN TO BE SELECTED BY OWNERS.
2. SIGN NOT TO EXCEED 15 S.F.



LEGEND

XXXX	EXISTING CONTOUR
+XXXXXXX	EXISTING SPOT ELEVATION
X	EXISTING FENCE
---	EXISTING TOP OF BANK
---	EXISTING TOE OF SLOPE/DITCH
⊙	EXISTING SANITARY MANHOLE
⊕	EXISTING FORCEMAIN
⊗	ROCK SOUNDING LOCATION
XXXI	PROPOSED CONTOUR
→	PROPOSED STREET SIGN
⊕	PROPOSED FIRE HYDRANT
⊗	EXISTING TREE MASS

SECTION 1 SITE DATA:

FORM DISTRICT	R-4
EXISTING ZONING	NEIGHBORHOOD
EXISTING LAND USE	VACANT
PROPOSED LAND USE	SINGLE-FAMILY RESIDENTIAL
GROSS LAND AREA	13.25± AC.
NET LAND AREA	8.55± AC.
GROSS DENSITY	3.70 D.U./AC.
NET DENSITY	5.73 D.U./AC.
NUMBER OF LOTS	57

EXISTING CONDITIONS NOTES

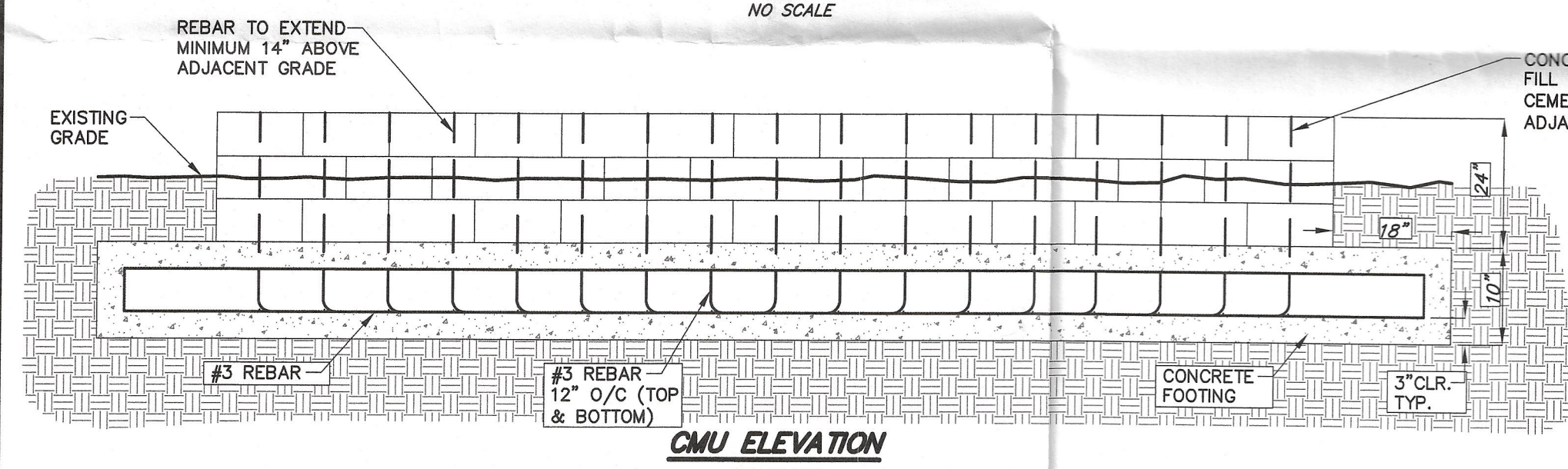
- ALL UTILITIES SHOWN HEREON WERE DERIVED FROM UTILITY MAPPING AND/OR FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.
- TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN DERIVED FROM LOGIC MAPPING, LIDAR MAPPING, DRONE AERIAL PHOTOGRAMMETRY SURVEY, AND/OR FIELD TOPOGRAPHIC SURVEY.
- NO ROCK SOUNDINGS WERE PERFORMED AND MINDEL SCOTT MAKES NO REPRESENTATION OF SUBSURFACE CONDITIONS.
- DEPTHS OR ELEVATIONS OF REFUSAL FOR SOUNDINGS OR BORINGS IS PER INFORMATION PROVIDED BY THE DRILLER.

UTILITY NOTE:

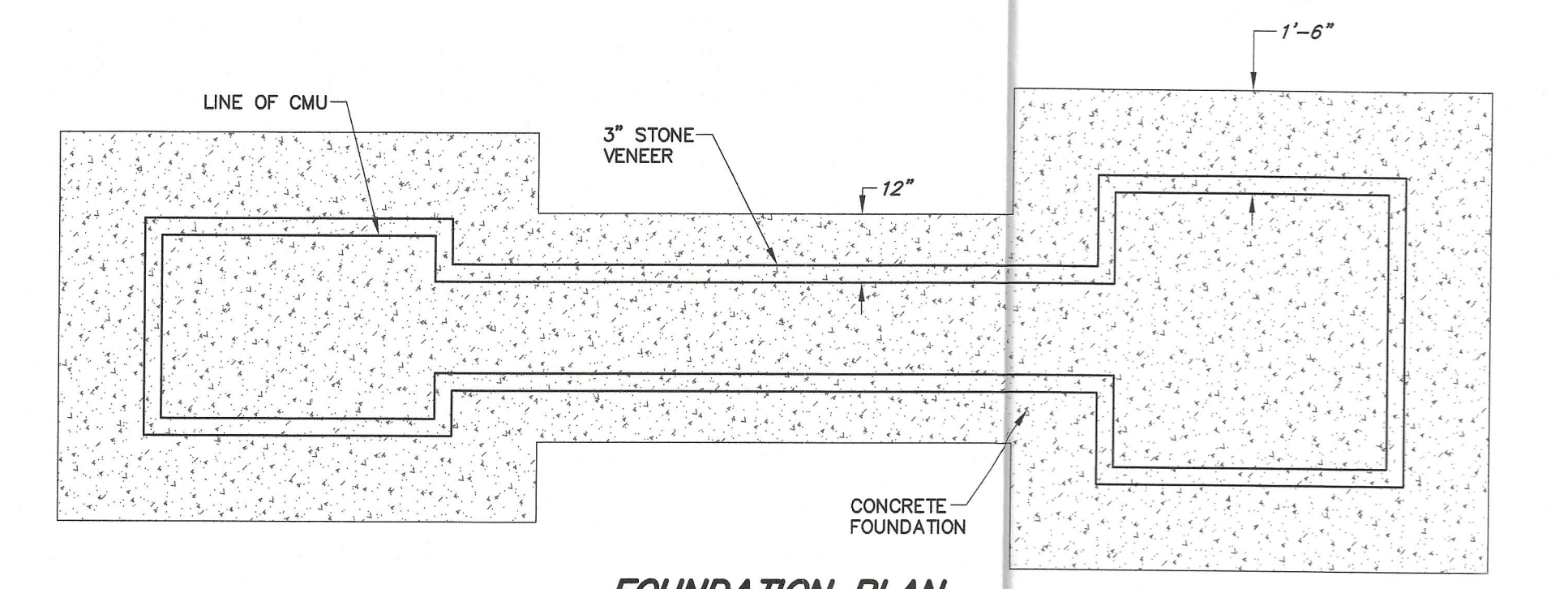
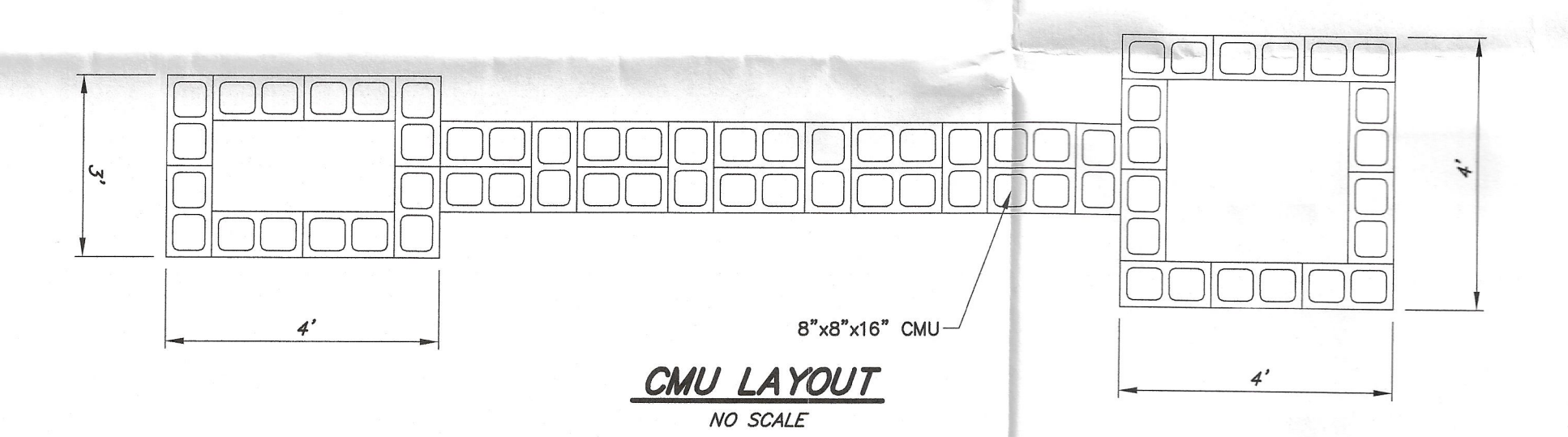
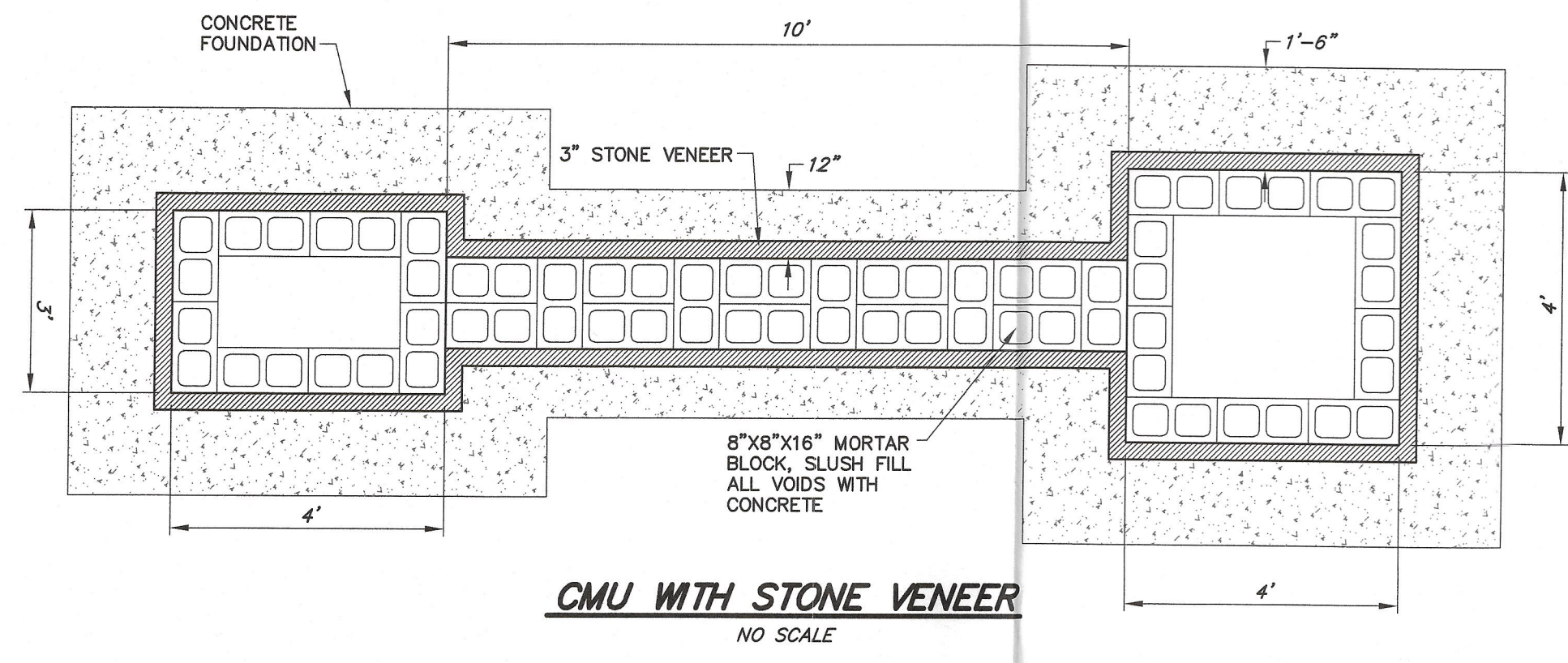
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). WHEN CONTACTING THE KENTUCKY 811 CALL CENTER, PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED MSD SENIOR OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATION AND SPECIAL PROVISIONS.

ENTRANCE WALL NOTES

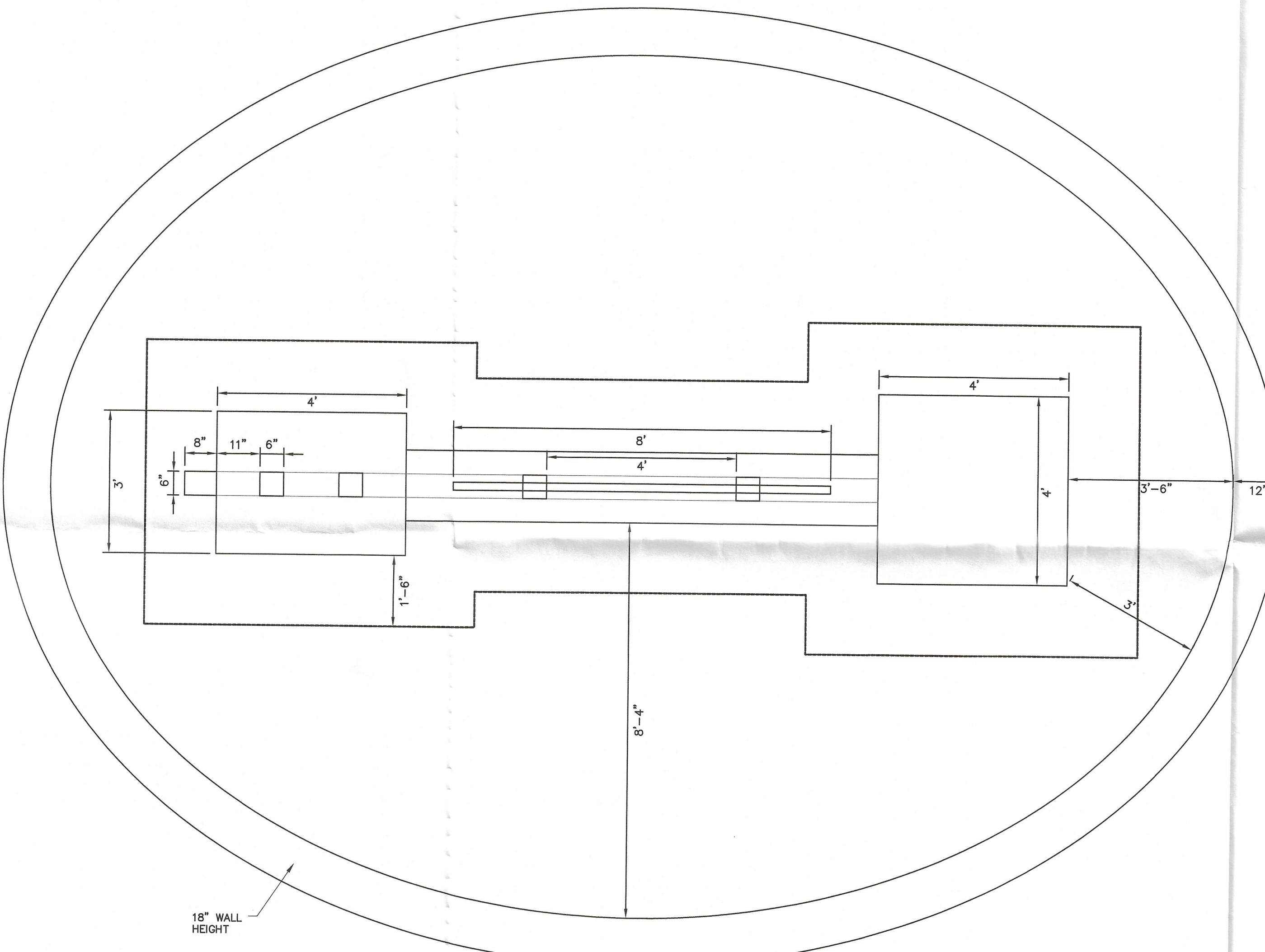
- THE ENTRY WALL SHALL NOT EXCEED 14' IN HEIGHT.
- LOCATION OF ENTRANCE WALL, FENCE AND SIGN SHALL NOT BE CONSTRUCTED IN ANY PUBLIC RIGHT-OF-WAY.
- THE ENTRY WALL MAY BE FIELD ADJUSTED TO AVOID CONFLICT WITH ANY EXISTING WATER METERS, GAS METERS, OR UNDERGROUND UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES BEFORE DIGGING ANY FOOTERS.
- LOCATION OF EXISTING AND PROPOSED UTILITIES SHOWN ON THIS PLAN ARE REPRESENTATIONAL AND NOT ACTUAL.
- THE CONTRACTOR SHALL PROVIDE VARIOUS IRRIGATION HEADS TO PROVIDE COMPLETE COVERAGE OF SODDED AREAS AND ALL PLANTING AREAS INSTALLED BY THE CONTRACTOR. THE AREAS OF COVERAGE INCLUDE BOTH ENTRANCE WALL MULCH BED AREAS. IRRIGATION SHALL BE ON A TIMER AS REQUIRED BY OWNER.
- THE CONTRACTOR SHALL LOCATE ALL ELECTRIC METERS, IRRIGATION CONTROL PANELS, BACKFLOWS, PUMPS, ETC. PER THE OWNER/DEVELOPER.
- LANDSCAPE LIGHTING TO BE PLACED AS NOTED PER TYPICAL STANDARDS OF ENTRANCES PREVIOUSLY CONSTRUCTED BY OWNER/DEVELOPER. COST TO INCLUDE ALL LABOR AND MATERIALS INCLUDING ANY PERMITS, FEES, INSPECTIONS OR OTHER WORK RELATED TO SETTING THE METER.
- ALL AREAS NOT SODDED ARE TO BE FINE GRADED AND SEEDED. ADDITIONALLY, ANY AREAS DISTURBED BY THIS WORK SHALL ALSO BE FINE GRADED AND SEEDED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING/COORDINATING ALL PLANTINGS WITH APPROVED LANDSCAPE PLAN.
- WALL CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OWNER/DEVELOPER.
- FOR LANDSCAPE PLANTING INFORMATION SEE APPROVED LANDSCAPE PLAN.
- THE CONTRACTOR SHALL CALL KENTUCKY 811 TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- CONTRACTOR TO STAKE ENTRANCE IDENTIFICATION MONUMENT LOCATIONS AND CONTACT THE OWNER FOR FINAL APPROVAL PRIOR TO CONSTRUCTION.



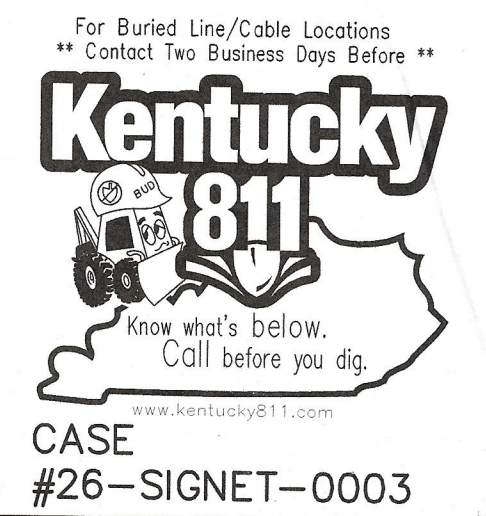
CONCRETE MASONRY UNIT. SLUSH FILL ALL VOIDS WITH CONCRETE CEMENT (TYP.) (16" ABOVE ADJACENT GRADE MINIMUM)



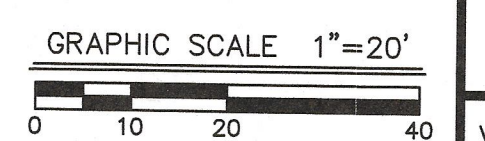
NOTES:
1. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY OF ENTRY MONUMENT AND ADD STEEL REINFORCEMENT AS NEEDED. CONTRACTOR TO COORDINATE FINAL DESIGN DETAILS WITH DEVELOPER.



NOTES:
1. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY OF ENTRY MONUMENT AND ADD STEEL REINFORCEMENT AS NEEDED. CONTRACTOR TO COORDINATE FINAL DESIGN DETAILS WITH DEVELOPER.



CASE #26-SIGNET-0003



Vertical Scale: N/A
Horizontal Scale: 1"=20'
Date: 11/21/2025
Job Number: 3334-710
Sheet 1 of 1

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502-485-1508 > MindelScott.com

DEVELOPER
LONG RUN CREEK TRAIL, LLC
PROPERTIES, LLC
3911 WILDERNESS TRAIL 4515 BISHOP LN STE A
LOUISVILLE, KY 40299 LOUISVILLE, KY 40218
502-664-7445
502-254-0707

OWNER
LONG RUN CREEK TRAIL, LLC
PROPERTIES, LLC
3911 WILDERNESS TRAIL 4515 BISHOP LN STE A
LOUISVILLE, KY 40299 LOUISVILLE, KY 40218
502-664-7445
502-254-0707

FORM DISTRICT R-4
EXISTING ZONING NEIGHBORHOOD
EXISTING LAND USE VACANT
PROPOSED LAND USE SINGLE-FAMILY RESIDENTIAL
GROSS LAND AREA 13.25± AC.
NET LAND AREA 8.55± AC.
GROSS DENSITY 3.70 D.U./AC.
NET DENSITY 5.73 D.U./AC.
NUMBER OF LOTS 57

SIGNATURE ENTRANCE PLAN
ECHO TRAIL SUBDIVISION
SECTION 1
2405 ECHO TRAIL, LOUISVILLE, KY 40245
T.B. 0041, LOT 0199, D.B. 11726, PG. 341

Revisions

09/11/25	AGENCY COMMENTS	
06/08/26	OWNER APPLICATION	

Vertical Scale: N/A
Horizontal Scale: 1"=20'
Date: 11/21/2025
Job Number: 3334-710
Sheet 1 of 1



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DATE: June 8, 2026

Justification for Waiver of LDC section 3.1.3.I.3 to allow a wall up a signature entrance sign to exceed 6' in height for a total of 14'

Project Name: Echo Trail Subdivision Section 1
Address: 2405 Echo Trail Louisville, KY 40245

The waiver will not adversely affect adjacent property owners since the two closest dwellings to the sign are 200' and 225' away.

Community Form goal 1, policy 14 calls to ensure that signs are compatible with the Form District pattern and contribute to the visual quality of their surroundings, to promote signs of a size and height adequate for effective communication and conducive to motor vehicle safety, and to give careful attention to signs in historic districts, parkways, scenic corridors, design review districts and other areas of special concern. The purpose of the Floyds Fork Overlay District is to protect waterways, integrate development into the natural environment, preserve hillsides and valleys, and respect the high-quality visual character of the area. The waiver will not violate the goals, objectives, and policies of Plan 2040, and it furthers the goals and intent of the Floyds Fork Overlay District since the sign will incorporate natural materials into the design to be compatible with the scenic nature of the corridor.

The extent of the waiver of the regulation is the minimum necessary to afford relief since the sign area and height are proposed to provide adequate and effective communication for motor vehicle safety, and since the sign will incorporate natural materials into the design to be compatible with the scenic nature of the corridor.

The applicant is incorporating natural materials in the design to be compatible with the scenic nature of the corridor that exceeds the minimum requirement and compensates with non-compliance. Furthermore, the strict application of the provision would create an unnecessary hardship since similar signature entrances are permitted in other subdivisions, and since the applicant is incorporating natural materials in the design to be compatible with the scenic nature of the corridor.

The waiver will not adversely impact the health of the waterways of the Floyds Fork Special Zoning Overlay District since the sign is not near the Floyds Fork or its tributaries, and since the sign will have virtually no impact on water quality in the area.

The waiver will not adversely impact the visual quality of the waterways or designated Floyds Fork Special Zoning Overlay scenic corridor since the sign will incorporate natural materials into the design to be compatible with the scenic nature of the corridor.

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26-WAIVER-00717





Louisville Metro Government

Text File

File Number: 26-DDP-0016

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 8.



26-DDP-0016

Development Review Committee
Staff Report
July 15, 2026

Middletown Acquisition LLC

Location: 209 N English Station Road
Applicant: Louisville Water Company
Representative: Milestone Design Group
Jurisdiction: Middletown
Council District: 19 – Anthony Piagentini
Case Manager: Sydney Fawcett, AICP, Planner I

REQUESTS & RECOMMENDED ACTIONS

1. **26-WAIVER-0062:** Waiver of Middletown Land Development Code Section 10.2.4.B to allow a utility easement to encroach more than 50% into a property perimeter Landscape Buffer Area
 - Staff finds the justification for the request is adequate and recommends the Development Review Committee **RECOMMEND** that the City of Middletown **APPROVE** the Waiver
2. Detailed District Development Plan with Binding Elements
 - Staff finds the justification for the request is adequate and recommends the Development Review Committee **RECOMMEND** that the City of Middletown **APPROVE** the Detailed District Development Plan

CASE SUMMARY

The subject site is approximately 13.4 acres zoned PEC Planned Employment Center in the Suburban Workplace form district. The subject site is located at the intersection of Data Vault Drive and N. English Station Road west of I-265. The applicant is proposing to construct a 159,863 square foot commercial and warehouse development with 199 associated parking spaces. Since the property is zoned PEC Planned Employment Center, additional landscape buffers are required along the rear and side property lines. However, the required landscape buffer is entirely within an existing drainage easement. In order to provide the landscape buffer and required plantings within the easement, the applicant must obtain a waiver.

Case History

- **23-ZONE-0070:** Change in zoning from R-4 Single-Family Residential and C-1 Commercial to PEC Planned Employment Center and C-1 Commercial with General District Development Plan

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Middletown Land Development Code (2004)
- MSD has provided preliminary approval.
- Transportation Planning has provided preliminary approval.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR 26-WAIVER-0062

(a) The waiver will not adversely affect adjacent property owners; and

STAFF FINDING: The waiver will not adversely affect adjacent property owners as the applicant will still be required to obtain an approved landscape plan and provide trees on site. The required 15-foot PEC Planned Employment Center Landscape Buffer Area (LBA) and associated plantings will be provided along the southern and eastern property lines.

(b) The waiver will not violate specific guidelines of Plan 2040;

STAFF FINDING: The waiver will not violate specific guidelines of Plan 2040. Plan 2040 Community Form Goal 1 Policy 4 ensures new development and redevelopment are compatible with the scale and site design of nearby existing development and with the desired pattern of development within the Form District. The surrounding developments have varying landscape buffers. The existing drainage easement prevents the applicant from providing the required PEC landscape buffer without requesting a waiver.

(c) The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant

STAFF FINDING: The extent of the waiver of the regulation is the minimum necessary to afford relief to the applicant as the drainage easement is an existing condition of the subject property. The applicant is able to provide the required plantings within the easement to provide additional screening to the adjacent properties and I-265.

(d) Either: (i) The applicant has incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect); OR (ii) The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

STAFF FINDING: The strict application of the provisions of the regulation would create an unnecessary hardship on the applicant as properties with similarly intense zoning districts would not typically require a landscape buffer area. The 15 foot landscape buffer area is required for properties zoned PEC Planned Employment Center regardless of the surrounding zoning districts.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR DETAILED DISTRICT DEVELOPMENT PLAN AND AMENDMENT TO BINDING ELEMENTS

- a. *The conservation of natural resources on the property proposed for development, including: trees and other living vegetation, steep slopes, water courses, flood plains, soils, air quality, scenic views, and historic sites;*

STAFF FINDING: There do not appear to be any environmental constraints or historic resources on the subject site. Tree canopy requirements of the Land Development Code will be provided on the subject site.

- b. *The provisions for safe and efficient vehicular and pedestrian transportation both within the development and the community;*

STAFF FINDING: Provisions for safe and efficient vehicular and pedestrian transportation within and around the development and the community has been provided. Metro Public Works have provided preliminary plan approval for the plan.

- c. *The provision of sufficient open space (scenic and recreational) to meet the needs of the proposed development;*

STAFF FINDING: There are no open space requirements for the proposed development.

- d. *The provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community;*

STAFF FINDING: The Metropolitan Sewer District has preliminarily approved the development plan and will ensure the provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community.

- e. *The compatibility of the overall site design (location of buildings, parking lots, screening, landscaping) and land use or uses with the existing and projected future development of the area;*

STAFF FINDING: The overall site design and land uses are compatible with the existing and future development of the area. Appropriate screening will be provided to screen adjacent properties and roadways. Buildings and parking lots will meet all required setbacks.

- f. *Conformance of the development plan with the Comprehensive Plan and Land Development Code. Revised plan certain development plans shall be evaluated for conformance with the non-residential and mixed-use intent of the form districts and comprehensive plan.*

STAFF FINDING: The development plan conforms to applicable guidelines and policies of the Comprehensive Plan and to requirements of the Land Development Code. Plan 2040 characterizes Suburban Workplace as predominantly industrial and office uses where the buildings are set back from the street in a landscaped setting. In order to provide adequate transportation access in suburban workplaces, connected roads, public transportation, and pedestrian facilities should be encouraged. Community Form Goal 1 Policy 4 calls to ensure new development and redevelopment are compatible with the scale and site design of nearby existing development and with the desired pattern within the Form District. Quality design and building materials should be promoted to enhance compatibility of development and redevelopment projects. Community Form Goal 1 Policy 11 advocates for setbacks, lot dimensions, and building heights are compatible with those of nearby developments that meet Form District guidelines. The proposal demonstrates compatibility in terms of scale and height with adjacent developments.

Community Form Goal 1 Policy 12 seeks to ensure that parking, loading and delivery is adequate and convenient for motorists and does not negatively impact nearby residents or pedestrians. The proposal provides access to off-street parking via a variable access easement along the west property line and Data Vault Drive along the northern property line. Aside from the requested waiver, the development plan conforms to applicable guidelines and policies of the Comprehensive Plan and to the requirements of the Land Development Code.

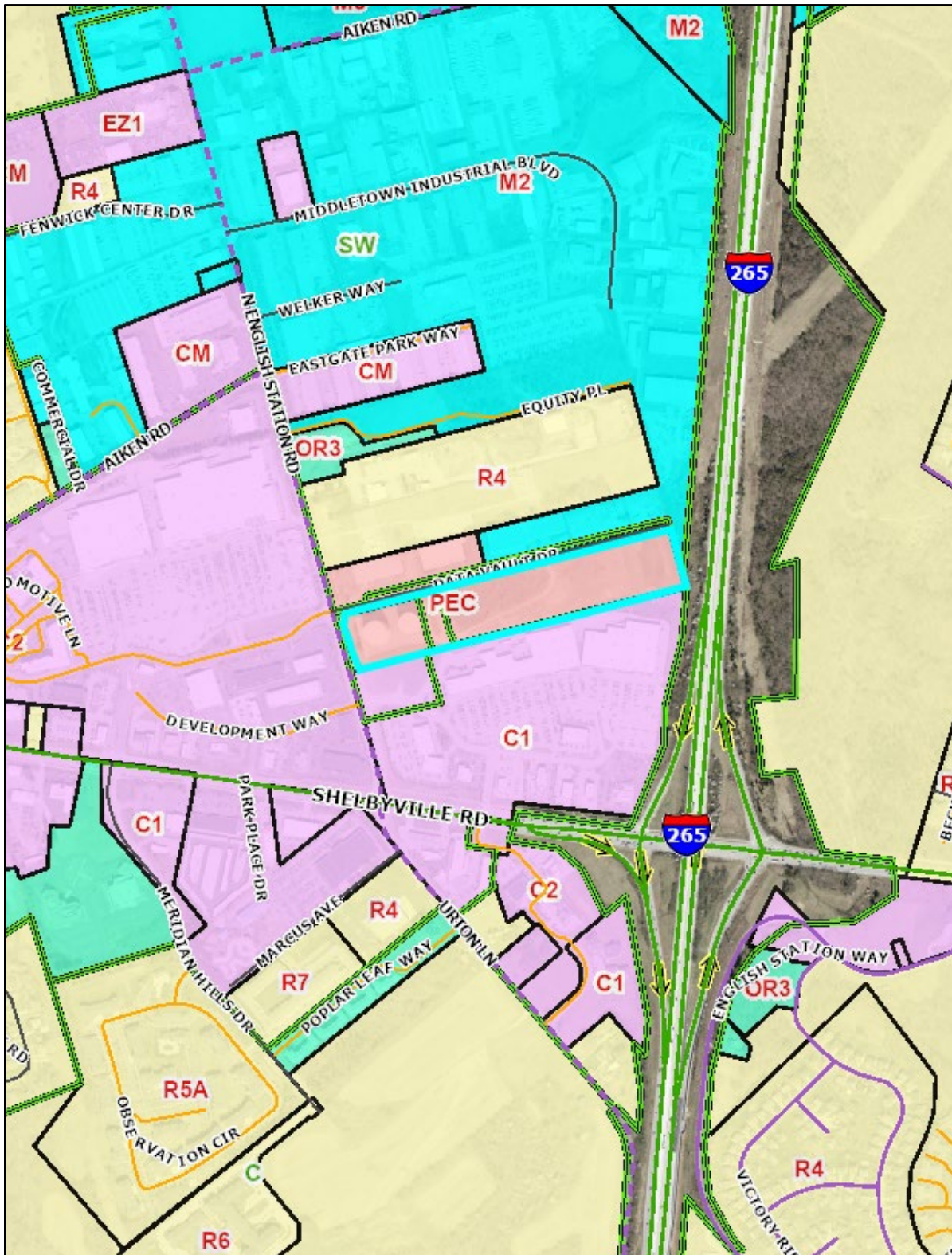
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/30/2026	Development Review Committee Public Hearing	1st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 19

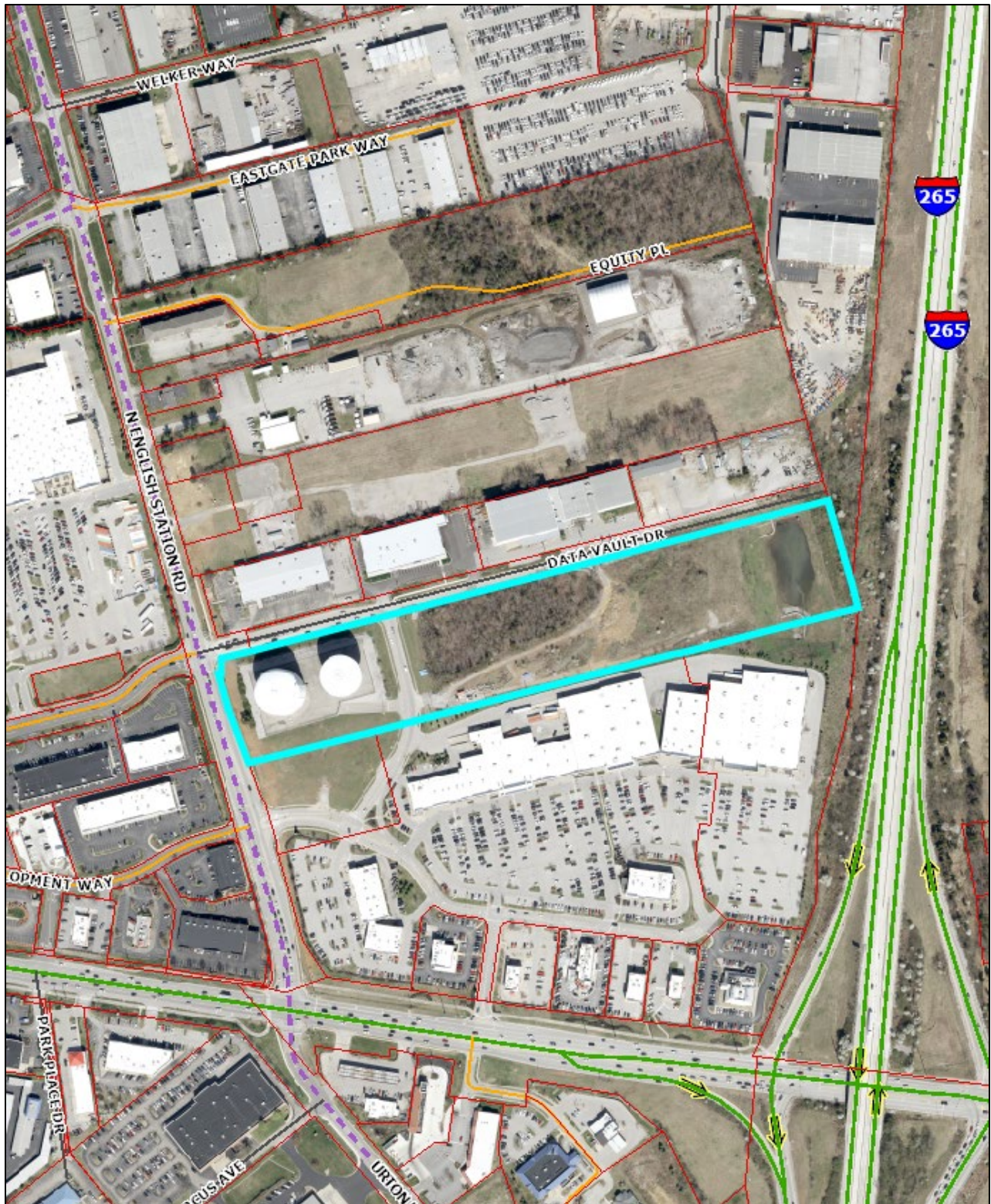
ATTACHMENTS

1. Zoning Map
2. Aerial Photograph
3. Proposed Binding Elements

1. ZONING MAP



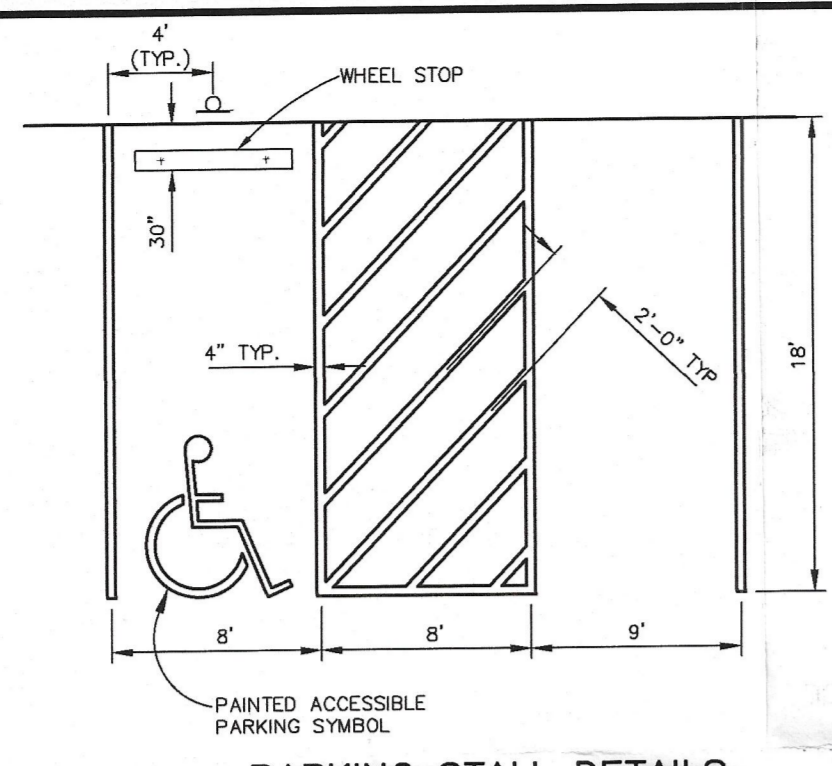
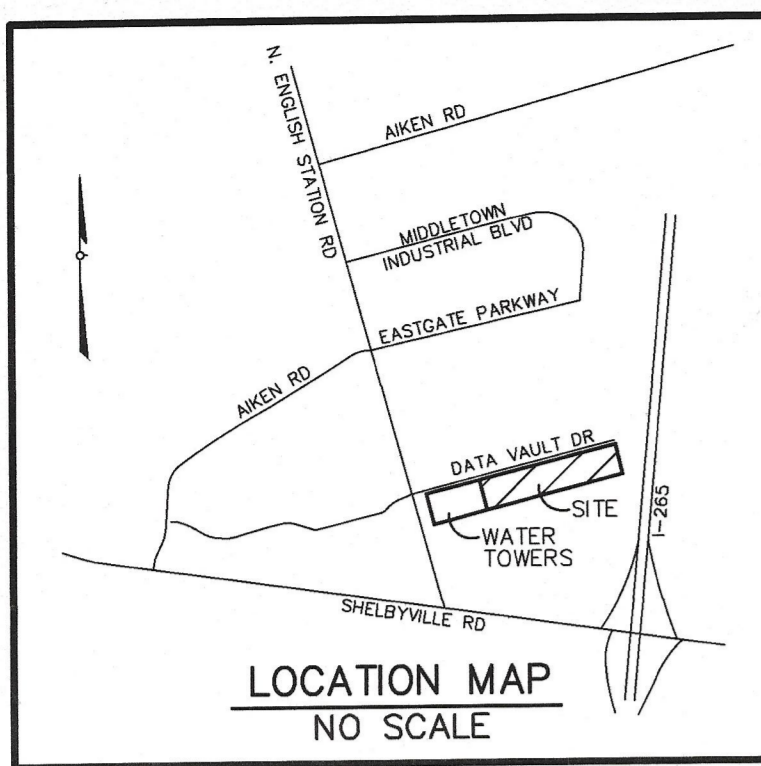
2. AERIAL PHOTOGRAPH



3. PROPOSED BINDING ELEMENTS

All binding elements from the approved General Development Plan are applicable to this site, in addition to the following:

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee and to the City of Middletown for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is issued:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
 - c. A minor subdivision plat or legal instrument shall be recorded creating the lot lines as shown on the development plan.
4. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.



PARKING SUMMARY

REQUIRED

RETAIL (27,160 S.F.)	109 SPACES
MIN. (1 SPACE/250 S.F.)	
MAX. (1 SPACE/150 S.F.)	181 SPACES
WAREHOUSE (83 EMPLOYEES)	55 SPACES
MIN. (1 SPACE/1.5 EMPLOYEES)	
MAX. (1 SPACE/1 EMPLOYEE)	83 SPACES
TOTAL REQUIRED	164 SPACES
MIN.	164 SPACES
MAX.	264 SPACES

PARKING PROVIDED

STANDARD SPACES	192 SPACES
ACCESSIBLE SPACES	7 SPACES
TOTAL PROVIDED	199 SPACES

TREE CANOPY CALCULATIONS (TCCA)

SITE AREA: 9.305 AC. (405,343 S.F.)

CLASS C

EXISTING TREE CANOPY PRESERVED: 0% (0 S.F.)

TOTAL TREE CANOPY REQUIRED: 20% (81,069 S.F.)

TREE CANOPY TO BE PLANTED: 20% (81,069 S.F.)

TOTAL TREE CANOPY TO BE PROVIDED: 20% (81,069 S.F.)

INCREASED IMPERVIOUS SURFACE

PRE-DEVELOPED IMPERVIOUS SURFACE = 18,363 S.F.

POST-DEVELOPED IMPERVIOUS SURFACE = 267,977 S.F.

INCREASE IN IMPERVIOUS SURFACE = 249,614 S.F.

PRELIMINARY DRAINAGE CALCULATIONS

C_{pre} = 0.26

C_{post} = 0.73

CHANGE IN RUNOFF COEFFICIENT, C = 0.47

SITE AREA = 9.305 ACRES

CHANGE IN RUNOFF = 0.47 x (2.8/12) x 9.305 = 1.02 AC-FT

PROJECT SUMMARY

TRACT 1

MUNICIPALITY	MIDDLETOWN
EXISTING ZONING	PEC
FORM DISTRICT	SW
EXISTING USE	VACANT
PROPOSED USE	COMMERCIAL & WAREHOUSE
SITE AREA	9.305± AC. (405,343 S.F.)
PROPOSED BUILDING FOOTPRINT	159,863 S.F.
PROPOSED BUILDING GROSS FLOOR AREA	159,863 S.F.
VUA	99,595 S.F.
ILA REQUIRED (7.5%)	7,470 S.F.
ILA PROVIDED	7,856 S.F.
MAX. F.A.R.	1.00
PROP. F.A.R.	0.39
MAX. LOT COVERAGE	0.50
PROP. LOT COVERAGE	0.40
MAX. BUILDING HEIGHT	50'

PROJECT SUMMARY

TRACT 2

MUNICIPALITY	MIDDLETOWN
EXISTING ZONING	PEC
FORM DISTRICT	SW & SMC
EXISTING USE	WATER TOWERS
SITE AREA	3.870± AC. (168,569 S.F.)

BICYCLE PARKING

REQUIRED

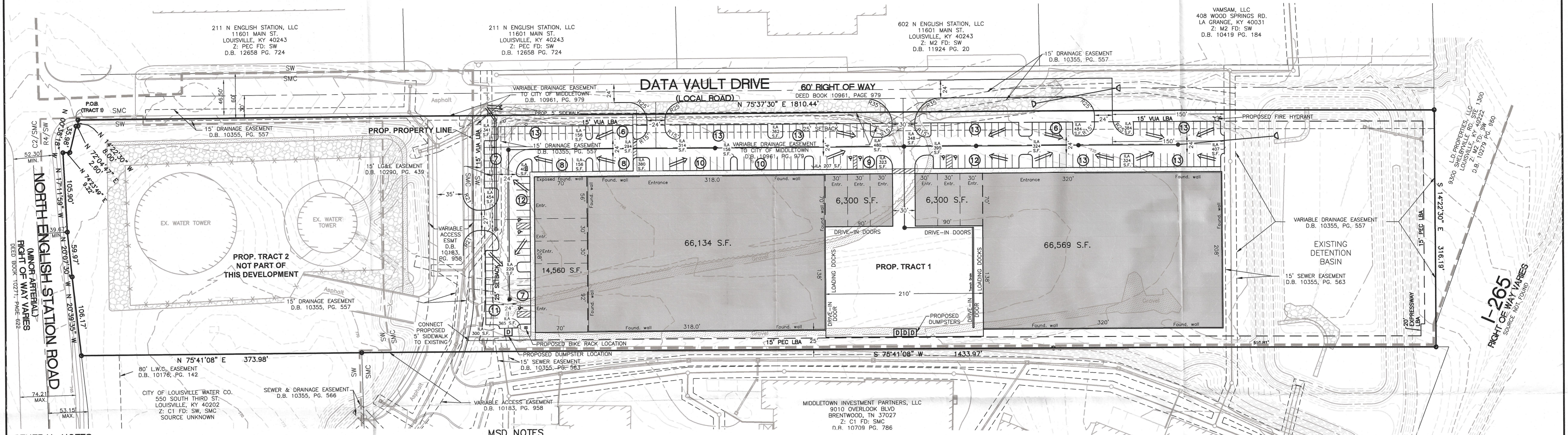
4 SPACES FOR RETAIL & 2 SPACES FOR WAREHOUSE

PROVIDED

4 SPACES FOR RETAIL, 2 SPACES FOR WAREHOUSE (PROVIDED INSIDE)

WAIVER REQUEST(S)

Ⓜ A WAIVER OF LDC 10.2.4.B.3 IS REQUESTED TO ALLOW THE 15' PEC LBA ALONG THE SOUTH PROPERTY LINE TO OVERLAP THE UTILITY EASEMENT 100%.



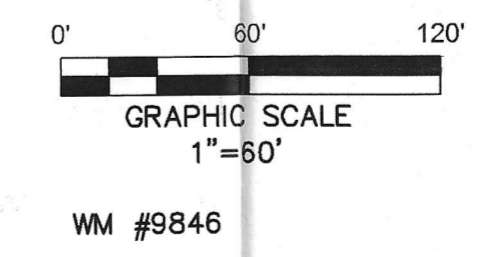
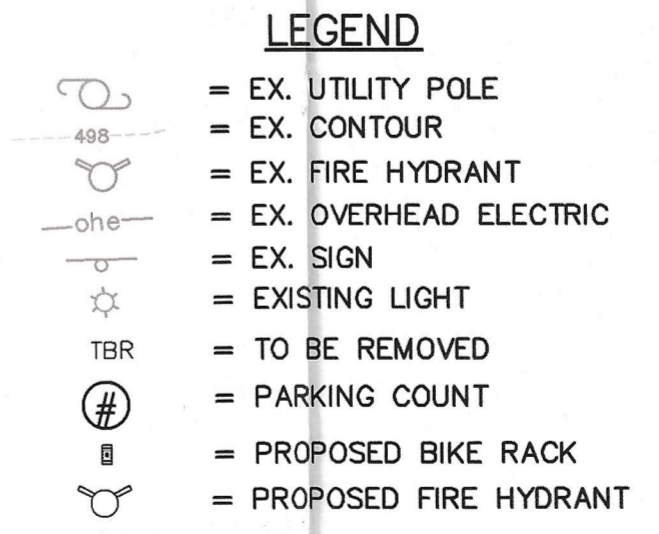
- GENERAL NOTES:**
- (→) DEPICTS DIRECTION OF STORM WATER FLOW FOR SCHEMATIC PURPOSES ONLY.
 - ALL LUMINARIES SHALL BE AIMED, DIRECTED, OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROTECTED OPEN SPACES (IE. CONSERVATION EASEMENTS, GREENWAYS, PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR CREATE GLARE PERCEPTIBLE TO PERSONS OPERATING MOTOR VEHICLES ON PUBLIC STREETS AND RIGHT-OF-WAYS. IF IT DOES, IT SHOULD BE RE-AIMED, SHIELDED OR TURNED OFF.
 - ALL OFF-STREET PARKING AREAS SHALL BE PERMANENTLY AND CONTINUALLY MAINTAINED IN GOOD CONDITION AND FREE FROM POTHOLES, WEEDS, DIRT, TRASH AND OTHER DEBRIS.
 - MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
 - THERE SHOULD BE NO COMMERCIAL SIGNS IN THE RIGHT-OF-WAY.
 - THERE SHOULD BE NO LANDSCAPING IN THE RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
 - ANY SITE LIGHTING SHALL COMPLY WITH THE CITY OF MIDDLETOWN LDC.
 - COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
 - PROPOSED SIDEWALKS SHALL BE ADA COMPLIANT.
 - A REVISED LANDSCAPE AND TREE PRESERVATION PLAN SHALL BE APPROVED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - A MINOR PLAT TO CREATE THE NEW LOT WILL NEED TO BE APPROVED AND RECORDED PRIOR TO OBTAINING A BUILDING PERMIT.
 - A KARST SURVEY WAS CONDUCTED BY TRAVIS ANDRES WITH PRIMAVERA ON SEPTEMBER 19, 2025. NO APPARENT EVIDENCE OF KARST WAS OBSERVED DURING THE SUBSURFACE EXPLORATION.
 - A FEE-IN-LIEU FOR THE REMAINING PORTION OF WALK REQUIRED ALONG DATA VAULT DRIVE SHALL BE PAID PRIOR TO CONSTRUCTION PLAN APPROVAL.

- MSD NOTES**
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
 - SANITARY SEWER SERVICE PROVIDED BY NEW PSC, SUBJECT TO FEES AND ANY APPLICABLE CHARGES.
 - AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.
 - THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MGMT. PRACTICES.
 - ONSITE DETENTION IS PROVIDED IN THE EXISTING ONSITE DETENTION BASIN. POSTDEVELOPED PEAK FLOWS WILL BE LIMITED TO PREDEVELOPED PEAK FLOWS FOR THE 2, 10, 25 AND 100-YEAR STORMS OR TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICHEVER IS MORE RESTRICTIVE.

FLOOD NOTE

FLOOD PLAIN CERTIFICATION IS RESTRICTED TO A REVIEW OF THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) LATEST REVISION AND SHALL NOT BE CONSTRUED AS A CONFIRMATION OR DENIAL OF FLOODING POTENTIAL. THE PROPERTY SHOWN HEREON IS NOT IN A 100 YEAR FLOOD AREA PER F.E.M.A. MAP NO. 21111C0049F.

- FIRE NOTES**
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE ANCHORAGE MIDDLETOWN FIRE DISTRICT.
 - LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ) CONTACT INFORMATION: GARY MULLER (GMULLER@AMFEMS.ORG)
 - HYDRANTS: PRIOR TO THE COMBUSTIBLE PHASE OF CONSTRUCTION AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE, AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LMCO 94.81)
 - GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
 - EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMUM SIGNAL STRENGTH CRITERIA, TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
 - REQUIREMENTS FOR SPECIFICATIONS OF FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX, OR FIREFIGHTER SAFETY BUILDING MARKING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCED FIRE DISTRICT.
 - PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.



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CASE#
RELATED CASE# 23-ZONE-0070

REVISED DETAILED DISTRICT DEVELOPMENT PLAN

MIDDLETOWN ACQUISITION LLC

207 N ENGLISH STATION ROAD
LOUISVILLE, KY 40223

Milestone design group

108 Daventry Lane, Suite 300 Louisville, KY 40223
502.327.7073 www.milestonedesign.org



MIDDLETOWN ACQUISITION LLC

DATE: 10/30/2025

DRAWN BY: S.R.M.

CHECKED BY: J.M.M.

SCALE: 1"=60' (HORZ)

SCALE: N/A (VERT)

REVISIONS

Δ	04-06-26	- PER AGENCY COMMENTS
Δ	05-11-26	- PER AGENCY COMMENTS
Δ		
Δ		
Δ		
Δ		

OWNER:

LOUISVILLE WATER COMPANY
DEED BOOK 13261, PAGE 734
TAX BLOCK: 0023, LOT: 0106
550 S 3RD STREET
LOUISVILLE, KY 40202

APPLICANT:

MIDDLETOWN ACQUISITION LLC
11601 MAIN ST
LOUISVILLE, KY 40243

RDDDP

JOB NUMBER
25070

1 OF 1





sign

signage

SIGN

Signage



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SIGN

SIGNAGE

Logo



Letter of Explanation

Data Vault Drive (207 N. English Station Road)

The subject property is in the City of Middletown.

The subject property is zoned PEC and located in the Suburban Workplace Form District.

The current owner if the Louisville Water Company.

The applicant (Middletown Acquisition, LLC) is purchasing the eastern end of the site or the portion of the property extending from the existing access drive (near the existing Water Towers) towards the east along Data Vault Drive. The proposed lot will be created by minor subdivision plat separating it from the existing water towers lot.

The applicant is proposing to construct two one story buildings. Each building will have a retail component, but the majority of the building square footages will be industrial warehouse space. Truck loading is proposed with docks available to both buildings.

There is an existing storm water detention basin on site, that will be utilized.

Vehicular access will be from the existing access drive (in a private access easement) and also from Data Vault Drive a public roadway.

Utilities (sanitary sewer, electric, telephone, water) are available on site or in the adjacent rights of ways or easements.

JUSTIFICATION

To justify approval of any waiver, the Board or Commission considers the following criteria.

Please answer **ALL** of the following items. Use additional sheets if needed. Responses of **Yes, No, or N/A** will **NOT** be accepted.

1. Will the waiver adversely affect adjacent property owners?

2. Will the waiver violate the Comprehensive Plan?

3. Is extent of waiver of the regulation the minimum necessary to afford relief to the applicant?

4. Has either (a) the applicant incorporated other design measures that exceed the minimums of the district and compensate for non-compliance with the requirements to be waived (net beneficial effect) or would (b) the strict application of the provisions of the regulation deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant?



Louisville Metro Government

Text File

File Number: 26-DDP-0018

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 9.



26-DDP-0018

Development Review Committee
Staff Report
July 15, 2026

River Green/Office Warehouse

Location: 2610 River Green Circle
Applicant: River Green Development, LLC
Representative: Heritage Engineering
Jurisdiction: Louisville Metro
Council District: 9 – Andrew Owen
Case Manager: Zach Schwager, Planner I

REQUEST & RECOMMENDED ACTION

1. **Revised Detailed District Development Plan** with Revision to Binding Elements
 - Staff finds the justification for the request is adequate and recommends the Development Review Committee **APPROVE** the Revised Detailed District Development Plan

CASE SUMMARY

The subject site is currently zoned C-M Commercial Manufacturing within the Suburban Workplace Form District on 2.6 acres. The proposed development plan would expand an existing activity center that fronts River Road, River Green Circle, and Buddeke Drive. The area that is to be developed is part of the River Green Business Park and the applicant is proposing to construct a two-story 48,575 square foot office/warehouse with associated parking.

CASE HISTORY

- **9-110-89:** Change in zoning from W-3 Waterfront District to C-M Commercial Manufacturing with General District Development Plan
- **12412:** Detailed District Development Plan for off-street parking

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Land Development Code (Louisville Metro 2025)
- Waterfront Review Overlay District has provided preliminary approval.
- The Metropolitan Sewer District (MSD) has provided preliminary approval.
- Transportation Planning has provided preliminary approval.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR REVISED DETAILED DISTRICT DEVELOPMENT PLAN WITH REVISION TO BINDING ELEMENTS

(a.) *The conservation of natural resources on the property proposed for development, including: trees and other living vegetation, steep slopes, water courses, flood plains, soils, air quality, scenic views, and historic sites;*

STAFF FINDING: The subject site is partially within the FEMA 100 Year Floodplain, but the plan has received preliminary approval from MSD and the Waterfront Review Overlay District. Tree canopy requirements of the Land Development Code will be provided on the subject site.

(b.) *The provisions for safe and efficient vehicular and pedestrian transportation both within the development and the community;*

STAFF FINDING: Provisions for safe and efficient vehicular and pedestrian transportation within and around the development and the community has been provided. Metro Public Works has approved the preliminary development plan.

(c.) *The provision of sufficient open space (scenic and recreational) to meet the needs of the proposed development;*

STAFF FINDING: There are no open space requirements for the proposed development.

(d.) *The provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community;*

STAFF FINDING: MSD has preliminarily approved the development plan and will ensure the provision of adequate drainage facilities on the subject site to prevent drainage problems from occurring on the subject site or within the community.

(e.) *The compatibility of the overall site design (location of buildings, parking lots, screening, landscaping) and land use or uses with the existing and projected future development of the area;*

STAFF FINDING: The overall site design and land uses are compatible with the existing and future development of the area.

(f.) *Conformance of the development plan with the Comprehensive Plan and Land Development Code. Revised plan certain development plans shall be evaluated for conformance with the non-residential and mixed-use intent of the form districts and comprehensive plan.*

STAFF FINDING: The development plan conforms to all applicable guidelines and policies of the Comprehensive Plan and to requirements of the Land Development Code. Policy 3.1.10 of Plan 2040

states, the Suburban Workplace form is characterized by predominately industrial and office uses where the buildings are set back from the street in a landscaped setting. Suburban Workplaces often contain a single large-scale use or a cluster of uses within a master planned development.

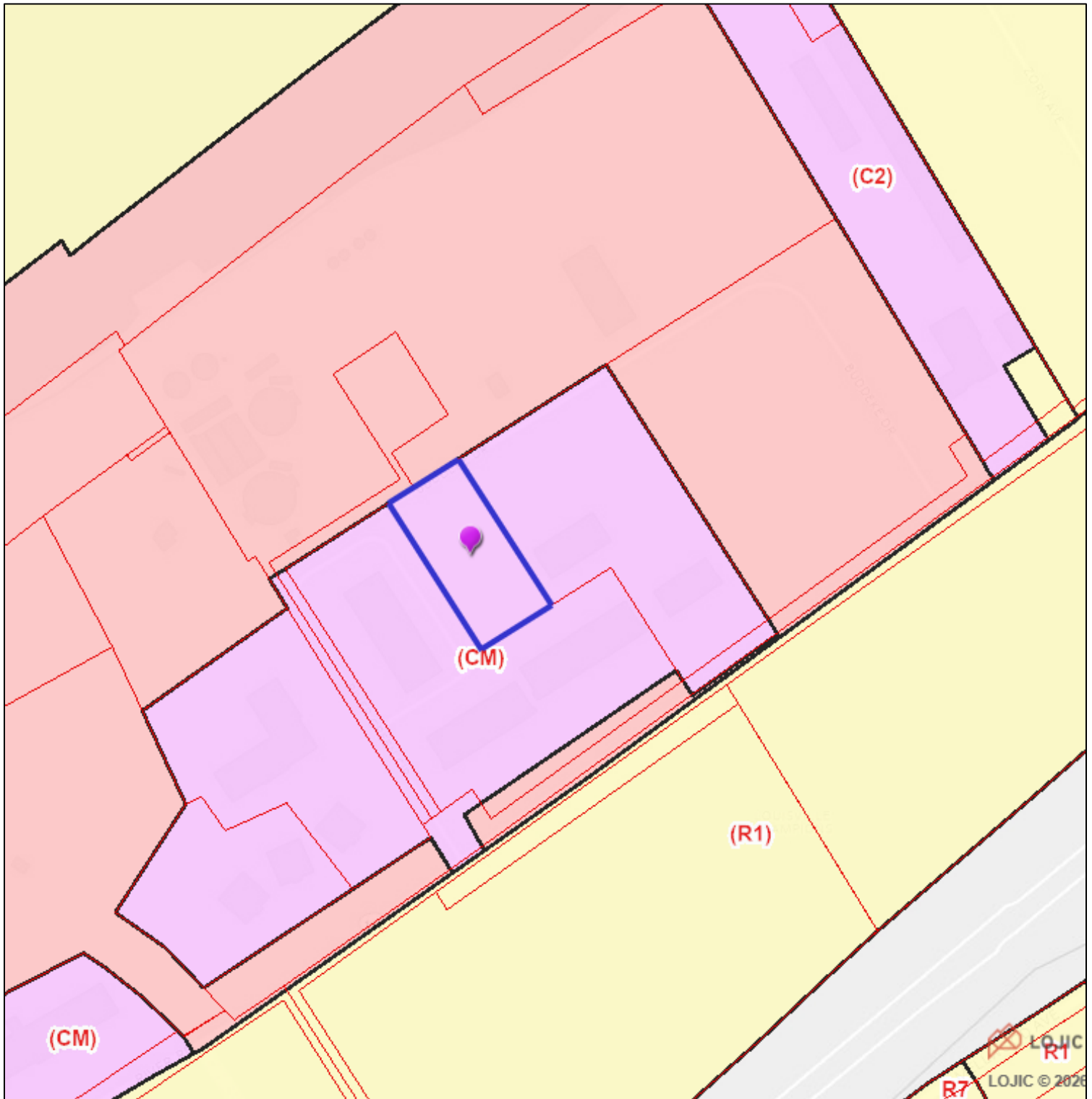
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
7/1/2026	Development Review Committee Public Hearing	1st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 9

ATTACHMENTS

1. Zoning Map
2. Aerial Photograph
3. Existing Binding Elements with Proposed Revisions
4. Proposed Binding Elements

1. ZONING MAP



2. AERIAL PHOTOGRAPH



3. EXISTING BINDING ELEMENTS WITH PROPOSED REVISIONS

All binding elements from the approved General Development Plan are applicable to this site, in addition to the following:

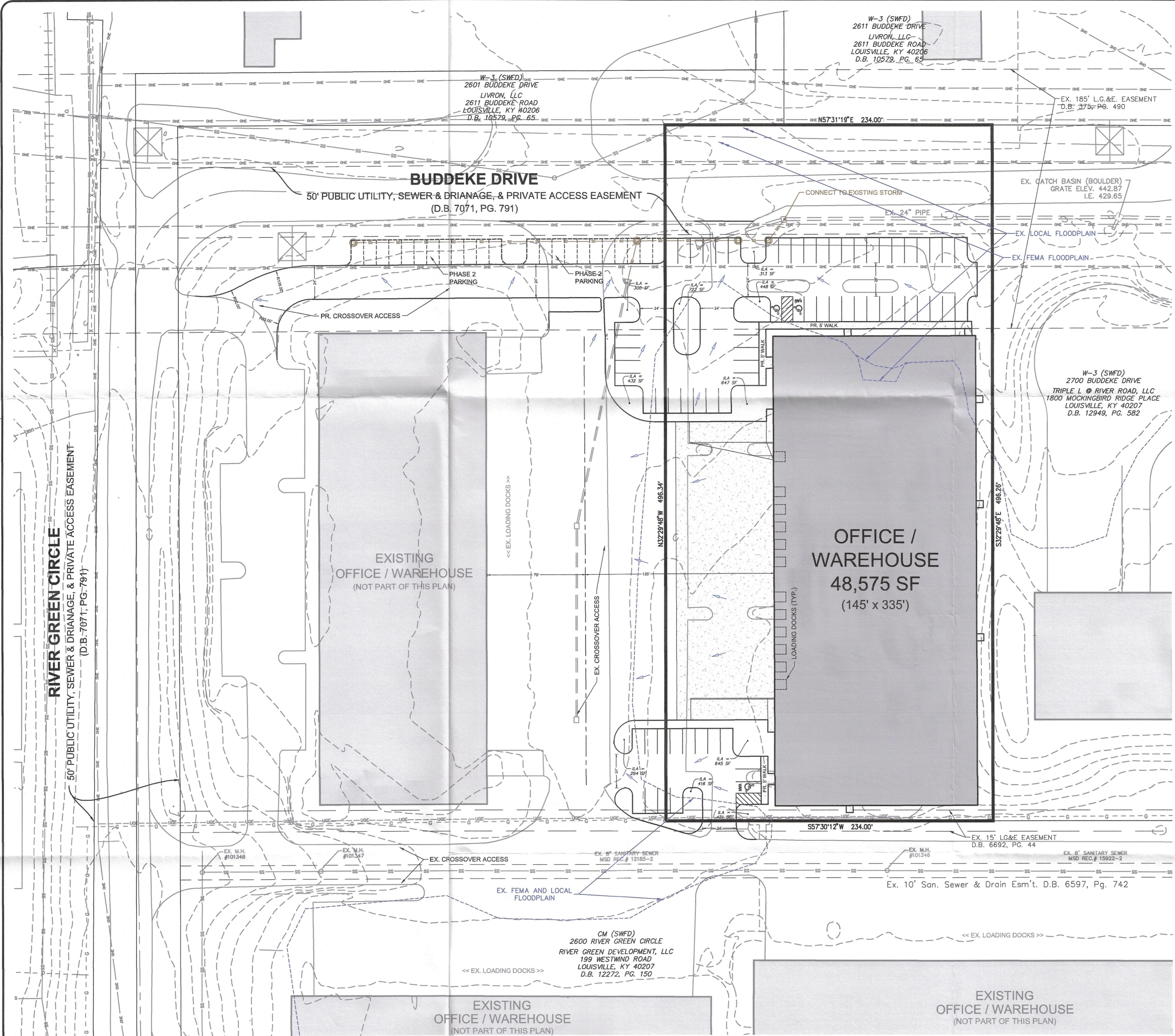
1. ~~The development will be in accordance with the approved district development plan. No further development will occur without prior approval from the Planning Commission.~~ **The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.**
2. ~~The development shall not exceed 444,800 square feet of gross floor area.~~
3. **Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.**
4. ~~Before a building permit is requested.~~ **Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested:**
 - a) ~~The development plan must be reapproved by the City of Louisville Department of Inspections, Permits and Licenses and the Metropolitan Sewer District.~~ **The development plan must receive full construction approval from Louisville Metro Public Works and the Metropolitan Sewer District.**
 - b) ~~The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Article 12. Such plan shall be implemented prior to requesting a certificate of occupancy and maintained thereafter.~~ **The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.**
 - c) ~~All necessary recording fees shall be paid.~~

5. ~~If River Road is not reconstructed and widened within five years of the approval of this revised plan, the developer shall construct left and right turn lanes at the west entrance and the east entrance to the development immediately upon the expiration of this five year period. The lanes shall be constructed to standards to be approved by the City of Louisville Department of Public Works.~~
6. A certificate of occupancy must be received from the appropriate code enforcement office prior to occupancy of the structure or land for the proposed use. ~~All binding elements must be implemented prior to requesting issuance of the certificate.~~
7. ~~The above binding elements may be amended as provided for in the Zoning District Regulations.~~
8. ~~The landscape buffer along River Road shall conform to the plan shown on Landscape Exhibit I as submitted by the developer.~~
9. ~~The developer shall construct a left turn lane on River Road at the west entrance to the development prior to occupancy of the buildings in Phase 1 and shall construct the left turn lane at the east entrance prior to occupancy of the buildings in Phase 4. The lanes shall be constructed to standards to be approved by the City of Louisville Department of Public Works.~~
10. ~~In an effort to minimize impact of lighting on adjacent properties, lighting for the parking area shall be directed downward and toward the interior of the parking areas.~~
11. ~~Developer shall not disturb the existing wetland area until it receives necessary governmental approvals.~~
12. ~~Developer shall install plantings in the sizes shown on the landscape plan approved by the Commission's landscape architect. The red oaks shown along the north side of River Road shall be planted when River Road has been improved. Except as may be necessitated by construction, the developer will not ask the City to remove the existing trees along the north side of River Road until River Road is improved.~~
13. **The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.**

4. PROPOSED BINDING ELEMENTS

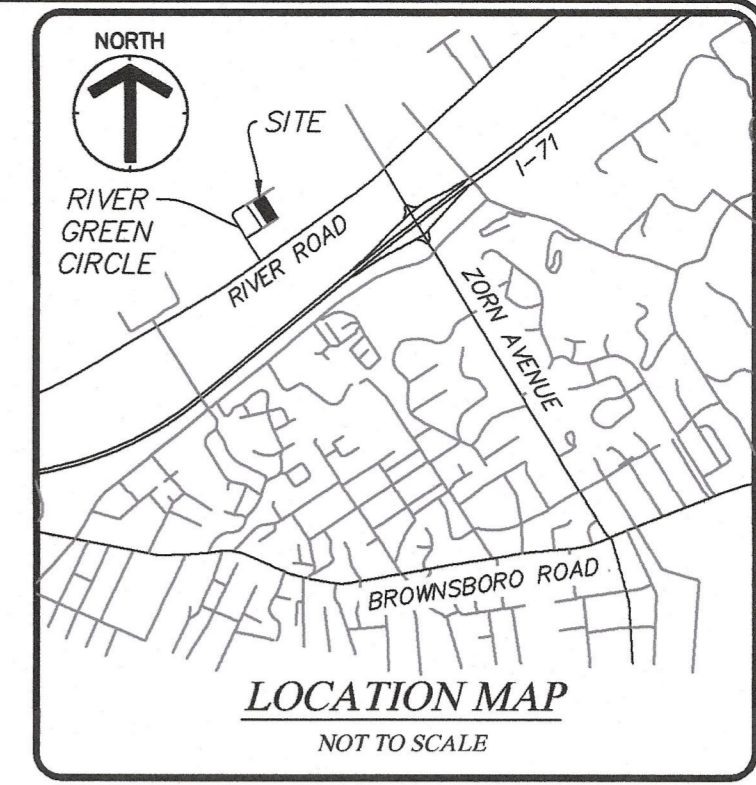
1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested:
 - a. The development plan must receive full construction approval from Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
4. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use.
5. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

X:\VA-Projects\2025\26024 - River Green - Development Planning\Plot DME May 14, 2026 - 3:03pm



LEGEND
NOT TO SCALE

- EX. TREE
- EX. FIRE HYDRANT
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. SIGN
- EX. PROPERTY LINE
- EX. FENCE
- EX. WATER LINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC
- EX. UNDERGROUND ELECTRIC
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. CONCRETE
- EX. EDGE OF PAVEMENT
- PR. STORM DRAINAGE
- PR. SANITARY SEWER
- PR. SWALE
- PR. CONCRETE
- PR. EDGE OF PAVEMENT
- PR. FENCE
- PR. SLT FENCE
- PR. FIRE HYDRANT
- PR. LIGHT POLE
- PR. SIGN
- PR. BENCH SEAT
- PR. BUILDING



OWNER
RIVER GREEN DEVELOPMENT, LLC
199 WESTWIND ROAD
LOUISVILLE, KY 40207

SITE DATA
2610 RIVER GREEN CIRCLE
LOUISVILLE, KY
D.B. 12272, PG. 150
PARCEL # 088M00610000

TOTAL SITE AREA 2.66 ACRES (116,133.73 SF)
FORM DISTRICT SUBURBAN WORKPLACE
EX. ZONING CM
OVERLAY DISTRICT WATERFRONT
EX. LAND USE PARKING
PR. LAND USE OFFICE/WAREHOUSE
PR. BUILDING 48,575 SF

PARKING SUMMARY

OFFICE AREA = 4,000 SF	
MIN. PARKING REQUIRED (1 SPACE/400 SF)	10 SPACES
MAX. PARKING PERMITTED (1 SPACE/150 SF)	27 SPACES
INDUSTRIAL WAREHOUSE = 44,575 SF (PRIMARY GOODS STORAGE OR HANDLING)	
MIN. PARKING REQUIRED (1 SPACE/10,000 SF)	5 SPACES
MAX. PARKING PERMITTED (1 SPACE/500 SF)	90 SPACES
TOTAL MINIMUM PARKING REQUIRED	15 SPACES
TOTAL MAXIMUM PARKING REQUIRED	117 SPACES
PHASE 1 PARKING PROVIDED	69 SPACES (INCLUDING 3 ADA SPACES)
PHASE 2 TOTAL PARKING PROVIDED	23 SPACES
TOTAL PHASE 1&2 PARKING PROVIDED	92 SPACES (INCLUDING 3 ADA SPACES)

TREE CANOPY CALCULATIONS

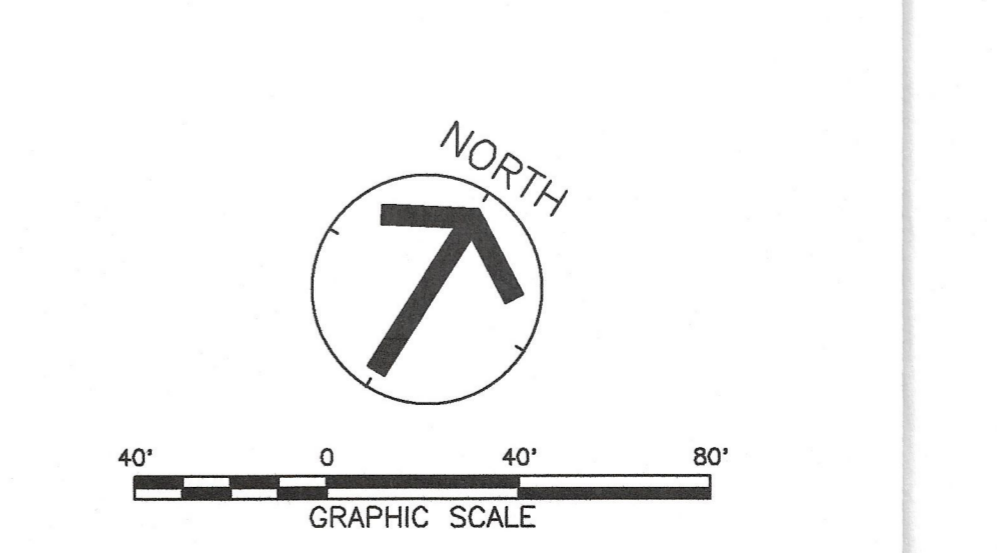
TOTAL SITE AREA 116,134 SF (2.66 Ac.)
TOTAL TREE CANOPY REQUIRED (SEE NOTE BELOW) 29,034 SF (25%)
EXISTING TREE CANOPY TO BE PRESERVED NONE
TOTAL TREE CANOPY TO BE PLANTED 29,034 SF (25%)
NOTE: 5% REDUCTION FOR COOL ROOF HEAT ISLAND REDUCING TECHNOLOGY USED ON NEW BUILDING.

LANDSCAPE DATA

PROPOSED VEHICLE USE AREA (V.U.A.) 55,187 SF
LLA REQUIRED (1.2%) 4,139 SF
LLA PROVIDED (8.4%) 4,638 SF

IMPERVIOUS AREA

PRE 79,427 S.F.
POST 116,683 S.F.
PERCENTAGE OF CHANGE 46.90%



GENERAL NOTES

- DOMESTIC WATER SUPPLY: SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
- ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJACENT RESIDENTIAL AREAS.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH CHAPTER 10.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT PARTICULATE MATTER FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED/PERMITTED BY APPROPRIATE AGENCIES.
- CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE SHALL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJUTING SIDEWALKS, PROPERTIES OR PUBLIC RIGHTS-OF-WAY, TO PROTECT LANDSCAPE AREAS AND TO PROTECT ADJACENT PROPERTIES. SUCH WHEEL STOPS OR CURBING SHALL BE LOCATED AT LEAST THREE (3) FEET FROM ANY ADJACENT WALL, FENCE, PROPERTY LINE, WOODY VEGETATION, WALKWAY OR STRUCTURE.
- THIS SITE IS SUBJECT TO THE BINDING ELEMENTS OF CASE 9-110-89 ON FILE IN THE OFFICES OF THE LOUISVILLE METRO PLANNING COMMISSION.
- TRASH COLLECTION (DUMPSTER) WILL BE LOCATED INSIDE PROPOSED BUILDING.

MSD NOTES

- CONSTRUCTION SPECIFICATIONS AND DOCUMENTS SHALL COMPLY WITH THE LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS.
- WASTEWATER: SANITARY SEWER SERVICE WILL BE PROVIDED BY NEW PSC CONNECTION AND IS SUBJECT TO APPLICABLE FEES. SANITARY SEWER FLOW WILL BE TREATED AT THE DEREK R. GUTHRIE WATER QUALITY TREATMENT CENTER.
- DRAINAGE: DRAINAGE PATTERN DEPICTED BY ARROWS (---) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES, CHANNELS AND WATER QUALITY METHODS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21111C0027F REV. 2/26/2021).
- AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITY.
- SITE IS SUBJECT TO MSD'S REGIONAL FACILITY FEE.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE CONSTRUCTION DESIGN PHASE DUE TO PROPERLY SIZING OF GREEN BEST MANAGEMENT PRACTICES.
- ANY FILL IN THE FLOODPLAIN SHALL BE COMPENSATED AT A 1.5:1 RATIO.
- LOWEST FINISHED FLOOR TO BE AT OR ABOVE 451.1 AND THE LOWEST MACHINERY TO BE AT OR 452.1.

TRANSPORTATION NOTES

- ALL PROPOSED WALKS SHALL BE MINIMUM OF 5 FEET WIDE OR A WIDTH AS NOTED ON THIS PLAN AND/OR AS PERMITTED BY CODE. ADA ROUTES SHALL INCLUDE RAMPS WITH HATCHING ACROSS DRIVE LANES AS REQUIRED BY MFW BY METRO PUBLIC WORKS.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- ALL ENTRANCES, PARKING AND DRIVE LANES ARE ASPHALT, CONCRETE OR A HARD AND DURABLE SURFACE AS PERMITTED BY METRO PUBLIC WORKS.
- CONSTRUCTION PLANS AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL AND ISSUANCE OF MPW ENCROACHMENT PERMIT.

EROSION CONTROL NOTES

- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPP PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. SWPP BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.

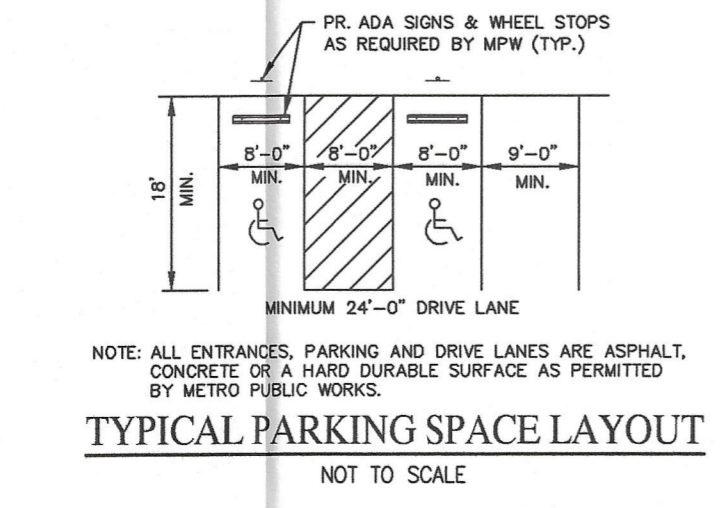
FIRE DEPARTMENT NOTES

- THE DEVELOPMENT LIES IN THE LOUISVILLE STATION #2.
- LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ)
- HYDRANTS: PRIOR TO THE COMBUSTIBLE PHASE OF CONSTRUCTION, AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE, AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LWCO 94.81)
- GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
- EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMUM SIGNAL STRENGTH CRITERIA, TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
- REQUIREMENTS FOR SPECIFICATIONS OF FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX, OR FIREFIGHTER SAFETY BUILDING MARKING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCED FIRE DISTRICT.
- PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.

The New Look For Digging Safely in Kentucky
Kentucky 811
Call 811 Before You Dig

UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Revision	Date	Description	Detailled by
2	5/12/26	WATERFRONT DEVELOPMENT COMMENTS (1ST REVIEW)	ELP
1	4/13/26	AGENCY COMMENTS (1ST REVIEW)	ELP



HERITAGE ENGINEERING, LLC
642 South 4th Street
Louisville, KY 40202
(502) 582-1412
(502) 582-1413 Fax

ENGINEER

OWNER/DEVELOPER:

RIVER GREEN DEVELOPMENT, LLC.
199 WESTWIND ROAD
LOUISVILLE, KY 40207

PROJECT:

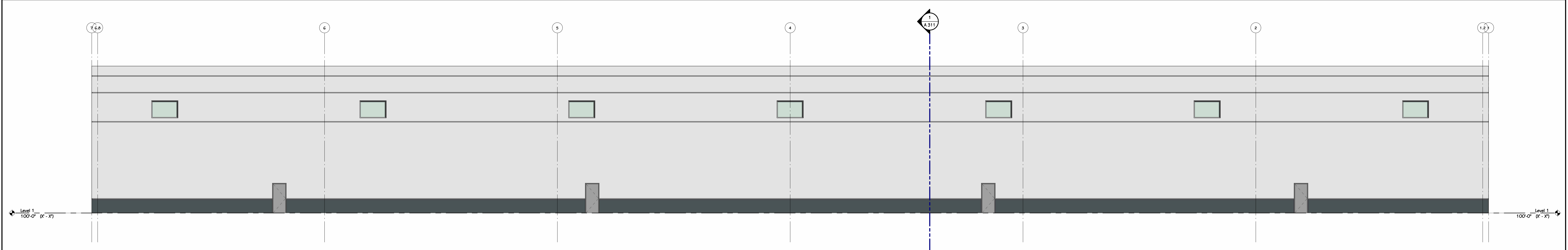
REVISED GENERAL/DETAILED DISTRICT PLAN FOR OFFICE / WAREHOUSE
2610 RIVER GREEN CIRCLE
LOUISVILLE, KY 40206

RECEIVED
JUN 29 2026
OFFICE OF PLANNING

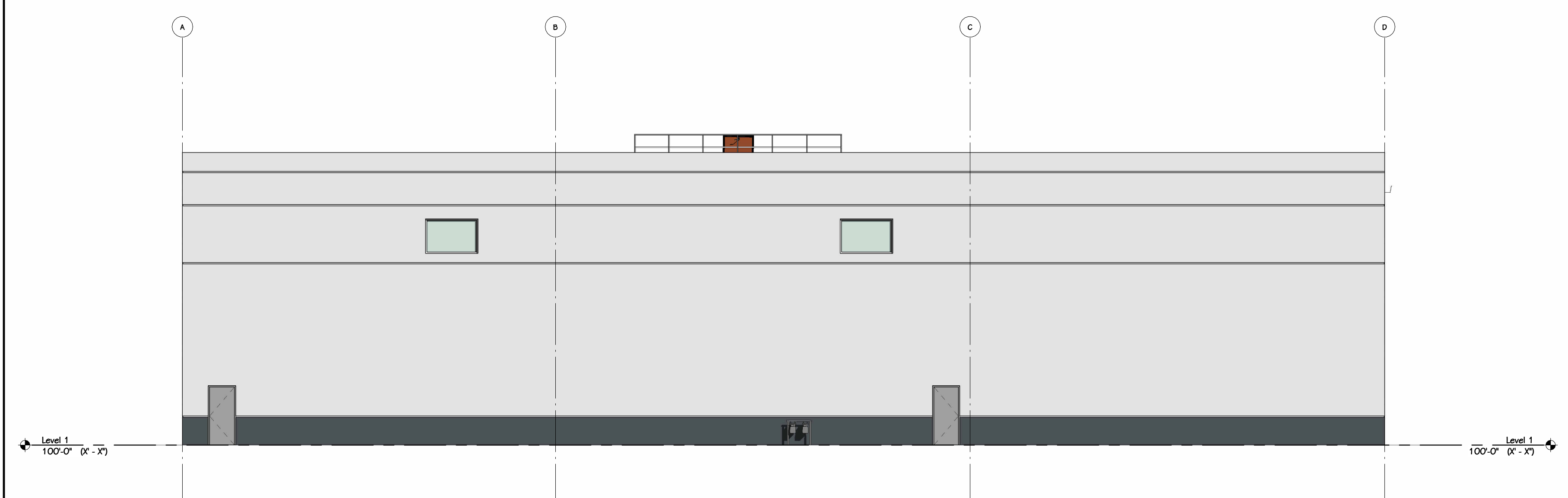
JOB NO: 26024
HORIZ. SCALE: 1"=40'
VERT SCALE: N/A
DESIGNED BY: JDC
CHECKED BY: SWH
DATE: MARCH 16, 2026

SHEET
DP1.2

PRELIMINARY
NOT FOR CONSTRUCTION



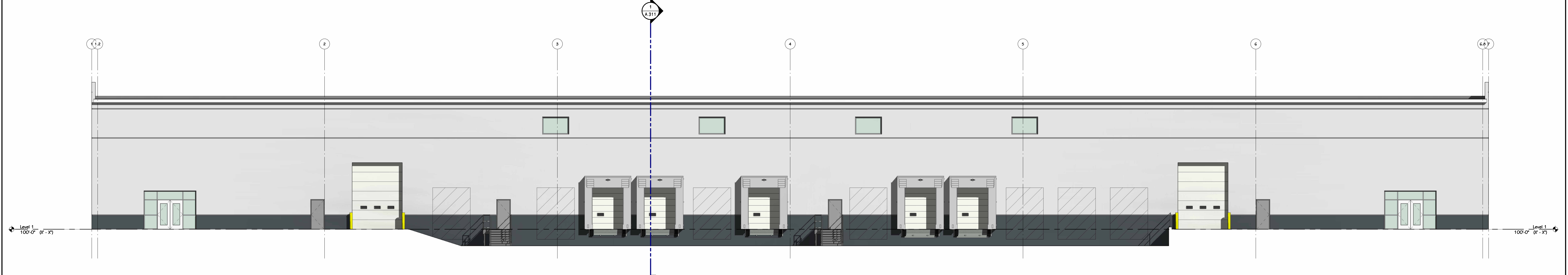
A EAST ELEVATION
1" = 10'-0"



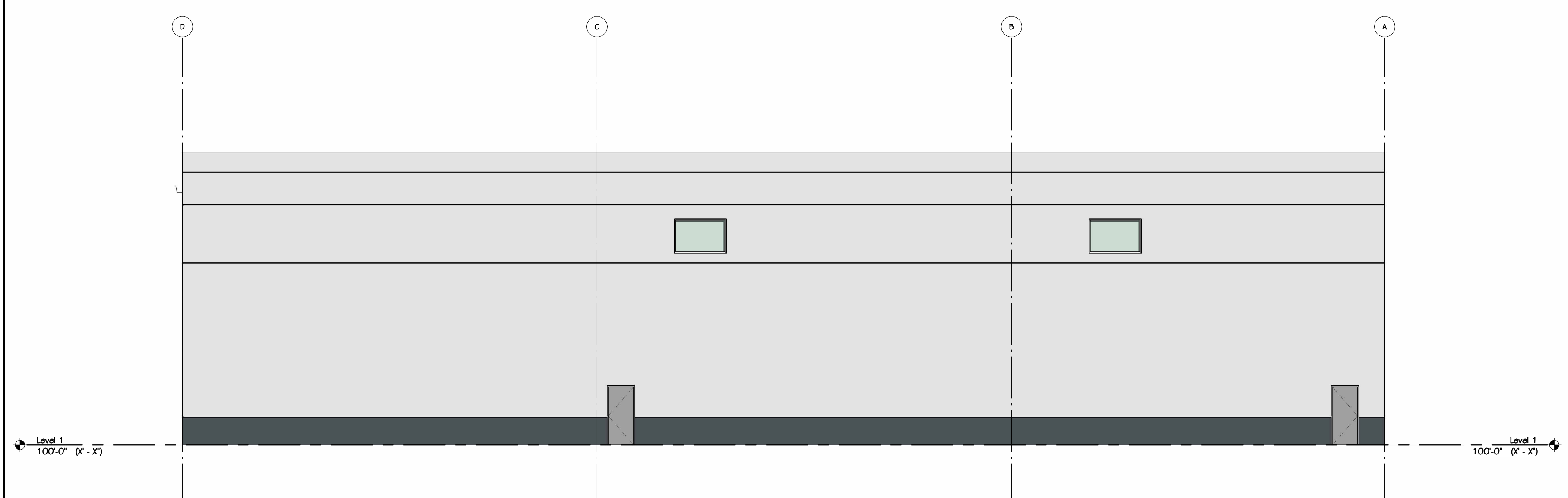
B NORTH ELEVATION
1" = 10'-0"

EXTERIOR ELEVATION KEY

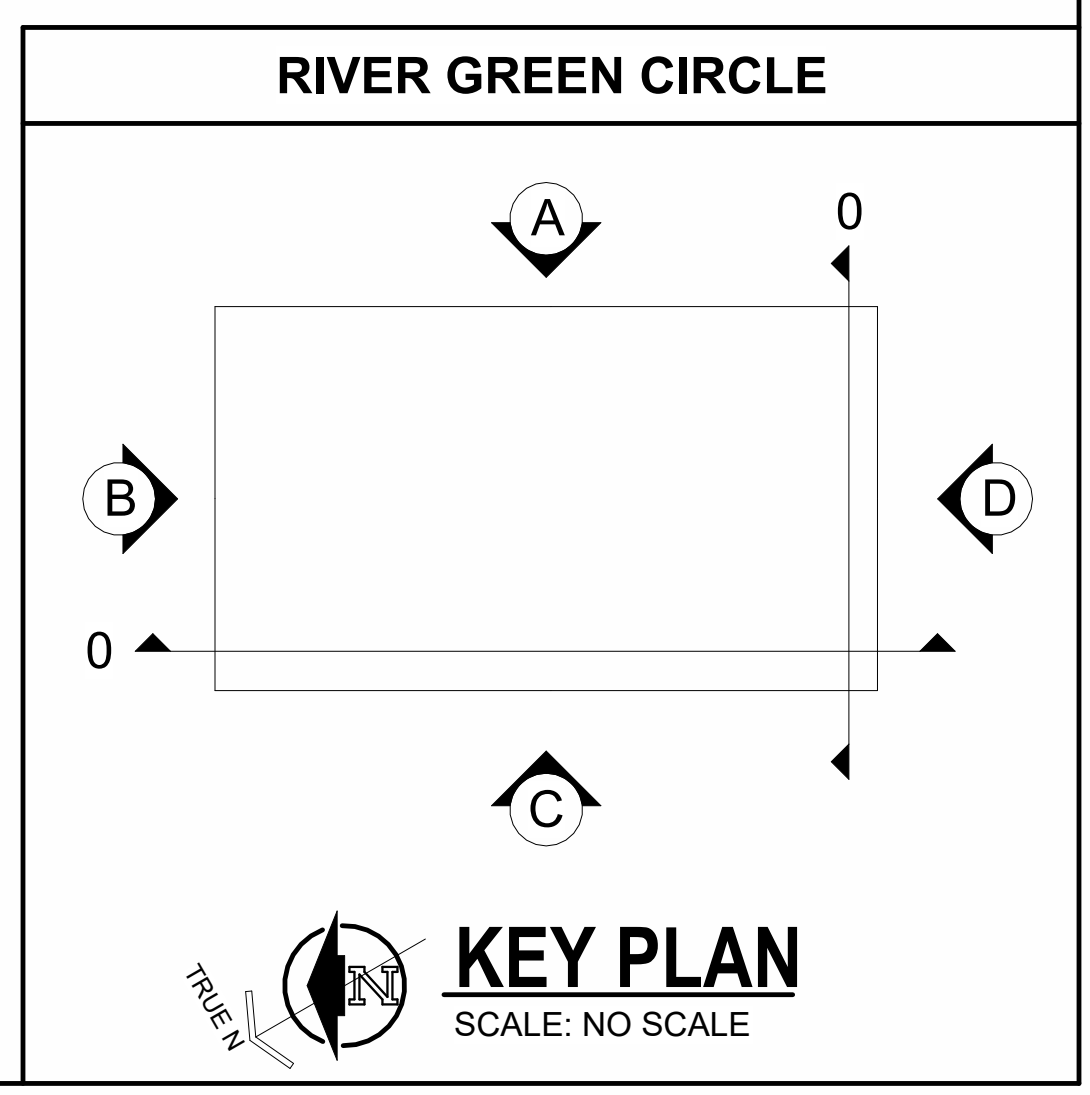
	BRICK 1, COLOR:
	BRICK 2, COLOR:
	METAL PANEL 1, COLOR:
	METAL PANEL 2, COLOR:
	METAL PANEL 3, COLOR:
	CAST STONE, COLOR:
<small>CJ = CONTROL JOINT, COLOR: EJ = BUILDING EXPANSION JOINT, COLOR: SG = SPANDREL GLASS, COLOR:</small>	



C WEST ELEVATION
1" = 10'-0"



D SOUTH ELEVATION
1" = 10'-0"



ISSUED FOR _____ DATE _____

PROJECT TITLE
 River Green Circle

OWNER
 River Green Development LLC

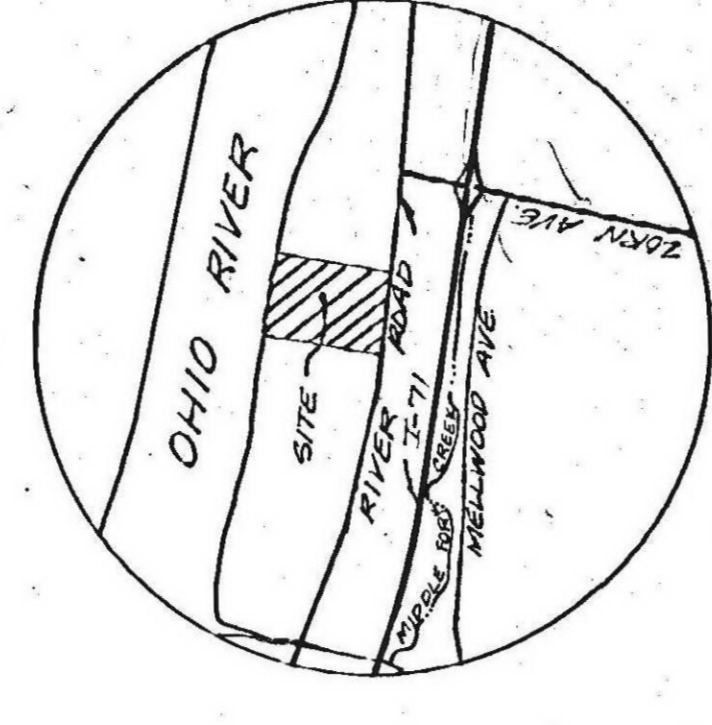
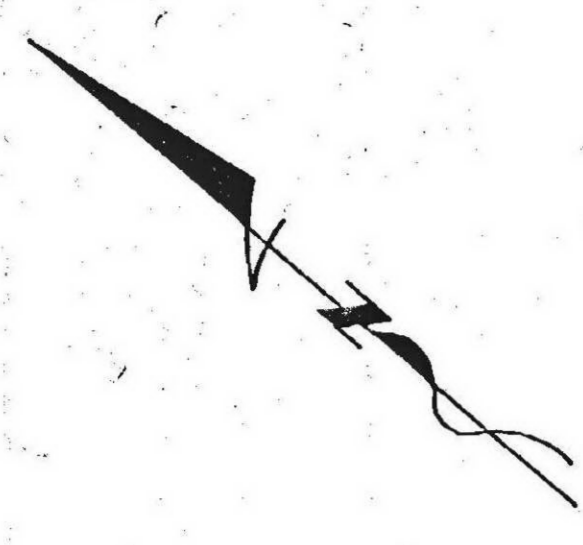
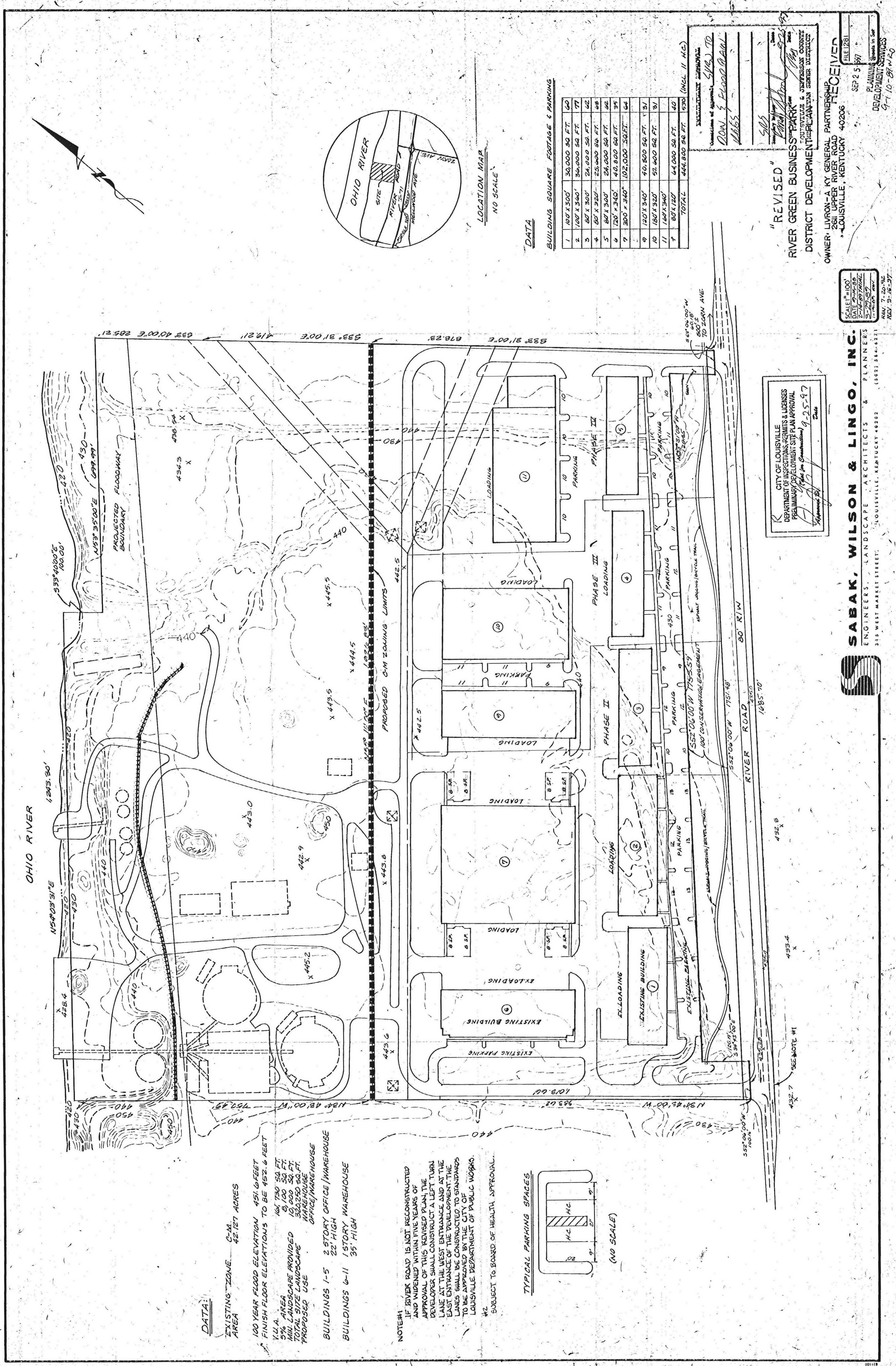
SHEET TITLE
 EXTERIOR ELEVATIONS

XXXX STREET
 CITY, STATE

DATE
 February 19, 2026

SHEET NUMBER
A 301
 XX-XXX.XXX

DRAWN BY: XXX 2/19/2026 2:24:09 PM



LOCATION MAP
NO SCALE

DATA

BUILDING SQUARE FOOTAGE & PARKING

1	107' x 300'	32,100 SQ. FT.	40
2	120' x 340'	40,800 SQ. FT.	50
3	80' x 300'	24,000 SQ. FT.	30
4	80' x 300'	24,000 SQ. FT.	30
5	80' x 300'	24,000 SQ. FT.	30
6	120' x 340'	40,800 SQ. FT.	50
7	300' x 340'	102,000 SQ. FT.	125
8	120' x 340'	40,800 SQ. FT.	50
9	120' x 340'	40,800 SQ. FT.	50
10	120' x 340'	40,800 SQ. FT.	50
11	120' x 340'	40,800 SQ. FT.	50
TOTAL		444,800 SQ. FT.	550 (INCL. II, H.C.)

CITY OF LOUISVILLE
DEPARTMENT OF ASSOCIATIONS & LICENSES
PRELIMINARY DEVELOPMENT SITE PLAN APPROVAL
APPROVED FOR CONSTRUCTION 9-25-97

RECEIVED
DISTRICT DEVELOPMENT PARTNERSHIP
OWNER: LINSON, A. KY GENERAL PARTNERSHIP
2811 UPPER RIVER ROAD
LOUISVILLE, KENTUCKY 40206

SABAK, WILSON & LINGO, INC.
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
313 WEST MARKET STREET
LOUISVILLE, KENTUCKY 40202
(502) 584-4321

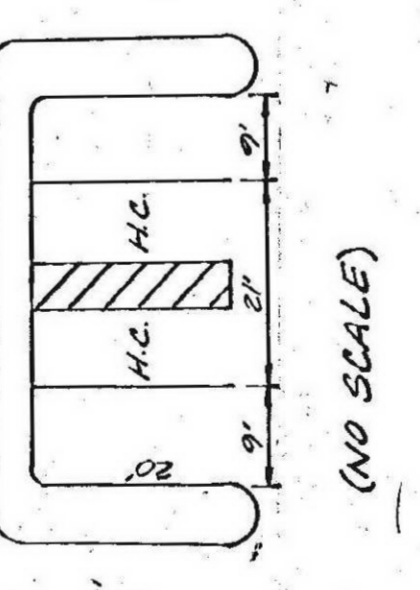
DATA:

- EXISTING ZONE: C-M
- EXISTING AREA: 42.127 ACRES
- 100 YEAR FLOOD ELEVATION: 451.6 FEET
- FINISH FLOOR ELEVATIONS TO BE 452.6 FEET
- V.I.A. AREA: 164,780 SQ. FT.
- 5% LANDSCAPE PROVIDED: 6,100 SQ. FT.
- TOTAL LANDSCAPE: 20,000 SQ. FT.
- PROPOSED USE: WAREHOUSE
- OFFICE/WAREHOUSE
- BUILDINGS 1-5: 2-STORY OFFICE/WAREHOUSE
- BUILDINGS 6-11: 1-STORY WAREHOUSE

NOTE #1: RIVER ROAD IS NOT RECONSTRUCTED AND IMPROVED WITHIN FIVE YEARS OF APPROVAL OF THIS REVISED PLAN. THE DEVELOPER SHALL CONSTRUCT A LEFT TURN LANE AT THE WEST ENTRANCE AND AT THE EAST ENTRANCE OF THE PROJECT. THESE LANS SHALL BE CONSTRUCTED TO STANDARDS TO BE APPROVED BY THE CITY OF LOUISVILLE DEPARTMENT OF PUBLIC WORKS.

NOTE #2: SUBJECT TO BOARD OF HEALTH APPROVAL.

TYPICAL PARKING SPACES



(NO SCALE)

SEE NOTE #1

HERITAGE ENGINEERING, LLC

March 16, 2026

Planning and Design Services
Metro Government
444 S. 5th Street, Suite 300
Louisville, Kentucky 40202

Re: Development Plan – Letter of Explanation

Dear Staff:

On behalf of River Green Development LLC, we are submitting the attached Revised General/Detailed Development Plan for redevelopment of an existing unused parking lot located at 2610 River Green Circle.

Improvements to existing parking lot as previously approved per (Case # 9-110-89) and previously used as a surface parking lot for Galen College, are limited to construction of a 48,575 SF Office/Warehouse building with employee parking along the northern and southern portions of the property. Proposed parking onsite meets the minimum requirements with additional Phase 2 parking shown in the event a selected tenant needs additional parking based on employee needs. Access to the site for employees and truck traffic will be shared with the adjacent property per the existing conditions and intent of the originally approved Rezoning/Development Plan for this development. No other changes are proposed, and the plan improvements are in compliance with requirements of the Land Development Code.

Thank you for your consideration; please advise us immediately if additional information is needed.

Sincerely,

John D. Campbell

Encl. Application
Development Plan



Louisville Metro Government

Text File

File Number: 26-DDP-0021

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 10.



26-DDP-0021

Development Review Committee
Staff Report
July 15, 2026

Wesley Manor Senior Independent Living

Location: 5400 E Manslick Road
Applicant: Wesley Manor Retirement Community
Representative: Qk4
Jurisdiction: Louisville Metro
Council District: 24 – Ginny Mulvey-Woolridge
Case Manager: Catherine Gomez, Planner I

REQUEST & RECOMMENDED ACTION

1. Detailed District Development Plan with Binding Elements
 - Staff finds the request is in keeping with Plan 2040 and recommends the Development Review Committee **APPROVE** the Detailed District Development Plan.

CASE SUMMARY

The subject site is currently zoned R-5A multi-family residential within the Neighborhood Form District and on 5.69 acres. The applicant is proposing four 3-story multi-family buildings with 68 units, a 5,000 square foot resident amenity building and 37,000 square feet of proposed recreation area on the existing nursing home campus of Wesley Manor. There is an existing 1-story community center serving the nursing home that will be demolished if this development plan is approved. This development proposes to expand the Wesley Manor Retirement Community adjacent to the subject site and providing 17 new shared parking spaces and 85 interior garage spaces. There is an associated Variance for building height under case 26-VARIANCE-0067 scheduled to be heard at the July 20, 2026 Board of Zoning Adjustment hearing.

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Land Development Code (Louisville Metro 2025)
- MSD has provided preliminary approval.
- Transportation Planning has provided preliminary approval.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR DETAILED DISTRICT DEVELOPMENT PLAN AND AMENDMENT TO BINDING ELEMENTS

-
-
- a. *The conservation of natural resources on the property proposed for development, including: trees and other living vegetation, steep slopes, water courses, flood plains, soils, air quality, scenic views, and historic sites;*

STAFF FINDING: There do not appear to be any environmental constraints or historic resources on the subject site. Tree canopy requirements of the Land Development Code will be provided on the subject site. The required 50 foot Gene Snyder buffer area will be provided.

- b. *The provisions for safe and efficient vehicular and pedestrian transportation both within the development and the community;*

STAFF FINDING: Provisions for safe and efficient vehicular and pedestrian transportation within and around the development and the community has been provided, and Metro Public Works and the Kentucky Transportation Cabinet have approved the preliminary development plan.

- c. *The provision of sufficient open space (scenic and recreational) to meet the needs of the proposed development;*

STAFF FINDING: The applicant provides open space in the form of recreational use as required by the Land Development Code and meets the needs of this proposed development.

- d. *The provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community;*

STAFF FINDING: The Metropolitan Sewer District has approved the preliminary development plan and will ensure the provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community.

- e. *The compatibility of the overall site design (location of buildings, parking lots, screening, landscaping) and land use or uses with the existing and projected future development of the area;*

STAFF FINDING: The overall site design and land uses are compatible with the existing and future development of the area. Appropriate landscape buffering and screening will be provided to screen adjacent properties and roadways. Buildings and parking lots will meet all required setbacks. The proposed development's overall site design is compatible with the Neighborhood form district pattern of development.

- f. *Conformance of the development plan with the Comprehensive Plan and Land Development Code. Revised plan certain development plans shall be evaluated for conformance with the non-residential and mixed-use intent of the form districts and comprehensive plan.*

STAFF FINDING: The development plan conforms to applicable guidelines and policies of the Comprehensive Plan and to requirements of the Land Development Code. Community Form Goal 1 Policy 4 ensures new development and redevelopment are compatible with the scale and site design of nearby existing development and with the desired pattern of development within the Form District. Quality design and building materials should be promoted to enhance compatibility of development and redevelopment projects. Community Form Goal 1 Policy 5 allows a mixture of densities if their designs are compatible. Community Form Goal 1 Policy 11 ensures setbacks, lot dimensions and building heights are compatible with those of nearby developments that meet Form District guidelines. Community Form Goal 1 Policy 13 integrates parking garages into their surroundings and provides an active inviting street-level appearance. Community Form Goal 2 Policy 14 encourages adjacent development sites to share entrance and parking facilities to reduce the number of curb cuts and the amount of surface parking. Community Form Goal 3 Policy 2, 3, and 6 states to design open space to meet outdoor recreation, natural resource protection, aesthetic, cultural and educational, public, or health and safety needs. Open space may also be associated with civic uses, managed for production of resources and designed to ensure compatibility between differing land uses. Housing Goal 1 Policy 2 Promote housing options and environments that support aging in place. Encourage housing for older adults and people with disabilities to be located close to shopping and transit routes and, when possible, medical and other supportive facilities. The proposed development will be an expansion of the existing retirement home on the Wesley Manor Campus, so resources and supportive facilities are already established to maintain the development of more senior housing in the area.

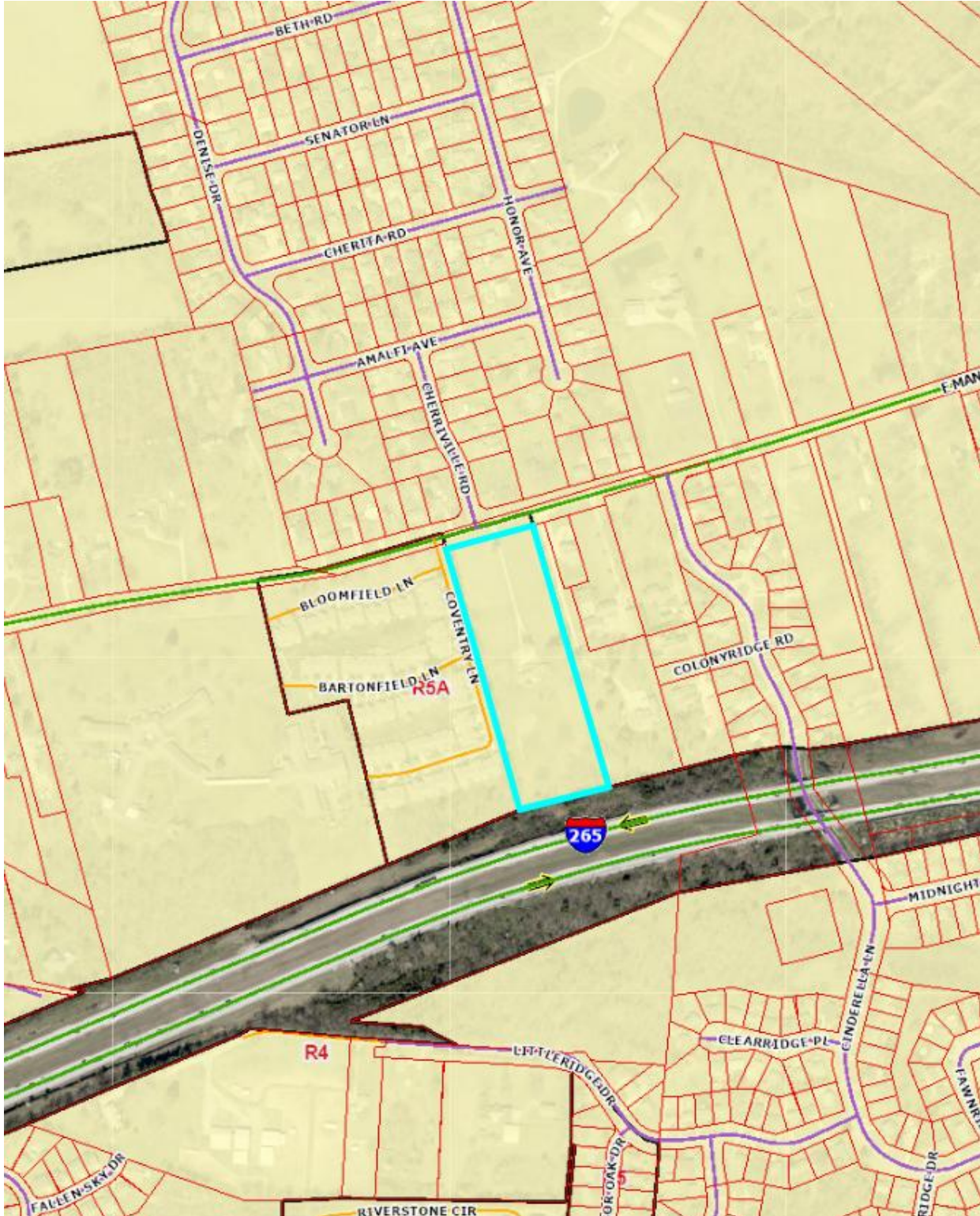
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
6/30/2026	Development Review Committee Public Hearing	1st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 24

ATTACHMENTS

1. Zoning Map
2. Aerial Photograph
3. Existing Binding Elements with Proposed Revisions
4. Proposed Binding Elements

1. Zoning Map



2. Aerial Photograph



3. Existing Binding Elements with Proposed Revisions

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
- ~~2. No outdoor advertising signs, small freestanding signs, pennants, balloons, or banners shall be permitted on the site.~~
3. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
4. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a certificate of occupancy. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
 - c. A reciprocal access and crossover easement agreement in a form acceptable to the Planning Commission legal counsel shall be created between the adjoining property owners and recorded. A copy of the recorded instrument shall be submitted to the Division of Planning and Design Services; transmittal of approved plans to the office responsible for permit issuance will occur only after receipt of said instrument.
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
 - ~~e. The materials and design of proposed structures shall be substantially the same as depicted in the rendering as presented at the August 15, 2019 Planning Commission public hearing. A copy of the approved rendering is available in the case file on record in the offices of the Louisville Metro Planning Commission.~~
5. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding

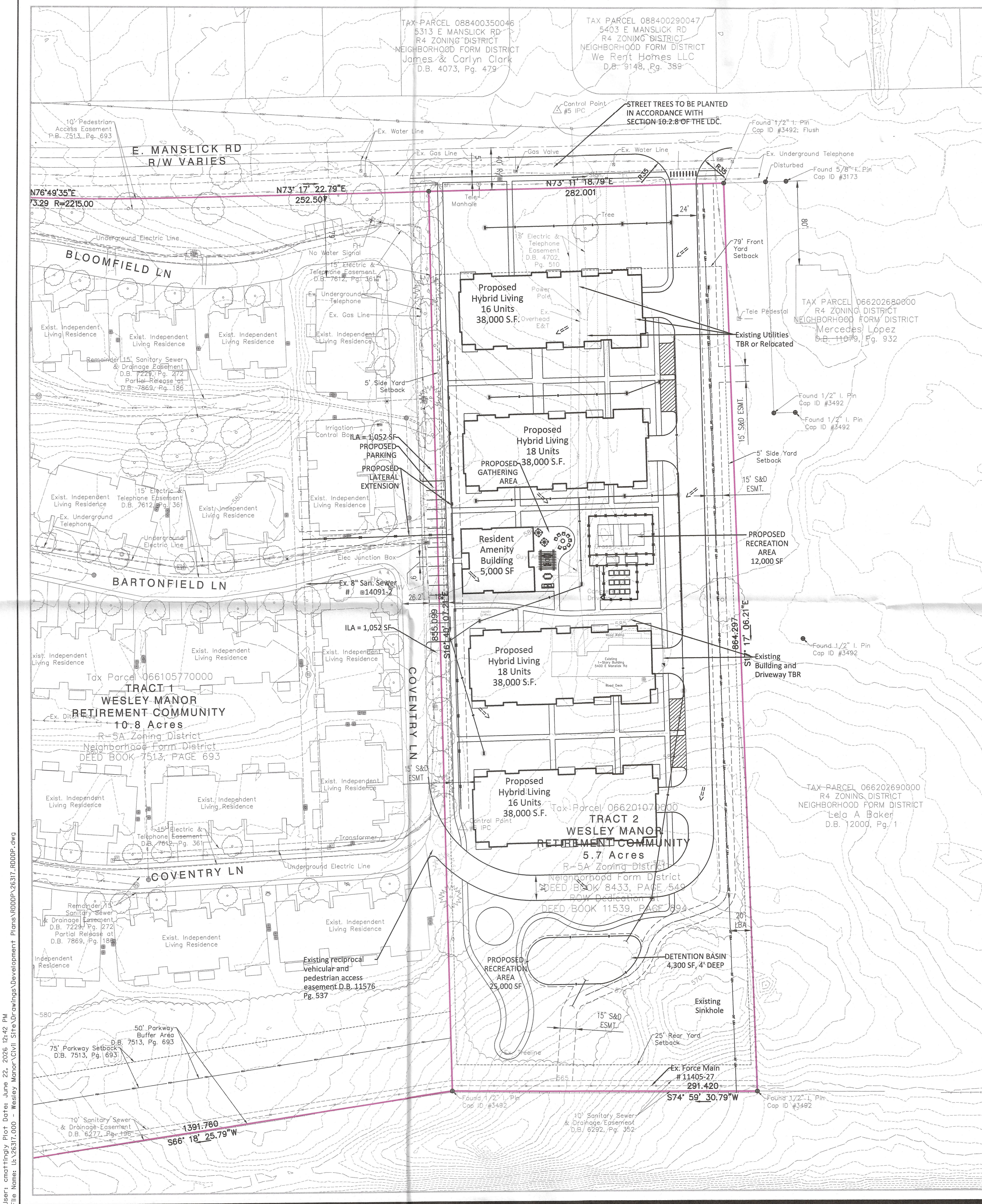
elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.

6. There shall be no outdoor music (live, piped, radio or amplified) or outdoor entertainment or outdoor PA system audible beyond the property line.
7. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land, and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

4. Proposed Binding Elements

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a certificate of occupancy. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
 - c. A reciprocal access and crossover easement agreement in a form acceptable to the Planning Commission legal counsel shall be created between the adjoining property owners and recorded. A copy of the recorded instrument shall be submitted to the Division of Planning and Design Services; transmittal of approved plans to the office responsible for permit issuance will occur only after receipt of said instrument.
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
4. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
5. There shall be no outdoor music (live, piped, radio or amplified) or outdoor entertainment or outdoor PA system audible beyond the property line.
6. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of

this site and shall advise them of the content of these binding elements. These binding elements shall run with the land, and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.



VARIANCE REQUESTED
 5.3.1 TO ALLOW THE PROPOSED BUILDING TO EXCEED THE 35' MAXIMUM BUILDING HEIGHT BY UP TO 4'.

LEGEND

EXISTING	PROPOSED
— EXISTING TOPO	— S — STORM SEWER
— LANDSCAPE BUFFER AREA	— STORM STRUCTURE
— UGE — UNDERGROUND ELECTRIC	— <== — DRAINAGE ARROW
— SD — STORM DRAINAGE	— SS — SANITARY SEWER
— W — WATER	
— OHU — OVERHEAD UTILITY	
— G — GAS	
— X — FENCE	
— FORM DISTRICT	
— SANITARY SEWER	

AGENCY NOTES

FIRE

- THE SUBJECT PROPERTY IS LOCATED WITHIN THE OKOLONA FIRE DISTRICT. LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ) CONTACT INFORMATION: FRANKIE NALLEY (frankie.nalley@okolonafire.org)
- HYDRANTS: PRIOR TO COMBUSTIBLE PHASE OF CONSTRUCTION AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE, AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LMCO 94.81).
- GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
- EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMUM SIGNAL STRENGTH CRITERIA TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO USAGE OF THE CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
- REQUIREMENTS FOR SPECIFICATIONS OF THE FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX, OR FIREFIGHTER SAFETY BUILDING MARKING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCED FIRE DISTRICT.
- PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, AND DEMOLITION OPERATIONS.

SITE DATA

LAND USE	5400 E MANSLICK RD
SITE ADDRESS:	T.B. 0662; T.L. 0107
EXISTING ZONING DISTRICT:	R-5A
PROPOSED ZONING DISTRICT:	R-5A
EXISTING/PROPOSED FORM DISTRICT:	NEIGHBORHOOD CLUBHOUSE
EXISTING USE:	MULTI-FAMILY
PROPOSED USE:	5.66 ACRES
EXISTING PARCEL AREA:	11539x894
DEED BOOK & PAGE:	
BUILDING DATA/OPEN SPACE	
BUILDING HEIGHT:	38'-7"
BUILDING FOOTPRINT:	51,516 S.F.
GROSS FLOOR AREA:	121,200 S.F.
FLOOR TO AREA RATIO:	0.49
PROPOSED IL UNITS:	68 UNITS
PROPOSED DENSITY:	11.95 UNITS PER ACRE
PERMITTED DENSITY:	12.01 UNITS PER ACRE (68.3 UNITS)
OPEN SPACE REQUIRED (15%):	36,961 S.F.
RECREATIONAL OPEN SPACE REQUIRED:	18,481 S.F.
OPEN SPACE PROVIDED (100% RECREATIONAL):	37,000 S.F.
PARKING CALCULATIONS	
MINIMUM PARKING REQUIRED (1 SPACE/1 UNIT):	68 SPACES
MAXIMUM PARKING PERMITTED (2 SPACES/1 UNIT):	136 SPACES
PARKING PROVIDED:	68 SPACES INDOORS + 17 SURFACE
ACCESSIBLE PARKING PROVIDED:	3 STANDARD ADA SPACES, 1 VAN SPACE
BIKE PARKING REQUIRED/PROVIDED:	N/A
TREE CANOPY CALCULATIONS	
SITE AREA:	246,406 S.F.
EXISTING TREE COVERAGE:	APPROXIMATELY 15% (39,961 S.F.)
PRESERVED TREE CANOPY:	51% (466,090 S.F.)
TREE CANOPY REQUIRED:	35% (86,242 S.F.)
TREE CANOPY PROVIDED:	86,242 S.F.
ILAVUA CALCULATIONS	
VEHICULAR USE AREA:	28,054 S.F.
INTERIOR LANDSCAPE AREA (7.5%):	2,104 S.F.
ILA TREES (1/4000 S.F. + 25%) REQUIRED/PROVIDED:	9 TREES
EPSC DATA (IN DISTURBED AREA)	
EXISTING IMPERVIOUS AREA:	11,793 S.F.
PROPOSED IMPERVIOUS AREA:	94,682 S.F.
SENSITIVE FEATURES:	SINKHOLE
SOIL TYPE:	Brb, Crb, Crc, UaKf
HYDROLOGIC SOIL GROUP:	Brb: C/D, Crb/Crc: B
PRELIMINARY DETENTION CALCULATION	
EXISTING C:	0.38
PROPOSED C:	0.58
AC:	0.20
0.20 x 2.8 x 5.66 / 12 = 0.26 ACRE-FEET	
BUILDING SETBACKS	
FRONT/STREET SIDE:	79' PER INFILL REQUIREMENTS
SIDE:	5'
REAR:	25'

AGENCY NOTES

MSD

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE, FEDERAL ORDINANCES
- SANITARY SEWER WILL UTILIZE NEW LATERAL EXTENSION AND MAY BE SUBJECT TO FEES AND CHARGES. SEWAGE WILL BE TREATED AT THE DEREK GUTHRIE WQTC.
- ON SITE DETENTION TO BE PROVIDED. 100-YEAR POST-DEVELOPED PEAK FLOWS SHALL BE LIMITED TO 10-YEAR PRE-DEVELOPED PEAK FLOWS.
- AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.
- MSD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- KYTC APPROVAL REQUIRED.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL, AND GREASE POLICY.

APCD

- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSION FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.

HEALTH DEPARTMENT

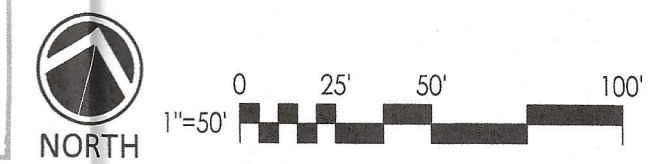
- ALL CONSTRUCTION & SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH & WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.

PDS

- DUMPSTERS TO BE SCREENED COMPLIANT WITH THE LDC.
- ALL SIGNAGE SHALL COMPLY WITH CHAPTER 8 OF THE LDC.
- A GENERAL CROSSOVER AGREEMENT WILL NEED TO BE RECORDED PRIOR TO OBTAINING BUILDING PERMITS TO HAVE THE PARKING OUTSIDE OF THE PROPERTY LINES. THIS AGREEMENT CAN ALSO COVER THE ACCESS FURTHER DOWN COVENTRY WAY.
- KARST SURVEY WAS COMPLETED BY LOGAN YOUNG P.E. ON 4/15/26 AND SEVERAL SINKHOLES/DEPRESSIONS WERE IDENTIFIED ON SITE AND ARE PROVIDED IN THE KARST SURVEY EXHIBIT THAT WAS SUBMITTED WITH THIS APPLICATION.
- STREET TREES TO BE PLANTED IN ACCORDANCE WITH SECTION 10.2.8 OF THE LDC.

MPW

- ALL DRIVING AND PARKING SURFACES TO BE HARD DURABLE MATERIAL.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- CONSTRUCTION PLANS, BOND, AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
- COMPATIBLE UTILITY LINES SHALL BE PLACED IN COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- KYTC APPROVAL REQUIRED.



RECEIVED
 JUN 22 2026
 OFFICE OF PLANNING

Engineering Planning

Seals

Wesley Manor
 5400 E Manslick Rd
 Louisville, KY 40219
 Owner:
 Wesley Manor Retirement Community
 5012 E Manslick Rd
 Louisville, KY 40219

REV #	DATE	DESCRIPTION
1	08/22/2026	Agency Comments
2	06/09/2026	Agency Comments
3	06/22/2026	Agency Comments

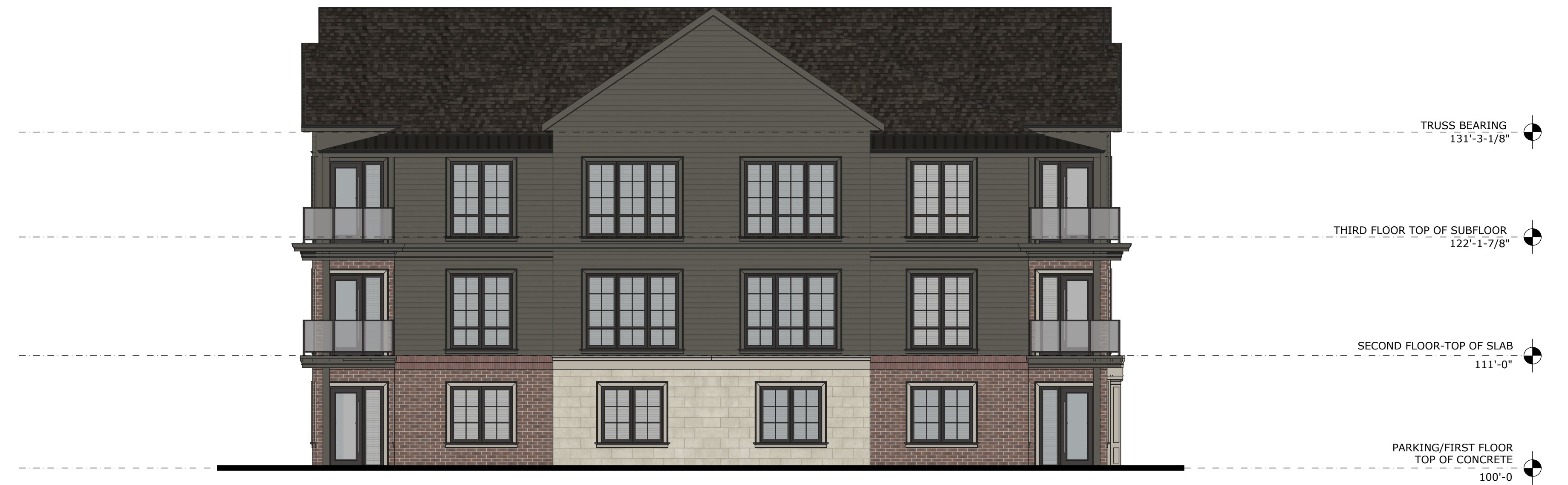
Job No: 23617.000
 Date: April 27, 2026
 Scale: 1"=50'
 Drawn By: CMM
 Checked By: AWB
 Drawing Title: Wesley Manor
 Revised Detailed District Development Plan
 Drawing No: 1 of 1

26-DDP-0021, WM# 3958

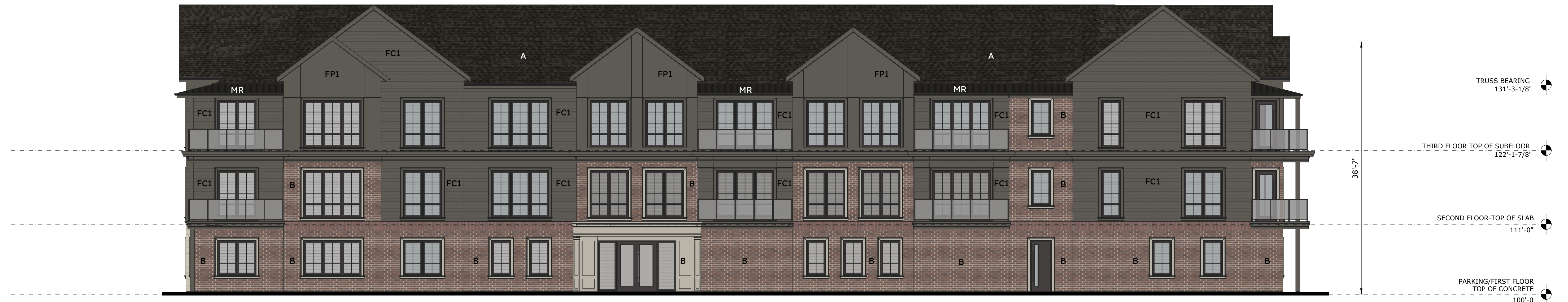
User: cmartindale Plot Date: June 22, 2026 12:42 PM
 File Name: D:\23617.000 - Wesley Manor\DWG - 318-Drawings\Development Plans\DDDP\26317-DDDP.dwg

MATERIAL LEGEND

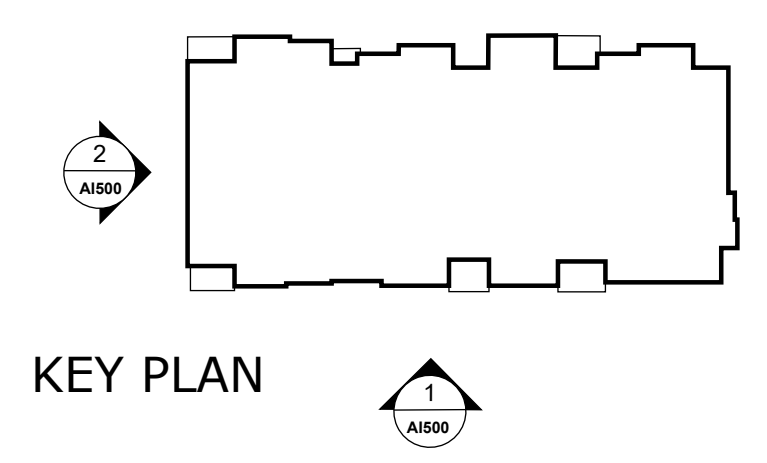
- A - ASPHALT SHINGLE
- B - BRICK
- FC1 - FIBER CEMENT SIDING - COLOR A
- FP1 - FIBER CEMENT PANEL - SMOOTH - COLOR A
- MR - METAL ROOF



ELEVATION 2
Scale: 1/8" = 1'
AI500



ELEVATION 1
Scale: 1/8" = 1'
AI500



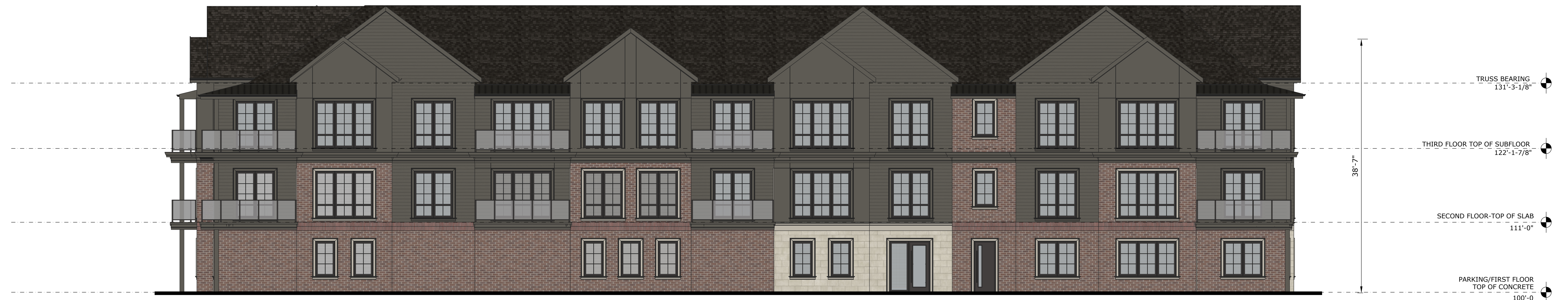
KEY PLAN

MATERIAL LEGEND

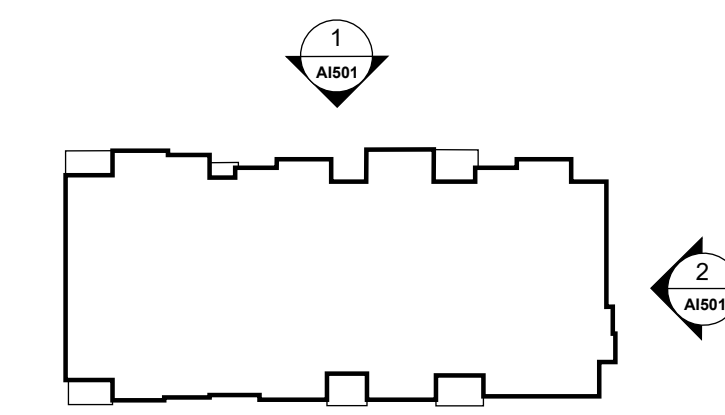
- A - ASPHALT SHINGLE
- B - BRICK
- FC1 - FIBER CEMENT SIDING - COLOR A
- FP1 - FIBER CEMENT PANEL - SMOOTH - COLOR A
- MR - METAL ROOF



ELEVATION 2
 Scale: 1/8" = 1' **AI501**



ELEVATION 1
 Scale: 1/8" = 1' **AI501**



KEY PLAN

FW: New Constituent Contact from Kathy Jones

From Blazis, Heather <heather.blazis@louisvilleky.gov>

Date Tue 6/30/2026 4:26 PM

To Gomez, Catherine <Catherine.Gomez@louisvilleky.gov>; katjo53@gmail.com <katjo53@gmail.com>

Cc Woolridge, Ginny <Ginny.MulveyWoolridge@louisvilleky.gov>

Good afternoon, Ms. Jones. We are forwarding your concern to Catherine Gomez (copied on this email) who is the case manager for this case. She can add your concern to the official record. [@Gomez, Catherine](#) do you share the concern with the developer and/or applicant? Thank you,
Heather



Heather Blazis

Legislative Assistant to Councilwoman Ginny Mulvey-Woolridge

[Louisville Metro Council](#)

[502-574-1124](tel:502-574-1124)

heather.blazis@louisvilleky.gov

[Louisville Metro Council District 24](#)

[601 W Jefferson St • Louisville, KY 40202](#)

From: Smartsheet Automation <automation@app.smartsheet.com>

Sent: Tuesday, June 30, 2026 4:17 PM

To: Blazis, Heather <heather.blazis@louisvilleky.gov>

Subject: New Constituent Contact from Kathy Jones

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New Constituent Contact from Kathy Jones

Kathy Jones used the online Smartsheet form to contact District 24. Please see more information below & use the link to visit Smartsheet.

Details

Changes since 6/30/26, 4:14 PM

1 row added

1 row added or updated (shown in yellow)

[Row 865](#)

First Name	Kathy
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Last Name	Jones
------------------	-------

Phone Number	5027413298
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Email Address	GO
----------------------	--------------------

Street Address	5000 E Manslick Rd
-----------------------	--------------------

ZIP Code	40219
-----------------	-------

Issue	Building Concern
--------------	------------------

Address of Issue	
-------------------------	--

Issue Description	I would like to know what the development at 5400 E Manslick Rd intend to do about drainage and/or retention of water. Our house is downhill from Wesley Manor and this is currently an issue I am unable to attend the meeting on July 20th. Will you attend or can you pass on my concerns?
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Changes made by web-form@smartsheet.com

You are receiving this email because you are subscribed to a workflow "New Smartsheet Record" (ID# 827343175477124) on sheet [Constituent Issue Tracker](#)

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JUSTIFICATION

To justify approval of any district development plan, the Planning Commission considers the following criteria.
Please answer **ALL** of the following items. Use additional sheets if needed. Responses of **Yes**, **No**, or **N/A** will **NOT** be accepted.

1. Are there any natural resources on the property, including trees and other living vegetation, steep slopes, water courses, flood plains, soils, air quality, scenic views, and historic sites? And are these natural resources being preserved?

There are scattered trees on site, some of may be removed with a denser treed area in the south near a sinkhole. It is the intent not to disturb the sinkhole and to preserve as many trees in the south of the site as possible.

2. Is safe and efficient vehicular and pedestrian transportation provided both within the development and the community?

A loop driveway access each building/garage and connects to existing infrastructure to the west. Extensive internal sidewalk network has been developed and connects to the west.

3. Is sufficient open space (scenic and recreational) to meet the needs of the proposed development being provided?

Various outdoor active and passive activity areas are provided on site.

4. Are provisions for adequate drainage facilities provided on the subject site in order to prevent drainage problems from occurring on the subject site or within the community?

Stormwater will be collected via basins and conveyed to a new detention basin that will outlet into an existing sinkhole.

5. Is the overall site design (location of buildings, parking lots, screening, landscaping) and land use or uses compatible with the existing and projected future development of the area?

This development provides a less dense development than the condos to the west which is a good transition to the single family to the east.

6. Is the proposal in conformance with the Comprehensive Plan and Land Development Code?

The plan complies with the comprehensive plan by providing alternative housing style in the Neighborhood Form District in the form of multi-family and senior living.



Engineering
Planning

9920 Corporate Campus Drive, Suite 1200
Louisville, Kentucky 40223
Ph. 502-585-2222
Fx. 502-581-0406
www.qk4.com

April 27, 2026

Planning and Design Services
Louisville / Jefferson County Metro Government
444 South 5th Street
Suite 300
Louisville, Kentucky 40202

**Wesley Manor Independent Living
5400 E Manslick Road 40219
Revised Detailed District Development Plan**

To Whom It May Concern,

A Revised Detailed District Development Plan is being filed to construct four three-story hybrid home (condo style) independent senior living buildings on the existing nursing home campus of Wesley Manor. The site currently houses a community center. There are 68 units and a separate building for resident common space proposed. Outdoor recreational space is also included with the new development. Permitted density for R-5A is 12.01 units/acre, and the new development will provide 11.95 units/acre. 85 new parking spaces are being provided; each unit has an interior garage space, and there are 17 surface spaces being provided. Vehicular access and pedestrian sidewalks are proposed throughout the site. An existing curb cut is being shifted east.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ashley W. Bartley'.

Ashley W. Bartley, RLA
Project Manager



Louisville Metro Government

Text File

File Number: 26-DDP-0024

Agenda Date: 7/15/2026

Version: 1

Status: New Business

In Control: Development Review Committee

File Type: Planning Case

Agenda Number: 11.



26-DDP-0024

Development Review Committee
Staff Report
July 15, 2026

Intertech Group, LLC – Shop Addition

Location: 5836 Fern Valley Road
Applicant: Intertech Group, LLC
Representative: White Professional Contracting
Jurisdiction: Louisville Metro
Council District: 24 – Ginny Mulvey-Woolridge
Case Manager: Zach Schwager, Planner I

REQUEST & RECOMMENDED ACTION

1. **Revised Detailed District Development Plan** with Revision to Binding Elements
 - Staff finds the justification for the request is adequate and recommends the Development Review Committee **APPROVE** the Revised Detailed District Development Plan

CASE SUMMARY

The subject site is currently zoned PEC Planned Employment Center within the Suburban Workplace Form District on 3.8 acres. The proposed development plan would expand an existing industrial use that fronts Fern Valley Road. The area that is to be developed is part of the Poplar Park industrial area and the applicant is proposing to construct a 32 feet tall, 10,000 square feet workspace.

CASE HISTORY

- **9-41-75:** Change in zoning from Multi-Family to Industrial
- **19-DDP-0072:** Detailed District Development Plan for warehouse

TECHNICAL REVIEW

- Comprehensive Plan 2040
- Land Development Code (Louisville Metro 2025)
- The Metropolitan Sewer District (MSD) has provided preliminary approval.
- Transportation Planning has provided preliminary approval.

STANDARD OF REVIEW AND STAFF ANALYSIS FOR REVISED DETAILED DISTRICT DEVELOPMENT PLAN WITH REVISION TO BINDING ELEMENTS

(a.) *The conservation of natural resources on the property proposed for development, including: trees and other living vegetation, steep slopes, water courses, flood plains, soils, air quality, scenic views, and historic sites;*

STAFF FINDING: There are no natural resources on the subject property other than the existing tree canopy at the rear and tree canopy requirements of the Land Development Code (LDC) will be provided. There is no increase in impervious surface area.

(b.) *The provisions for safe and efficient vehicular and pedestrian transportation both within the development and the community;*

STAFF FINDING: Provisions for safe and efficient vehicular and pedestrian transportation within and around the development and the community has been provided. Metro Public Works has approved the preliminary development plan.

(c.) *The provision of sufficient open space (scenic and recreational) to meet the needs of the proposed development;*

STAFF FINDING: There are no open space requirements for the proposed development.

(d.) *The provision of adequate drainage facilities on the subject site in order to prevent drainage problems from occurring on the subject site or within the community;*

STAFF FINDING: MSD has preliminarily approved the development plan and will ensure the provision of adequate drainage facilities on the subject site to prevent drainage problems from occurring on the subject site or within the community.

(e.) *The compatibility of the overall site design (location of buildings, parking lots, screening, landscaping) and land use or uses with the existing and projected future development of the area;*

STAFF FINDING: The overall site design and land uses are compatible with the existing and future development of the area.

(f.) *Conformance of the development plan with the Comprehensive Plan and Land Development Code. Revised plan certain development plans shall be evaluated for conformance with the non-residential and mixed-use intent of the form districts and comprehensive plan.*

STAFF FINDING: The development plan conforms to all applicable guidelines and policies of the Comprehensive Plan and to requirements of the Land Development Code. Policy 3.1.10 of Plan 2040

states, the Suburban Workplace form is characterized by predominately industrial and office uses where the buildings are set back from the street in a landscaped setting. Suburban Workplaces often contain a single large-scale use or a cluster of uses within a master planned development.

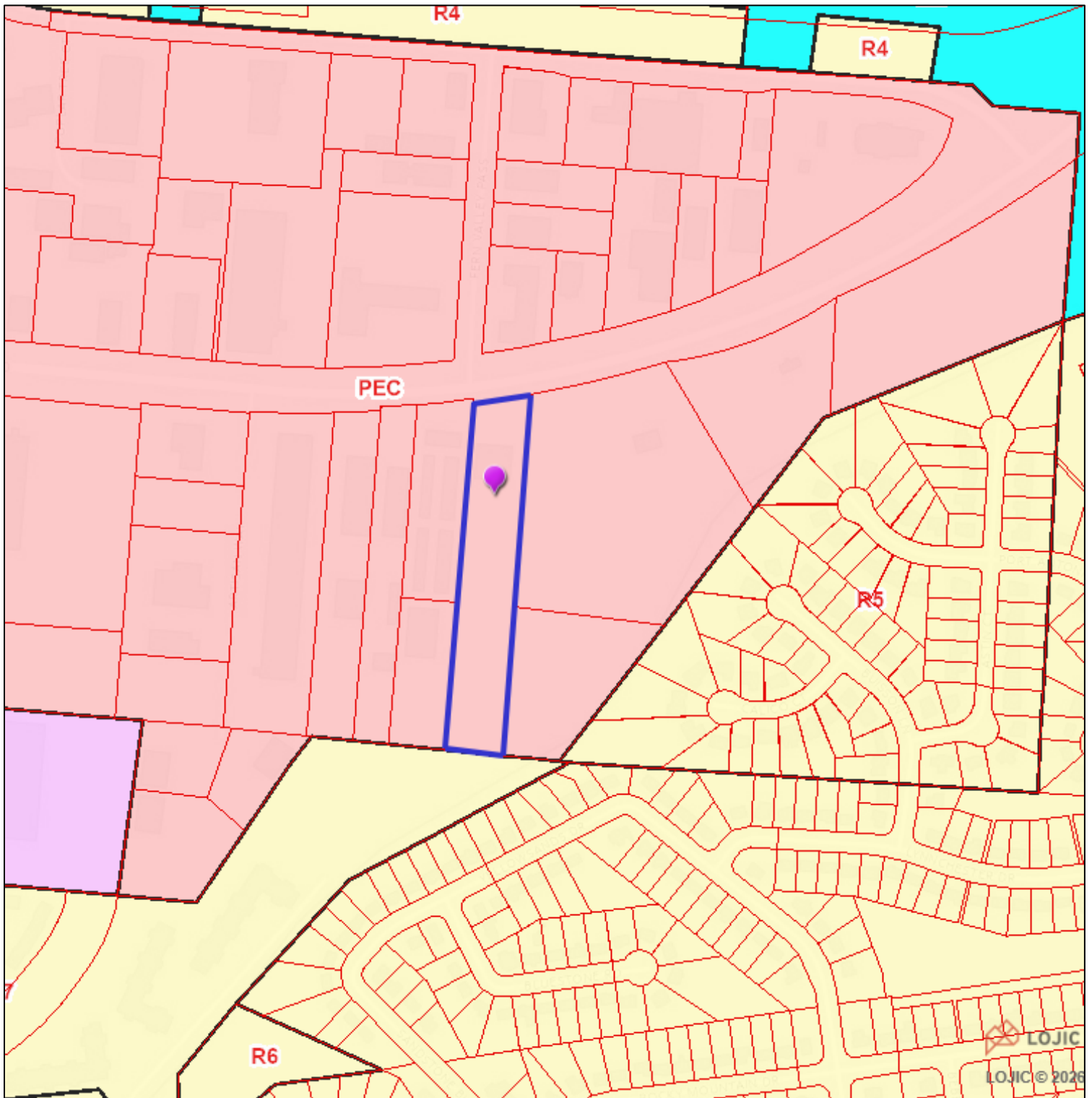
NOTIFICATION

DATE	PURPOSE OF NOTICE	RECIPIENTS
7/1/2026	Development Review Committee Public Hearing	1st tier adjoining property owners and current residents; Registered Neighborhood Groups in Council District 24

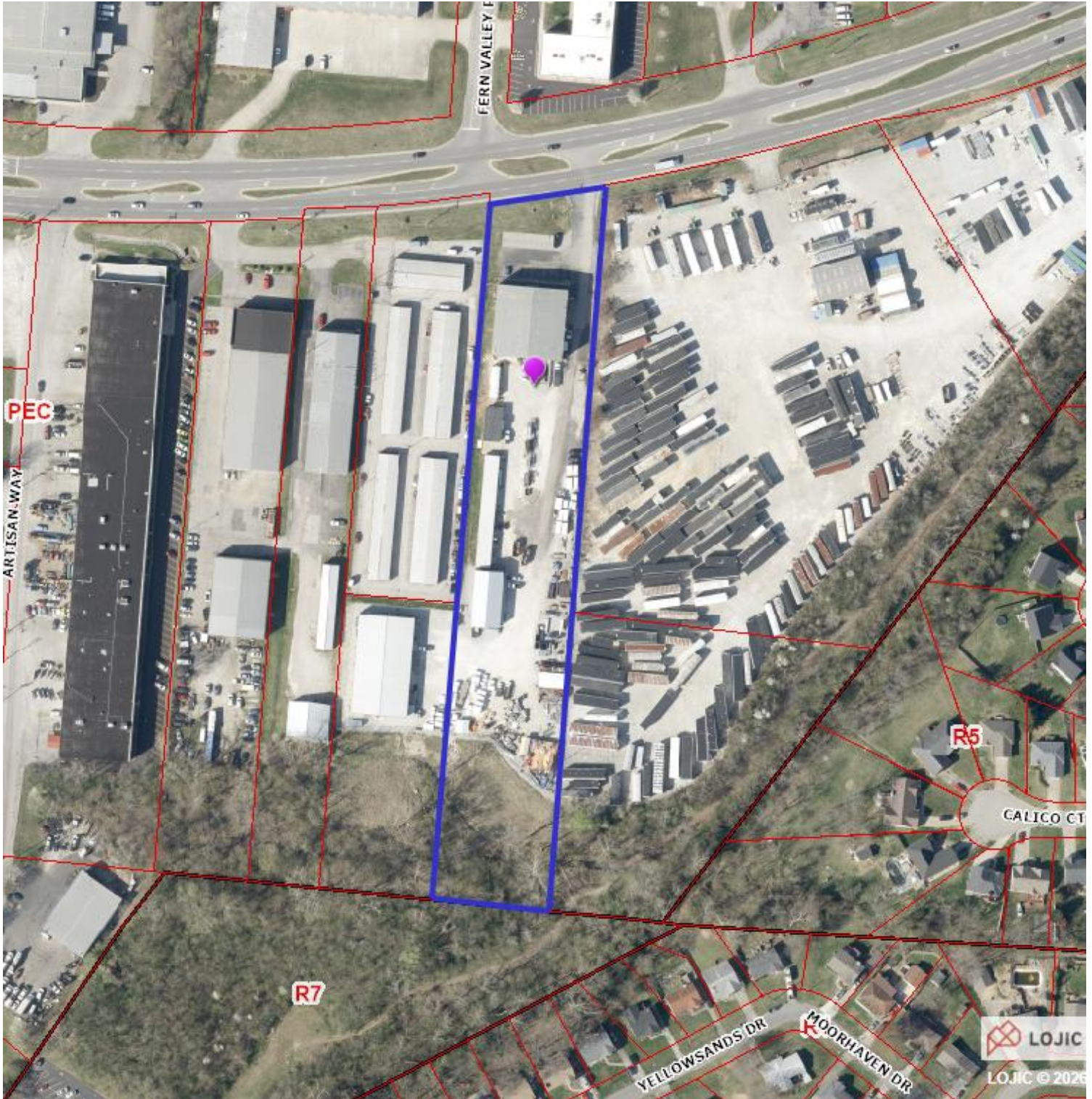
ATTACHMENTS

1. Zoning Map
2. Aerial Photograph
3. Existing Binding Elements with Proposed Revisions
4. Proposed Binding Elements

1. ZONING MAP



2. AERIAL PHOTOGRAPH



3. EXISTING BINDING ELEMENTS WITH PROPOSED REVISIONS

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee ~~(and to the City of Lyndon, St. Matthews, Hurstbourne, or Middletown etc)~~ for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. ~~Prior to development (includes clearing and grading) of each site or phase of this project, the applicant, developer, or property owner shall obtain approval of a detailed district development plan in accordance with Chapter 11, Part 6. Each plan shall be in adequate detail and subject to additional binding elements.~~
3. ~~No outdoor advertising signs, small freestanding signs, pennants, balloons, or banners shall be permitted on the site.~~
4. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
5. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested:
 - a) The development plan must receive full construction approval from ~~Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.~~
 - b) ~~Encroachment permits must be obtained from the Kentucky Transportation Cabinet.~~
 - c) ~~A minor plat or legal instrument shall be recorded consolidating the property into one lot. A copy of the recorded instrument shall be submitted to the Division of Planning and Design Services prior to obtaining a building permit.~~
 - d) ~~A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.~~ **The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.**
 - e) ~~The materials and design of proposed structures shall be substantially the same as depicted in the rendering as presented at~~

~~the April 23, 2020 Planning Commission meeting. A copy of the approved rendering is available in the case file on record in the offices of the Louisville Metro Planning Commission.~~

- ~~6. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.~~
- ~~7. There shall be no outdoor music (live, piped, radio or amplified) or outdoor entertainment or outdoor PA system audible beyond the property line.~~
8. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

4. PROPOSED BINDING ELEMENTS

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
3. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested:
 - a) The development plan must receive full construction approval from Louisville Metro Public Works and the Metropolitan Sewer District.
 - b) The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter

10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.

4. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use.
5. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.

OWNER
 INTERTECH GROUP, LLC
 5836 FERN VALLEY ROAD
 LOUISVILLE, KY 40228-1052

SITE DATA
 TRACT 1:
 5836 FERN VALLEY ROAD
 LOUISVILLE, KY 40228
 D.B. 10041, Pg. 784
 TAX BLOCK 2091, LOT 39
 TRACT 1 SITE AREA: 23.641 ACRES
 TRACT 2 SITE AREA: 21.473 ACRES
 TOTAL SITE AREA: 25.114 ACRES
 FORM DISTRICT: SUBURBAN WORKPLACE
 EX. ZONING: SUBURBAN WORKPLACE
 EX. LAND USE: INDUSTRIAL/VACANT
 FR. LAND USE: INDUSTRIAL
 P.A.R.: 0.12
 EX. BUILDING: 15,150 SF
 FR. BUILDING: 11,200 SF
 TOTAL BUILDING: 26,350 SF
 PERCENTAGE OF CHANGE: 74%

SETBACK DATA
 MIN. FRONT YARD: 65' FRONT CL
 MAX. FRONT YARD: 270' FRONT CL
 STREET SIDE YARD: 30' FROM CL
 SIDE YARD: NONE
 REAR YARD: NONE
 MAX. BUILDING HEIGHT: 50'

PARKING SUMMARY
 EMPLOYEES (1 BY SHIFT ONLY, NO 2ND OR 3RD SHIFT OF EMPLOYEES): 30 TOTAL
 MINIMUM PARKING REQUIRED (1 SPACE/1.5 EMPLOYEES): 20 SPACES
 MAXIMUM PARKING PERMITTED (1 SPACE/1 EMPLOYEE): 30 SPACES
 TOTAL PARKING PROVIDED: 20 SPACES

BICYCLE SUMMARY
 SHORT TERM REQUIRED (NONE): NA
 LONG TERM REQUIRED (2 SPACES OR 1/50 EMPLOYEES): 2 SPACES
 TOTAL SHORT LONG TERM PARKING PROVIDED: 2 SPACES
 NOTE: LONG TERM BIKE PARKING WILL BE PROVIDED INSIDE.

LANDSCAPE DATA
 EXISTING V.U.A.: 10,643 SF
 EXISTING V.U.A. REMOVED: 515 SF
 TOTAL V.U.A.: 10,128 SF
 I.L.A. REQUIRED (5%): 509 SF
 I.L.A. PROVIDED: 515 SF

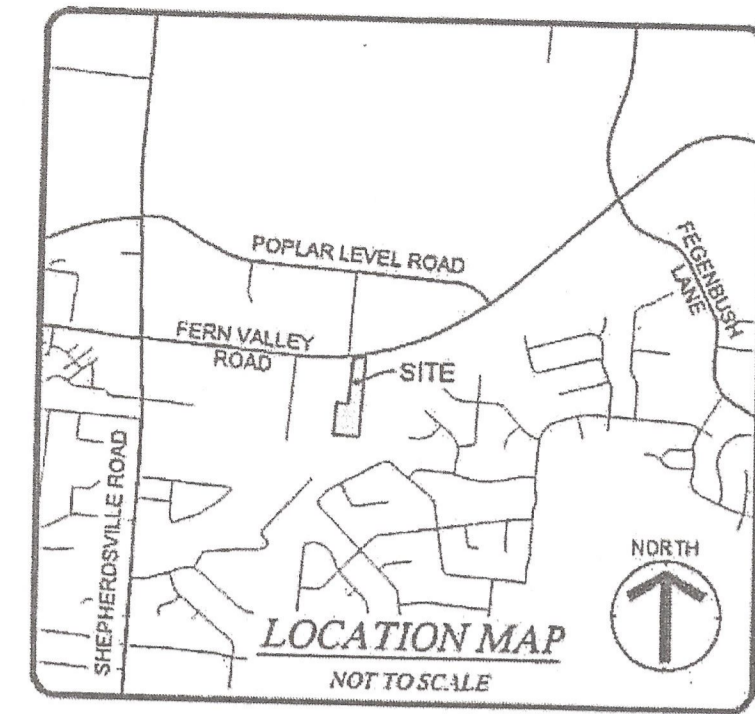
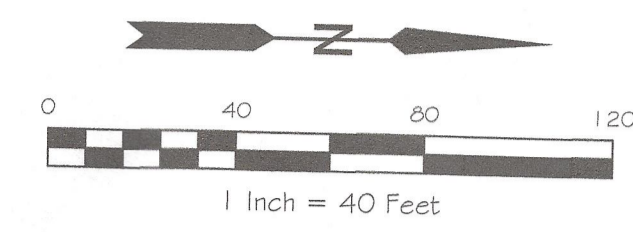
TREE CANOPY CALCULATIONS
 GROSS SITE AREA: 222,766 SF
 AREA OF SITE WITH EX. TREE CANOPY: 82,612 SF (37%)
 CANOPY COVERAGE CLASS: CLASS C - 0% - 40%
 TREE CANOPY REQUIRED: 20% - 45,233 SF
 TREE CANOPY TO BE PRESERVED: NONE
 TREE CANOPY TO BE PLANTED: 44,533 SF (20%)
 TOTAL TREE CANOPY PROVIDED: 44,533 SF (20%)
 *NOTE: IF AT TIME OF CONSTRUCTION PLAN PREPARATION AND BASED ON FINAL SITE GRADING, TREE CANOPY AREAS CAN BE DETERMINED TO REMAIN, THEY MAY BE INCLUDED AS PART OF THE PROJECT AND WILL BE SHOWN ON THE LANDSCAPE PLAN AS TREE CANOPY CREDIT AREAS (TCCA).

LAYOUT & UTILITY NOTES

- CONTRACTOR IS TO CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- CONTRACTOR TO COORDINATE ALL BUILDING SERVICE UTILITY CONNECTIONS (DOMESTIC WATER, FIRE, ELECTRIC, GAS & TELECOMMUNICATION), SIZES, ELEVATIONS & LOCATIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR ALL UTILITY CONNECTION LOCATIONS AND FEES.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL TRAFFIC SIGNS & PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF THE MUTCD.
- ROADWAY DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADI NOT LABELED SHALL BE 4"R.

LDC REVIEWER REQUESTED COMMENTS ADDED

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- MSD SITE DISTURBANCE PERMIT REQUIRED PRIOR TO ISSUE OF BUILDING PERMITS.
- SANITARY SEWER SERVICE PROVIDED BY PSC, SUBJECT TO FEES AND ANY APPLICABLE CHARGES.
- THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCREMENTAL AREA OF DISTURBANCE SUMS EQUAL TO OR GREATER THAN 1 ACRE OF DISTURBANCE. PER THIS PRELIMINARY DEVELOPMENT PLAN THE AREA OF DISTURBANCE IS 200 S.F.
- AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.



PROPOSED BUILDING SUMMARY
 BUILDING HEIGHT MAX: 35 FT
 HEIGHT PROPOSED: 18 FT (SEE ATTACHED ELEVATIONS)
 BUILDING FOOTPRINT BETWEEN 30,000 & 40,000 SQ FT

EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON ABOVE GROUND EVIDENCE AT THE TIME OF SURVEY AND VERBAL REPORTS FROM OWNER. OTHER ABOVE AND BELOW GROUND UTILITIES AND FEATURES MAY EXIST WHICH ARE NOT SHOWN ON THIS DRAWING.

THE ENGINEER AND THE OWNER EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION GIVEN ON THE DRAWINGS WITH REGARD TO EXISTING STRUCTURES, AND THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY EXTRA COMPENSATION ON ACCOUNT OF INACCURACY OR INCOMPLETENESS OF SUCH INFORMATION, SAID STRUCTURES BEING INDICATED ONLY FOR THE CONVENIENCE OF THE CONTRACTOR, WHO MUST VERIFY THE INFORMATION TO HIS OWN SATISFACTION.

THE SUPPLYING OF THIS INFORMATION UPON THE CONTRACT DRAWINGS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO SUPPORT AND PROTECT ALL PIPES, CONDUIT AND OTHER STRUCTURES WHICH MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK, AND TO MAKE GOOD ALL DAMAGES DONE TO SUCH PIPES, CONDUITS AND OTHER STRUCTURES.

THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND OBSTRUCTIONS PRIOR TO EXCAVATION SO AS TO PREVENT ANY DAMAGE TO THOSE SERVICES OR OTHER UTILITIES. ANY SUCH DAMAGES SHALL BE REPAIRED WITHOUT DELAY AND THE COST OF SUCH REPAIRS MUST BE BORNE BY THE CONTRACTOR.

PRIOR TO START OF ANY WORK, CONTRACTOR MUST LOCATE ALL UNDERGROUND AND AERIAL UTILITIES AS WELL AS FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES.

CONTRACTOR MUST COORDINATE FINAL LOCATIONS, SIZE CONNECTION AND METER WITH PROVIDER, OWNER AND SUB-CONTRACTOR(S).

FIELD VERIFY SIZES, LOCATIONS AND INVERTS OF EXISTING SANITARY PIPES BEFORE ORDERING SEWER STRUCTURES. COORDINATE FINAL LOCATIONS, SIZE, CONNECTION AND INVERTS WITH PROVIDER, OWNER AND SUBCONTRACTOR(S).

CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS WITH THE UTILITY PROVIDER OWNER AND SUBCONTRACTOR(S).

EXERCISE CAUTION WHEN CROSSING EXISTING UTILITIES. COORDINATE ANY TEMPORARY OUTAGE AND CONNECTIONS WITH THE INDIVIDUAL UTILITY PROVIDERS.

PROVIDE 24" MIN. EARTH BURIAL FOR UNDERGROUND UTILITIES OR CODE MINIMUMS, WHICHEVER IS MORE STRINGENT.

SEE GRADING AND DRAINAGE PLAN FOR STORM SEWER PIPELINE DETAILS.

OVERHEAD ELECTRIC 3" CONDUIT & CONDUCTORS, COORDINATE LOCATION OF TRANSFORMER, PAD & METER WITH PROVIDER, OWNER AND SUBCONTRACTORS.

FIELD VERIFY LOCATION OF SERVICE LINE TO BUILDING

UTILITY SERVICE PROVIDERS
 ELECTRIC - LOUISVILLE GAS & ELECTRIC
 DOMESTIC WATER SUPPLY - LOUISVILLE WATER CO.
 SANITARY SEWER - METROPOLITAN SEWER DISTRICT
 NATURAL GAS - LOUISVILLE GAS & ELECTRIC

MSD NOTES:

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- MSD SITE DISTURBANCE PERMIT REQUIRED PRIOR TO ISSUE OF BUILDING PERMITS.
- SANITARY SEWER SERVICE PROVIDED BY PSC, SUBJECT TO FEES AND ANY APPLICABLE CHARGES.
- THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCREMENTAL AREA OF DISTURBANCE SUMS EQUAL TO OR GREATER THAN 1 ACRE OF DISTURBANCE. PER THIS PRELIMINARY DEVELOPMENT PLAN, THE AREA OF DISTURBANCE IS 1,2750 S.F.
- AN EPSC PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.

The Highview Neighborhood Plan applies to the site.

EXISTING IMPERVIOUS AREA: 54,887 S.F.
 PROPOSED IMPERVIOUS AREA: 54,887 S.F.

RECEIVED

JUN 25 2026

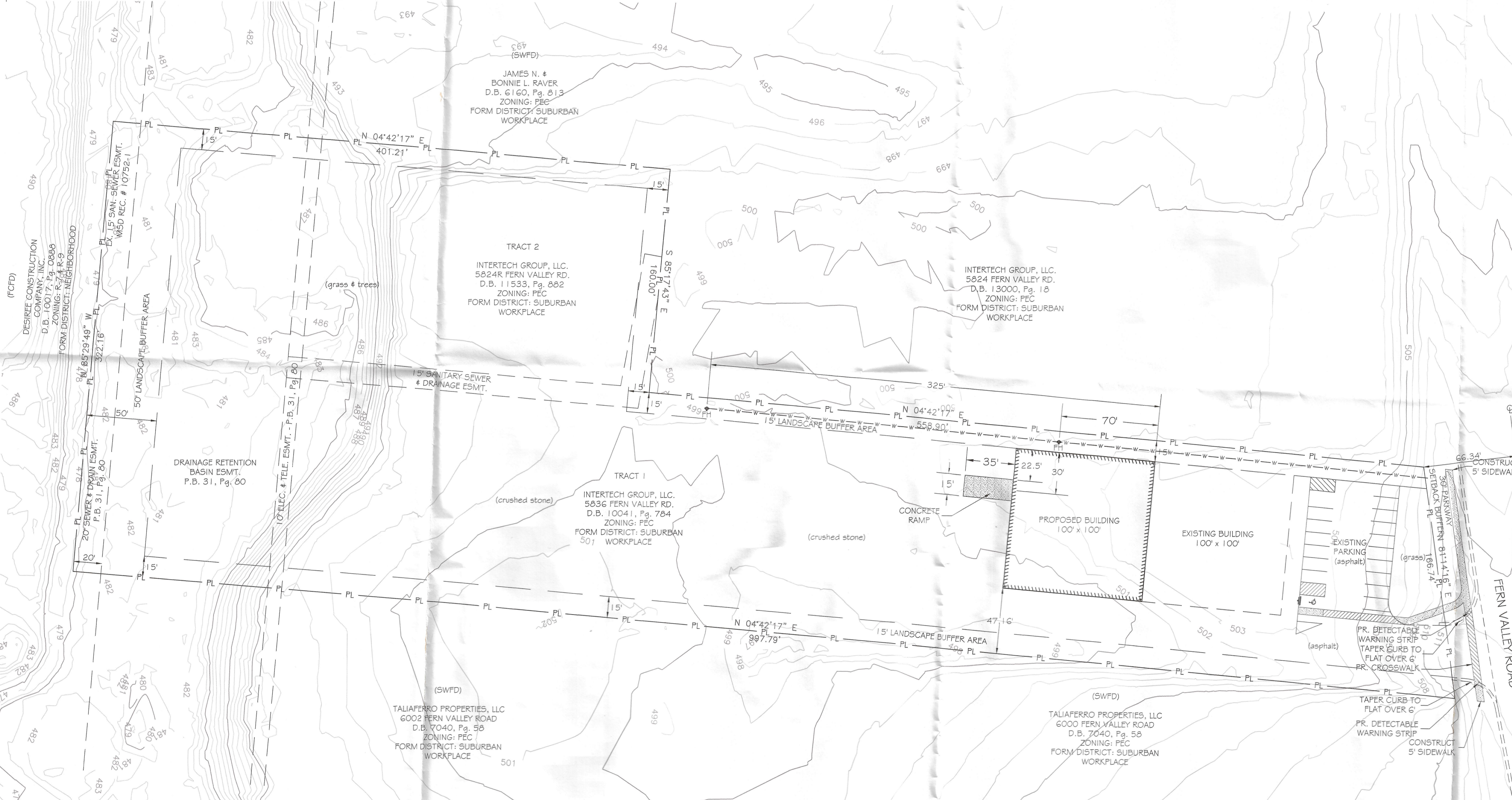
OFFICE OF PLANNING

WM No. 3574
 Case No. 26-DDP-0024
 DOC No. 9-41-75

SCALE: AS INDICATED
 JOB NO.: 2026-114A

SHEET NUMBER:

C2.0



UTILITY NOTE:
 ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "B.C.D." (TOLL FREE PHONE NO. 1-800-752-6007) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

NOTICE:
 The Architect/Engineer does not define the scope of individual trades, subcontractors, material suppliers, or vendors. Any sheet numbering system used which identifies disciplines is solely for the Architect/Engineer's convenience, and is not intended to define a subcontractor's scope of work. Information regarding individual trades, subcontractors, material suppliers, and vendors may be detailed, described and indicated at different locations throughout these documents. No consideration will be given to requests for change orders for failure to obtain and review the complete set of drawings and specifications when preparing bids, prices and quotations.



EXISTING LEGEND

ADJOINER INFO	LANDSCAPE
BUILDING HOUSE LINE	OVERHEAD ELECTRIC
DIM	PARKING STRIPE
EASEMENTS	SEWER SANITARY LINE
EDGE OF PAVEMENT	SEWER STORM LINE
FINAL BOUNDARY	SIDEWALK
GUTTER	WATER LINE
	FIRE HYDRANT

PROPOSED LEGEND

BUILDING HOUSE LINE	GUTTER
CONCRETE	LANDSCAPE
EDGE OF PAVEMENT	PARKING STRIPE
FENCE CHAINLINK	SEWER STORM LINE
	SIDEWALK

EROSION CONTROL LEGEND

SILT FENCE	TEMPORARY CONCRETE WASHOUT FACILITY
TEMPORARY TOPSOIL STOCKPILE	TEMPORARY CONSTRUCTION ENTRANCE / EXIT
CATCH BASIN WITH INLET PROTECTION	

Note:
 Compatible utilities shall be placed in a common trench unless otherwise required by appropriate agencies.

26-DDP-0024

LEGEND
NOT TO SCALE

EX. TREE	PR. STORM SEWER w/ EPSC ROCK CHICK
EX. FIRE HYDRANT	PR. SANITARY SEWER
EX. LIGHT POLE	PR. PROPERTY SERVICE CONNECTION
EX. UTILITY POLE	PR. SMILE
EX. SIGN	PR. CONCRETE
EX. PROPERTY LINE	PR. EDGE OF PAVEMENT
EX. CONTOUR LINE	PR. CONTOUR LINE
EX. FENCE	PR. FENCE
EX. SWALE	PR. SILT FENCE
EX. STORM SEWER	PR. DRAINAGE FLOW
EX. SANITARY SEWER	PR. DETENTION/FLOODPLAIN FILL COMPENSATION AREA
EX. CONCRETE	LIMITS OF PROPOSED BUILDING
EX. EDGE OF PAVEMENT	LIMITS OF PROPOSED GRAVEL
LIMITS OF EXISTING BUILDING	
LIMITS OF EXISTING GRAVEL	

NOTICE
PERMITS SHALL BE ISSUED
ONLY IN CONFORMANCE
WITH THE BINDING ELEMENTS
OF THIS DISTRICT
DEVELOPMENT PLAN.

OWNER
INTERTECH GROUP, LLC
5836 FERN VALLEY ROAD
LOUISVILLE, KY 40228-1052

SITE DATA
TRACT 1:
5836 FERN VALLEY ROAD
LOUISVILLE, KY 40228
D.B. 10041, PG. 784
TAX BLOCK 2091, LOT 39

TRACT 2:
5824R FERN VALLEY ROAD
LOUISVILLE, KY 40228
D.B. 11533, PG. 882
TAX BLOCK 2091, LOT 69

TRACT 1 SITE AREA: ±3.641 ACRES
TRACT 2 SITE AREA: ±1.473 ACRES
TOTAL SITE AREA: ±5.114 ACRES
SUBURBAN WORKPLACE
EX. ZONING: PEC
EX. LAND USE: INDUSTRIAL/VACANT
PR. LAND USE: INDUSTRIAL
F.A.R.: 0.12
EX. BUILDING: 15,150 SF
PR. BUILDING: 11,200 SF
TOTAL BUILDING: 26,350 SF
PERCENTAGE OF CHANGE: 74%

SETBACK DATA
MIN. FRONT YARD: 65' FROM C/L
MAX. FRONT YARD: 275' FROM C/L
STREET SIDE YARD: 30' FROM C/L
SIDE YARD: NONE
REAR YARD: NONE
MAX. BUILDING HEIGHT: 50'

PARKING SUMMARY
EMPLOYEES (1ST SHIFT ONLY, NO 2ND OR 3RD SHIFT OF EMPLOYEES): 30 TOTAL
MINIMUM PARKING REQUIRED (1 SPACE/1.5 EMPLOYEES): 20 SPACES
MAXIMUM PARKING PERMITTED (1 SPACE/2 EMPLOYEES): 30 SPACES
TOTAL PARKING PROVIDED: 20 SPACES

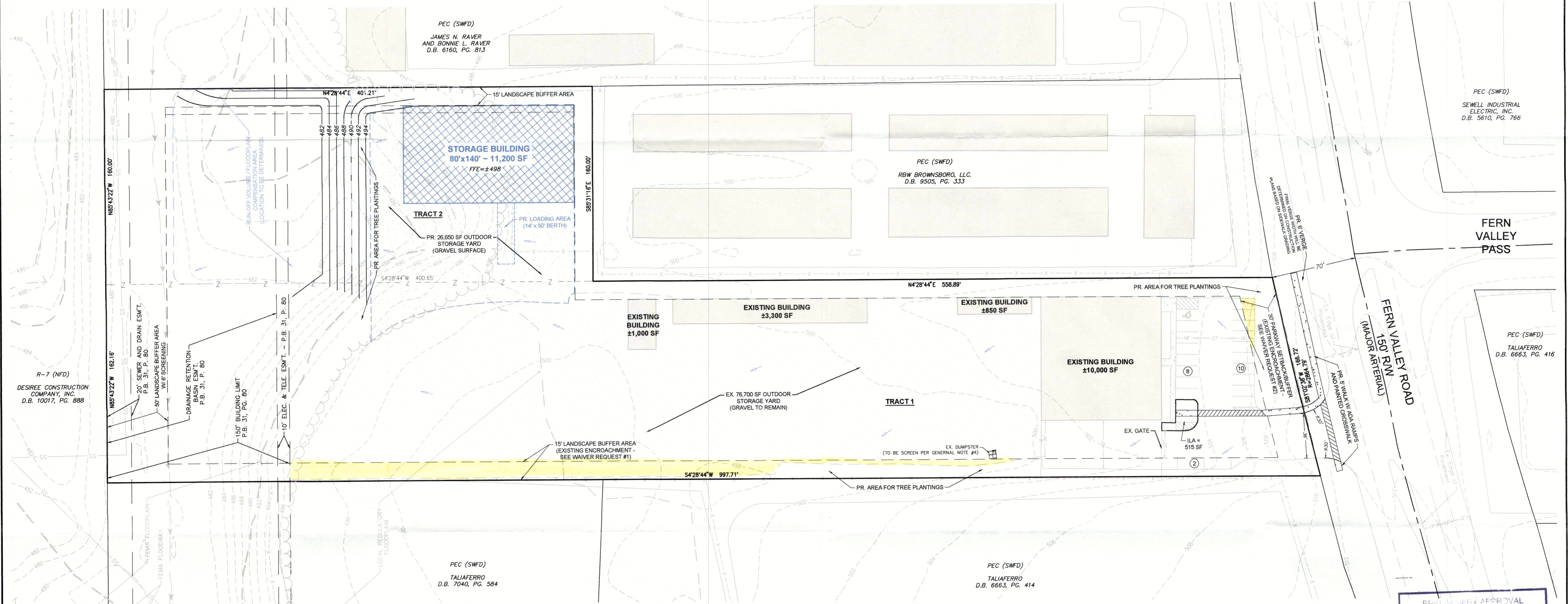
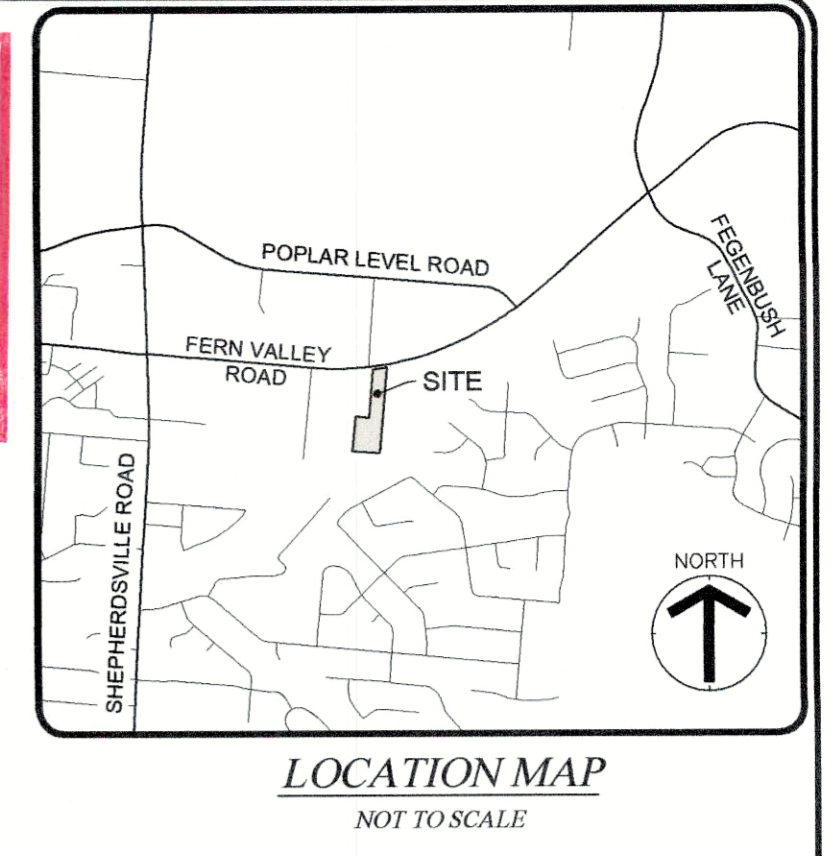
BICYCLE SUMMARY
SHORT TERM REQUIRED (NONE): N/A
LONG TERM REQUIRED (2 SPACES OR 1/50 EMPLOYEES): 2 SPACES
TOTAL SHORT/LONG TERM PARKING PROVIDED: 2 SPACES
NOTE: LONG TERM BIKE PARKING WILL BE PROVIDED INSIDE.

LANDSCAPE DATA
EXISTING V.U.A.: 10,683 SF
EXISTING V.U.A. REMOVED: -515 SF
TOTAL V.U.A.: 10,168 SF
I.L.A. REQUIRED (5%): 508 SF
I.L.A. PROVIDED: 515 SF

TREE CANOPY CALCULATIONS
GROSS SITE AREA: 222,766 SF
AREA OF SITE WITH EX. TREE CANOPY: 82,612 SF (37%)
CANOPY COVERAGE CLASS: CLASS C ~ 0%-40%
TREE CANOPY REQUIRED: 20% ~ 43,233 SF
TREE CANOPY TO BE PRESERVED: NONE
TREE CANOPY TO BE PLANTED: 44,553 SF
TOTAL TREE CANOPY PROVIDED: 44,553 SF (20%)

NOTE: IF AT TIME OF CONSTRUCTION PLAN PREPARATION AND BASED ON FINAL SITE GRADING, TREE CANOPY AREAS CAN BE DETERMINED TO REMAIN. THEY MAY BE INCLUDED AS PART OF THE PROJECT AND WILL BE SHOWN ON THE LANDSCAPE PLAN AS TREE CANOPY CREDIT AREAS (TCCA).

APPROVED DISTRICT DEVELOPMENT PLAN
DOCKET NO. 19-DDP-0072
APPROVAL DATE: 04-23-2020
EXPIRATION DATE: 04-23-2022
SIGNATURE OF PLANNING COMMISSION: *Javel*
COMMISSION PLANNING



PRELIMINARY APPROVAL DEVELOPMENT PLAN
CONDITIONS:
BY: *Javel*
DATE: 3/11/20
LOUISVILLE/JEFFERSON COUNTY
The New Look For Digging Safely in Kentucky.
Kentucky 811
Call 811 Before You Dig

WAIVERS REQUESTED

- A WAIVER IS REQUESTED FROM CHAPTER 10, PART 2 - SECTION 10.2.A.8.B OF THE LAND DEVELOPMENT CODE TO REDUCE THE 15-FT PEC-LBA ALONG A PORTION OF THE EASTERN PROPERTY LINE TO ALLOW THE EXISTING OUTDOOR STORAGE AREA TO ENCRoACH AS SHOWN.
- A WAIVER IS REQUESTED FROM CHAPTER 10, PART 3 - SECTION 10.3.5.A.1 TABLE 10.3.1 OF THE LAND DEVELOPMENT CODE TO REDUCE THE 30-FT FERN VALLEY ROAD PARKWAY BUFFER TO ALLOW A PORTION OF THE SIX (6) EXISTING PARKING SPACES TO ENCRoACH AS SHOWN.

GENERAL NOTES

- DOMESTIC WATER SUPPLY: SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
- THE DEVELOPMENT LIES IN THE HIGHWAY FIRE DISTRICT.
- ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJACENT RESIDENTIAL AREAS.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH CHAPTER 10.
- MIGRATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT PARTICULATE MATTER FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED/PERMITTED BY APPROPRIATE AGENCIES.
- DEED OF CONSOLIDATION TO BE RECORDED TO CONSOLIDATE THESE PARCELS AS SHOWN ON THIS PLAN.
- PER LDC CHAPTER 9, SECTION 9.1.12.C, CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE WILL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJACENT SIDEWALKS, PROPERTIES OR PUBLIC RIGHT-OF-WAY, TO PROTECT LANDSCAPED AREAS AND TO PROTECT ADJACENT PROPERTIES.
- A KARST SURVEY - REPORT DATED JANUARY 29, 2020 - WAS PERFORMED BY ECS SOUTHEAST, LLP, PER CHAPTER 4, PART 9 OF THE LAND DEVELOPMENT CODE.

MSD NOTES

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH THE LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS.
- WASTEWATER: NO SANITARY SEWER SERVICE WILL BE REQUIRED. EXISTING SANITARY SEWER FLOW IS TREATED AT THE DEREK R. GUTHRIE WATER QUALITY TREATMENT CENTER.
- DRAINAGE: DRAINAGE PATTERN DEPICTED BY ARROWS (→) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES, CHANNELS AND WATER QUALITY METHODS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
- A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (2111C0095E REV. DECEMBER 5, 2006).
- AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITY.
- INCREASED STORM WATER RUNOFF VOLUME CALCULATED BY THE RFF CALCULATION SHALL BE COMPENSATED ON-SITE BELOW THE FEMA FLOODPLAIN ELEVATION AT A RATIO OF 1.5 TO 1 IN LIEU OF ON-SITE DETENTION.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE CONSTRUCTION DESIGN PHASE DUE TO PROPERTY SIZING OF GREEN BEST MANAGEMENT PRACTICES.
- ANY FILL IN THE FLOODPLAIN SHALL BE COMPENSATED ON-SITE AT A 1:1.5 RATIO.
- KDOW APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- MSD FLOODPLAIN PERMIT REQUIRED PRIOR TO ISSUE OF ANY BUILDING PERMITS.
- LOWEST FINISHED FLOOR TO BE AT OR ABOVE 491 AND LOWEST MACHINERY TO BE AT OR ABOVE 492.

EROSION CONTROL NOTES

- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. SWPPP BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT LOADS FROM GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.

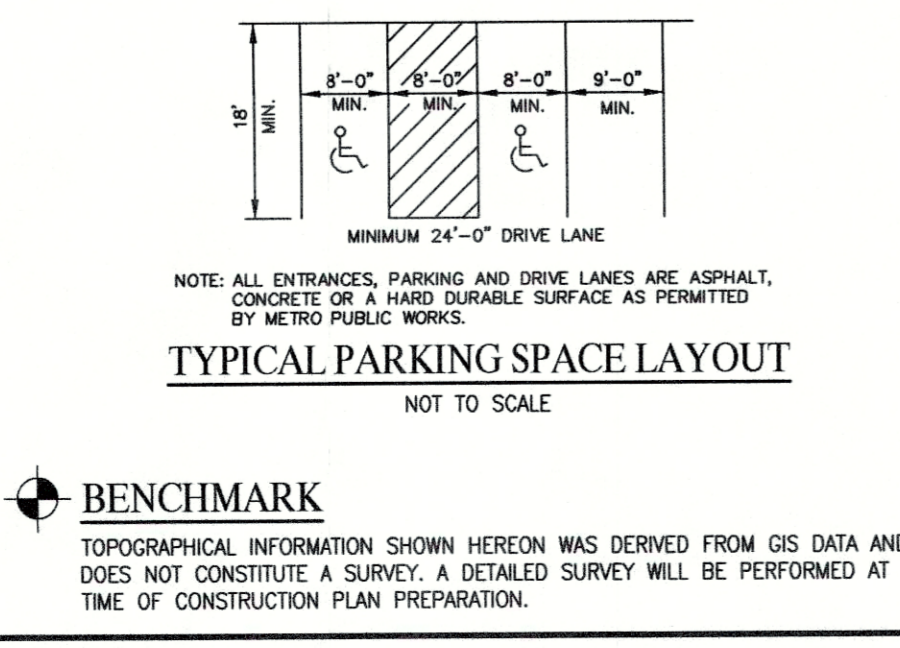
TRACT 2 - RUNOFF / FILL CALCULATIONS

$X = \frac{\Delta C}{C} \times \frac{C}{C} \times \frac{C}{C}$
 $\Delta C = 0.70 - 0.30 = 0.40$
 $A = 64,164 \text{ SF} (1.473 \text{ Acres})$
 $R = 2.8 \text{ INCHES}$
 $X = (0.40)(64,164)(2.8)/12 = 5,989 \text{ CUBIC-FEET}$

RUN-OFF VOLUME (5.989 CU.FT. x 1.5) = 8,984 CU.FT.
 FLOODPLAIN FILL VOLUME (26,350 CU.FT. x 1.5) = 45,488 CU.FT.
 TOTAL VOLUME AREA REQUIRED = 54,482 CU.FT.
 TOTAL VOLUME AREA PROVIDED = 54,626 CU.FT.

UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Revision	Date	Description	Detailled by
2	2/3/20	AGENCY COMMENTS (2ND REVIEW)	JDC
1	12/23/19	AGENCY COMMENTS (1ST REVIEW)	JDC



PRELIMINARY APPROVAL
Condition of Approval:
Javel
Date: 3/11/20
LOUISVILLE & JEFFERSON COUNTY
METROPOLITAN SEWER DISTRICT

GRAPHIC SCALE
1" = 40'

DATE: NOVEMBER 18, 2019

CASE# 19-DDP-0072 WM# 3574
RELATED DOC# 9-41-75

HERITAGE ENGINEERING, LLC
642 South 4th Street
Louisville, KY 40202
(502) 562-1412
(502) 562-1413 Fax

ENGINEER:

Intertech Mechanical Services
5836 FERN VALLEY ROAD
LOUISVILLE, KY 40228

OWNER/DEVELOPER:

REVISED DETAILED DISTRICT DEVELOPMENT PLAN FOR INTERTECH MECHANICAL SERVICES, INC.
5836 FERN VALLEY ROAD
LOUISVILLE, KY 40228

PROJECT:

JOBB NO: 19076
HORIZ. SCALE: 1"=40'
VERT SCALE: N/A
DESIGNED BY: JDC
DETAILED BY: JDC
CHECKED BY: SWH
DATE: NOVEMBER 18, 2019

SHEET
C03

**Binding Elements
Case No. 19-DDP-0072**

RESOLVED, the Louisville Metro Planning Commission does hereby **APPROVE** the **District Development Plan** and to amend Binding Element number 5.e to change the date from March 18th to April 23, 2020 Planning Commission Meeting and is subject to the following amended binding elements:

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee (and to the City of Lyndon, St. Matthews, Hurstbourne, or Middletown etc) for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. Prior to development (includes clearing and grading) of each site or phase of this project, the applicant, developer, or property owner shall obtain approval of a detailed district development plan in accordance with Chapter 11, Part 6. Each plan shall be in adequate detail and subject to additional binding elements.
3. No outdoor advertising signs, small freestanding signs, pennants, balloons, or banners shall be permitted on the site.
4. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
5. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit is requested):
 - a. The development plan must receive full construction approval from Construction Review, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. Encroachment permits must be obtained from the Kentucky Transportation Cabinet.
 - c. **A minor plat or legal instrument shall be recorded consolidating the property into one lot. A copy of the recorded instrument shall be submitted to the Division of Planning and Design Services prior to obtaining a building permit.**
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
 - e. The materials and design of proposed structures shall be substantially the same as depicted in the rendering as presented at the **April 23, 2020 Planning Commission** meeting. A copy of the approved rendering is available in the case file on record in the offices of the Louisville Metro Planning Commission.
6. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
7. There shall be no outdoor music (live, piped, radio or amplified) or outdoor entertainment or outdoor PA system audible beyond the property line.
8. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.



J. B. BARNETT, EA. DESIGN
 2100 EBBE AVENUE, BOWLING GREEN, KY 40304
 TEL: 502.338.1111
 WWW.JBBDESIGN.COM

PRELIMINARY APPROVAL

Condition of Approval:

Development Review:

DATE:

LOUISVILLE METROPOLITAN SEWER DISTRICT
 DISTRICT 1 & 2

CO2
 19-DDP-0072

CO2

19-DDP-0072

WPC Company, Inc.

General Contractor

Licensed and Insured

Since 1987



4307 Progress Boulevard, Louisville, KY 40218

Phone 502-479-7711 FAX 502-479-7766

04/29/2026

Louisville Metro Planning & Design
444 S 5th Street
Louisville, KY

RE: Intertech Mechanical / 5836 Fern Valley Rd., Louisville 40228

We're adding a 10,000 sq.ft. Metal Bldg, addition to the rear of existing building for additional shop space.