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## Historic Landmarks and Preservation Districts Commission

### Certificate of Appropriateness Report of the Committee

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To: **Mitchell Kersting, Jesse and Gena Daniels**  
Thru: Butchertown Architectural Review Committee  
From: Becky P. Gorman, Historic Preservation Specialist  
Date: December 21, 2015

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**Case No:** 15COA1260  
**Classification:** Committee Review

#### GENERAL INFORMATION

**Property Address:** 1419 Story Avenue

**Applicant:** Mitchell Kersting  
Work Architecture + Design  
231 N. 19<sup>th</sup> Street  
Louisville, KY 40203  
502.791.2366  
Mitchell@workad.org

**Owner:** Jesse Daniels  
Jesse and Gena Weddings  
Evansville, KY

**Contractor:** TBD

**Estimated Project Cost:** \$290,000

#### **Description of proposed exterior alteration:**

The applicant requests approval for the construction of a new 1900 square foot rear addition to the existing ell of the shotgun house. The addition will extend the rear as well as add a 2<sup>nd</sup> story. The materials include a metal roof, vertical fiber-cement siding, wood cladding and either glass or wire guardrails for the rear balcony. The existing asphalt shingle roof on the shotgun is proposed to be replaced with a metal roof to match the roof of the proposed new addition. The structure will be used as a residence and photo studio.

#### **Communications with Applicant, Completion of Application**

The application packet was received on November 23, 2015. It was determined to be complete and requiring Committee review on November 23, 2015.

The case is scheduled to be heard by the Butchertown Architectural Review Committee on December 16, 2015 at 5:30 pm, at 444 South Fifth Street, conference room 101.

The Butchertown ARC met on December 16, 2015 with Jim Mims serving as chair, Tim Stephens, Jessica Murphy(substitute from Clifton ARC), and Stephen Peterson (substitute from Clifton ARC) also in attendance. The owners, Jesse and Gena Daniels were present, as well as, architect Tyler Watkins of Work architecture+design. Becky Gorman, Historic Preservation Specialist, presented the case. Mr. Watkins presented the project for his partner Mitchell Kersting who is the principal designer of the project. Mr. Peterson had questions about the rear of the structure, its historic nature, and reuse of historic materials. The committee discussed the treatment of the existing wood siding and the use of fiber-cement with the wood siding and thought wood siding would match up better with the existing wood siding than fiber-cement. . Mr. Peterson had several questions regarding the site including the existing parking, the remains of the former garage, new parking pad, limestone curb and brick street. The parking area is not currently a part of the application but was identified that in the future it would require a COA. Mr. Peterson pointed out that staff should be notified if any archaeological artifacts are found. Ms. Murphy brought up the neighbor and any concerns about the height of the rear addition. Mr. Mims questioned the tree in the rear yard and whether it could remain. The committee recommended contacting the city arborist. Also, there are pavers proposed for the front walk to widen the walk and direct customers to the entrance. Mr. Mims stated that retaining the geometry of the sidewalk would be important. The committee discussed the fenestration and how the modern windows are the same proportions of the historic windows but modern.

Ms. Murphy made the motion to accept the staff report and conditions with additional conditions from the committee (see conditions 11-21 below). The motion was seconded by Mr. Stephens. The motion passed with all eyes. The meeting was adjourned.

## **FINDINGS**

### **Guidelines**

The following design review guidelines, approved for the Butchertown Preservation District, are applicable to the proposed exterior alteration: **Addition, New Construction-Residential, Roofing and Site**, The report of the Commission Staff's findings of fact and conclusions with respect to these guidelines is attached to this report.

The following additional findings are incorporated in this report:

## Site Context/ Background

The site is located on the north side of Story Avenue mid-block between Webster Street and Adams Street. It is zoned C-1 in Traditional Marketplace Corridor Form District. This ell-shaped shotgun has two facades facing the street and a north side that is visible from Bowles Avenue. The house appears to be nearly original in materials and has no cornice overhang on the shotgun run of the structure.

2006- Case # S-06-156-BT approval for the installation of vinyl siding on non-street visible side and rear of the house.

## Conclusions

The applicant proposes to keep the original shotgun portion of the structure intact including the front façade of the ell portion of the structure. Original porch spindle details will be restored on the front porch and new spindles installed to match the front porch on the porch section of the ell. All windows on the shotgun are to remain and original wood siding will be maintained. New entry doors will be wood  $\frac{3}{4}$  light. The new addition mimics a camelback structure in design but uses vertical siding for a modern feel to distinguish it as a modern addition to the structure. The site and structure has had modifications over the years and this addition could serve as another part of the story of the history of this structure. The size and massing of the addition fits in with the adjacent and nearby structures.

## DECISION

On the basis of the information furnished by the applicant, the Staff recommends that the application for a Certificate of Appropriateness for the proposed new residential dwelling be approved with following conditions (**committee conditions in bold**):

1. Horizontal fiber-cement siding for the addition shall be smooth-face and match existing profile and reveal of original wood siding. Vertical fiber-cement siding shall also be smooth-face.
2. Metal roof rib basing should be 16"-18" max with 1-1  $\frac{1}{2}$ " interlocking rib shall not exceed 1" profile –thickness.
3. Stairs on front façade of the ell shall remain.
4. Front doors shall be  $\frac{3}{4}$  light wood doors.
5. Window cut sheets shall be submitted to staff for approval prior to installation.
6. All glazing shall be clear.
7. Warm-toned concrete color shall be used for foundation or concrete foundation shall be stuccoed.
8. Revised drawings shall show gutter placement.
9. All drainage issues to be addressed appropriately to ensure no adverse impact.

10. Make provisions for screening and storing trash receptacles when designing new construction.
11. **Two rear windows shall be relocated to west elevation as shown in the drawings.**
12. **The front most visible chimney shall be saved and any replacement parts shall be taken from the rear stack.**
13. **The west elevation horizontal siding shall be wood siding to match existing.**
14. **If the foundation of the garage structure in the rear is to be removed, any archaeological artifacts found shall be reported to staff.**
15. **The limestone curb shall be retained.**
16. **If new parking is installed historic concrete mix shall be used for the parking pad.**
17. **When the building is staked, the tree shall be evaluated by the city arborist for survival. If the tree is to be removed it shall be replaced with a new tree.**
18. **Retain existing geometry of sidewalk to side entrance, shall be reduced from proposed drawings.**
19. **FAR requirements shall be met.**
20. **Keep the fence in front yard.**
21. **Any changes or discoveries made during construction shall be reported to staff.**

*The foregoing information is hereby incorporated in the Certificate of Appropriateness as approved and is binding upon the applicant, his successors, heirs or assigns. This Certificate does not relieve the applicant of responsibility for obtaining the necessary permits and approvals required by other governing agencies or authorities.*



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Jim Mims, Ph. D., AICP, RLA  
Acting Chair



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Date

**Attached Documents / Information**

1. Staff Guideline Checklist
2. Applicant submitted Information Including Plans and Photographs

# ADDITION

## Design Guideline Checklist

- + Meets Guidelines
- Does Not Meet Guidelines
- +/- Meets Guidelines with Conditions as Noted
- NA Not Applicable
- NSI Not Sufficient Information

	Guideline	Finding	Comment
<b>A1</b>	Ensure that the design of any new addition is in proportion with the size and scale of the historic building and district.	+	The height of the addition fits in with the two-to-three story structures on this street.
<b>A2</b>	Design any addition so that it is subordinate to the original building. Generally, additions should not exceed half of the original building's total floor area or building footprint.	-	
<b>A3</b>	Generally, additions should be attached to secondary elevations and should be set back from the front façade, so as not to damage or obscure character-defining features.	+	
<b>A4</b>	Use materials that are the same as or subordinate to the primary material of the original building. Wood is subordinate to brick, and brick and stucco are subordinate to stone.	+	Fiber cement would be equivalent to wood siding.
<b>A5</b>	Respect original roof forms when designing an addition. Additions should complement existing forms, not overwhelm them.	+	
<b>A6</b>	Do not undertake any full-floor additions in residential preservation districts (adding an additional full floor on top of a building).	+	Addition floor is on the rear of the building, front shotgun portion remains intact.
<b>A7</b>	Generally, the original orientation of a building should not be altered when constructing a new addition. An addition should not turn a secondary façade into primary façade.	+	
<b>A8</b>	Design any new addition so that the first-floor height is equal to or slightly lower than the original building. The floor-to-floor heights should be equal to or up to 10 percent less than the original building. In no case should the floor heights exceed those of the original building.	+	
<b>A9</b>	Design additions to have the same relationship of solids (wall surfaces) to voids (window and door openings) as the historic portion.	+	
<b>A10</b>	Design additions so that there are subtle distinguishing characteristics between the historic portion and the new alteration. This may include simplifying details, changing materials, or slightly altering proportion.	+	Proposed vertical fiber-cement distinguishes new addition.
<b>A11</b>	Set back additional stories from the historic wall plane of commercial or institutional structures when such an approach is required for a new use. The construction of additional stories should be as inconspicuous as possible and not damage or destroy character-defining features.	+	
<b>A12</b>	Do not design additions to appear older than the original building.	+	

<b>A13</b>	Comply with the Kentucky building code in such a way that a historic building's character-defining features are preserved.	+	
<b>A14</b>	Do not radically change or damage a building's character-defining features when adding a new code-required stairway or elevator. Any such addition should be compatible with the materials and scale of the historic structure.	NA	
<b>A15</b>	Install fire escapes only on secondary elevations. Respect the locations of original doors and windows and do not cause undue damage to historic materials. They should preferably be painted to match the color of the wall.	NA	
<b>A16</b>	Do not construct a deck on a front or side façade. Decks should be of wood construction and be either painted or finished with an opaque stain. Use the railing detail developed by the Landmarks Commission or other approved detail.	NA	
<b>A17</b>	Design rear decks so that they do not extend beyond the side walls of the house and are not visible from the street.	NA	
<b>A18</b>	Wood fire stairs should be painted or stained and should be kept to a minimum functional size.	NA	

# NEW CONSTRUCTION

## RESIDENTIAL DESIGN GUIDELINES

- + Meets Guidelines
- Does Not Meet Guidelines
- +/- Meets Guidelines with Conditions as Noted
- NA Not Applicable
- NSI Not Sufficient Information

	<b>Guideline</b>	<b>Finding</b>	<b>Comment</b>
<b>NC1</b>	Make sure that new designs conform to all other municipal regulations, including the Jefferson County Development Code and Zoning District Regulations.	+	
<b>NC2</b>	Do not demolish contributing structures in a historic district to make way for new or large-scale construction. Non-contributing buildings are identified in each of the district or individual landmark designations or National Register nominations.	NA	
<b>NC3</b>	Design new construction so that the building height, directional emphasis, scale, massing, and volume reflect the architectural context established by surrounding structures.	+	
<b>NC4</b>	Make sure that the scale of new construction does not conflict with the historic character of the neighborhood.	+	
<b>NC5</b>	Incorporate materials and design elements that complement the color, size, texture, and level of craftsmanship seen in surrounding buildings.	+	

<b>NC6</b>	Do not use materials in new construction that are visually incompatible with surrounding historic buildings within the district. Materials to be avoided include: ornamental pierced concrete masonry screens and walls, "antiqued" brick, wrought-iron porch columns, chain-link fencing, exterior carpeting, jalousie windows, glass block, picture windows, unpainted wood, and asphalt siding.	+	
<b>NC7</b>	Design new construction to reinforce the human scale of historic districts where this is a character-defining feature.	+	
<b>NC8</b>	Design new construction in such a way that it does not disrupt important public views and vistas.	NA	
<b>NC9</b>	Reinforce existing patterns of open space and enclosure, created by circulation routes, fences, walls, lawns, and allees of trees, in designs for new construction.	NA	
<b>NC10</b>	Design infill construction that reinforces the spatial organization established by surrounding buildings. The character of historic streetscapes relies heavily on the visual continuity established by the repetition of similarly-designed facades.	NA	
<b>NC11</b>	Design infill construction in such a way that the façade's organization closely relates to surrounding buildings. Window and door openings should be similar in size to their historic counterparts, as should the proportion of window to wall space. Cornice lines, columns, and storefronts are other important character-defining facade elements.	+	
<b>NC12</b>	Design new construction so that the building mass has a similar sense of lightness or weight as surrounding historic structures. Mass is determined by the proportion of solids (walls) to voids (window and door openings). Historic window proportions are generally two-and-one-half (height) by one (width).	+	
<b>NC13</b>	Develop designs for new construction using windows that are sympathetic to the window patterns of surrounding buildings. Use of comparable frame dimensions, proportions, and muntin configurations is encouraged.	+	
<b>NC14</b>	Develop designs for new construction using front doors that are sympathetic to the door patterns of surrounding buildings. Use of comparable frame dimensions, proportion, and panel and light configuration is encouraged.	NA	
<b>NC15</b>	Design new construction so that the orientation of the main entrance is the same as the majority of other buildings on the street	NA	
<b>NC16</b>	Incorporate paved walks between sidewalks and the front entrances for new construction located on streets where this is a character-defining feature.	NA	
<b>NC17</b>	Retain the character-defining features of a historic building when undertaking accessibility code-required work.	NA	
<b>NC18</b>	Investigate removable or portable ramps as options to providing barrier-free access.	NA	
<b>NC19</b>	Locate handicapped access ramps on secondary elevations wherever possible. If locating a ramp on the primary façade is required, it should be installed in a manner that does not damage historic fabric and is as unobtrusive as possible.	NA	
<b>NC20</b>	Design infill construction so that it is compatible with the average height and width of surrounding buildings.	NA	
<b>NC21</b>	Design new construction to have a floor-to-floor height that is within 10 percent of adjacent historic construction where the floor-to-floor height is relatively consistent, and a character-defining feature.	+	
<b>NC22</b>	Maintain the historic rhythm of the streetscape. The space between new construction and existing structures should fall within 20 percent of the average spacing for the block.	+	

<b>NC23</b>	Maintain historic setback patterns. In order to maintain the continuity of the streetscape, setbacks for new construction should either match that of adjacent buildings where all share the same setback or be within 20 percent of neighboring structures in areas with varied setbacks.	NA	
<b>NC24</b>	Ensure that the roofs of new buildings relate to those of neighboring historic structures in pitch, complexity, and visual appearance of materials.	+	addition
<b>NC25</b>	Follow the precedent set by adjacent buildings when designing rooflines for infill construction. Where the predominant form is flat, built-up roofs are preferred. Where the predominant form is complex and steeply pitched, that is preferred. In blocks characterized by shallow-pitched roofs and pronounced overhangs with exposed rafters, these elements should be incorporated.	NA	
<b>NC26</b>	Design new construction so that the orientation of the main roof form is parallel with the majority of other roofs on the street, where roof forms are relatively consistent and a character-defining feature.	+	
<b>NC27</b>	Design new construction to emphasize the existing cornice line on each block where this is a character-defining feature.	NA	
<b>NC28</b>	Integrate mechanical systems into new construction in such a way that rooftops remain uncluttered.	NSI	
<b>NC29</b>	Make provisions for screening and storing trash receptacles when designing new construction.	NSI	See conditions.
<b>NC30</b>	Use an exterior sheathing that is similar to those of other surrounding historic buildings. While use of wood siding is preferred, vinyl siding may be used for new construction, but only in areas where the predominate historic construction material is wood.	+	Fiber-cement instead of wood
<b>NC31</b>	Use masonry types and mortars that are similar to surrounding buildings in designs for new construction. Red brick is the most common masonry material found throughout the city's historic districts.	NA	
<b>NC32</b>	Incorporate stone or cast-stone sills and lintels into new construction designs on blocks where such elements are character-defining features.	NA	
<b>NC33</b>	Do not use modern "antiqued" brick in new construction.	NA	
<b>NC34</b>	Design new construction to have a raised masonry foundation, which is compatible in proportion and height with surrounding buildings. Foundation materials may be of a warm-toned poured concrete, split-face concrete block, or stuccoed concrete block that has a uniform, textured appearance.	NSI	See conditions.
<b>NC35</b>	Incorporate front porches on blocks where they are character-defining features. Design of new porches should be compatible with the form, scale, and detailing of surrounding buildings. On blocks where porch columns are prevalent, new columns should always consist of a base, shaft, and capital, and convey the appearance of actually holding up the porch roof.	NA	
<b>NC36</b>	Design porches on newly-constructed buildings so that the floor is even with or a maximum of one step below the corresponding floor of the house, the ceiling is even with that of adjacent rooms, the floor is at least 6' deep, the rhythm of the porch bays matches the facade's pattern of solids and voids, and the porch fascia board matches the height of the window head.	NA	
<b>NC37</b>	Design new garages or other secondary structures so that they complement the scale, roof form, setback, and materials of adjacent secondary structures.	NA	

<b>NC38</b>	Site new garages adjacent to alleys where present. Review the garage prototype insert that identifies styles appropriate to preservation districts when planning a garage construction project.	NA	
<b>NC39</b>	Where no alleys exist, garages should be sited at the rear of the property behind the main house. Garage doors should not face the street, and access should be along the side yard. Landscape screening along the driveway is encouraged.	NA	
<b>NC40</b>	Use of smaller, single garage doors rather than expansive double or triple doors is preferred.	NA	
<b>NC41</b>	Orient the roofline of a new garage so that it is parallel with the main house or follow the predominant pattern of existing secondary structures where such a pattern exists.	NA	
<b>NC42</b>	Roof pitch should be no less than one in six. Where the roof form of the main house is character-defining, owners are encouraged to echo the form of the main house.	NA	
<b>NC43</b>	Design new construction so that access to off-street parking is off alleys or secondary streets wherever possible.	NA	
<b>NC44</b>	Incorporate storm-water management provisions into the design of new construction, so that any related runoff will not adversely impact nearby historic resources.	+	See conditions.

# SITE

## Design Guideline Checklist

- + Meets Guidelines
- Does Not Meet Guidelines
- +/- Meets Guidelines with Conditions as Noted
- NA Not Applicable
- NSI Not Sufficient Information

	<b>Guideline</b>	<b>Finding</b>	<b>Comment</b>
<b>ST1</b>	Consider the relationships that exist between the site and structure when making exterior alterations. Changes to one will affect the other. A primary goal should be to maintain a complementary relationship.	+	
<b>ST2</b>	Retain established property line patterns and street and alley widths. Any replatting should be consistent with original development patterns.	NA	
<b>ST3</b>	Use paving materials that are compatible with adjacent sites and architectural character.	NA	
<b>ST4</b>	Restore and reuse historic paving materials for streets and sidewalks such as brick and hexagonal pavers and limestone curbing. Maintain original curbing whenever possible. The historic relationship between the road surface and edging should be preserved. Any replacement should use historic materials. If replacement with original materials is not technically or economically feasible, a substitute material may be used if it duplicates the color, texture, and visual appearance of the original.	NA	
<b>ST5</b>	Maintain brick, stone, or poured concrete steps wherever present. If replacement is required, original materials should be used. New construction should incorporate steps on blocks where they are a character-defining feature.	+	

<b>ST6</b>	Do not harm historic resources through road widening or underground utility repair.	NA	
<b>ST7</b>	Locate driveways, parking areas, and loading docks to the side and rear of properties. Access from alleys is preferred.	NA	
<b>ST8</b>	Maintain original front yard topography, including grades, slopes, elevations, and earthen berms where present. New construction should match the grade of adjacent properties. Do not recontour front-yard berms into stepped terraces, using railroad ties, landscape timbers, or any other historically-inappropriate material for retaining walls.	NA	
<b>ST9</b>	Do not carry out excavations or regrading within or adjacent to a historic building, which could cause the foundation to shift or destroy significant archeological resources.	NA	
<b>ST10</b>	Do not install masonry walls in street-visible locations unless they are used to retain earth at changes in grade, screen service areas, or unless a historic precedent exists.	NA	
<b>ST11</b>	Use materials that match existing sections of historic fencing in material, height, and detail when carrying out limited replacement projects. If an exact match cannot be made, a simplified design is appropriate.	NA	
<b>ST12</b>	use materials that match the existing character of the original when replacing retaining walls or curbing. If an exact match cannot be made, a simplified design is appropriate.	NA	
<b>ST13</b>	Install only historically-compatible iron fencing under 2'-5" in height where there is demonstrable historic precedent.	NA	
<b>ST14</b>	Do not install front-yard fencing where there is no historic precedent.	NA	
<b>ST15</b>	Install any rear- or side-yard privacy fencing so that it is set back from the side wall at least two feet and presents the finished side out. Any privacy fencing should be less than seven feet in height. Contact the Department of Inspections, Permits, and Licenses regarding additional restrictions on fencing at corner properties.	NA	
<b>ST16</b>	Do not install chain-link, split-rail, or woven-wood fencing, or concrete block walls in areas that are visible from a public way. Opaque fencing, such as painted or stained pressure-treated wood, may be permitted with appropriate design.	NA	
<b>ST17</b>	Use understated fixtures when installing any type of exterior lighting. Fixture attachment should be done so as not to damage historic fabric. Fixtures should not become a visual focal point.	NA	
<b>ST18</b>	Do not light parking areas or architectural features in a harsh manner. Generally, an average illumination level of 1.5 to 2.0 foot-candles will be sufficient. Light should be directed down and away from neighboring properties.	NA	
<b>ST19</b>	Parking lots of a certain size should have a portion of the parking area dedicated to plantings that will soften the expanse of paving. See the Jefferson County Development Code - Requirements for Landscaping and Land Use Buffers for specific requirements.	NA	
<b>ST20</b>	Use high-pressure sodium or metal halide lights to create a soft illumination where site or streetscape lighting is desired.	NA	
<b>ST21</b>	Position fixtures, such as air conditioning units, satellite dishes, greenhouse additions, and overhead wiring, on secondary elevations where they do not detract from the character of the site. Try to minimize noise levels to adjacent properties.	NA	

<b>ST22</b>	Preserve large trees whenever possible and enhance established street tree patterns by planting additional trees along public rights-of-way. Consult the city arborist to determine what tree species are suitable for placement near overhead wires. Select and place street trees so that the plantings will not obscure historic storefronts once mature. Removal of trees within or immediately adjacent to a public right-of-way or within public open spaces requires review unless directed by the city arborist for emergency or public safety reasons.	NA	
<b>ST23</b>	Ensure that all proposed cellular towers and associated fixtures will be properly screened from view.	NA	
<b>ST24</b>	Install utility lines underground whenever possible.	NA	

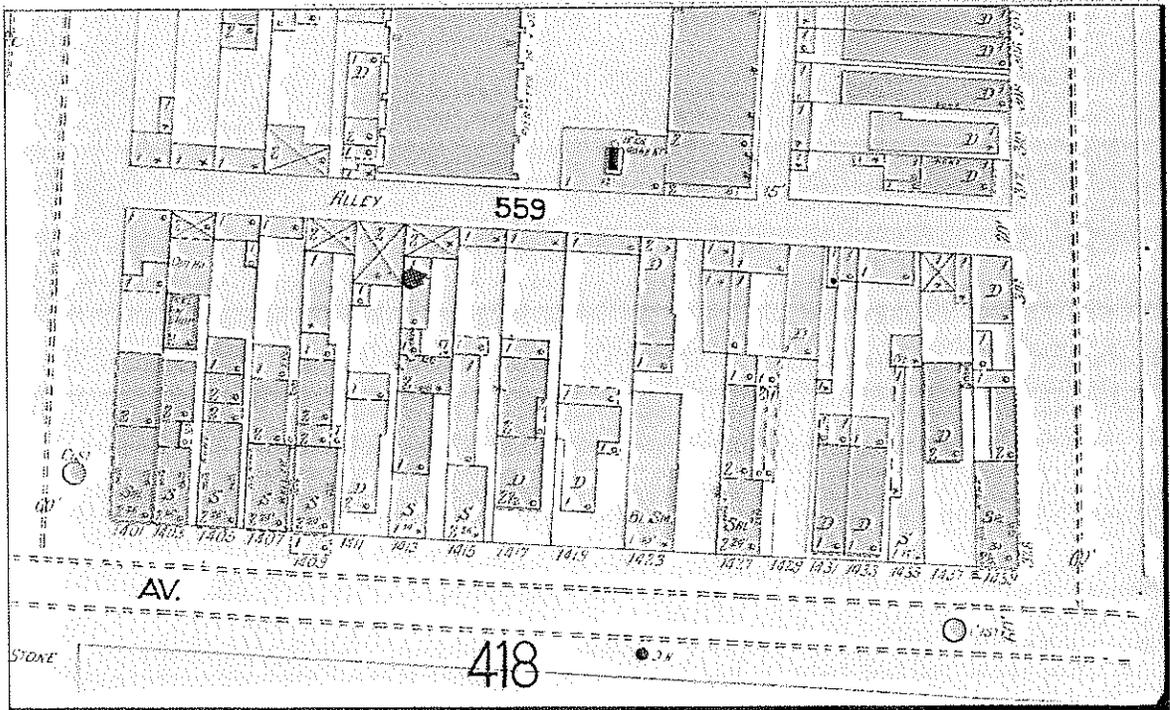
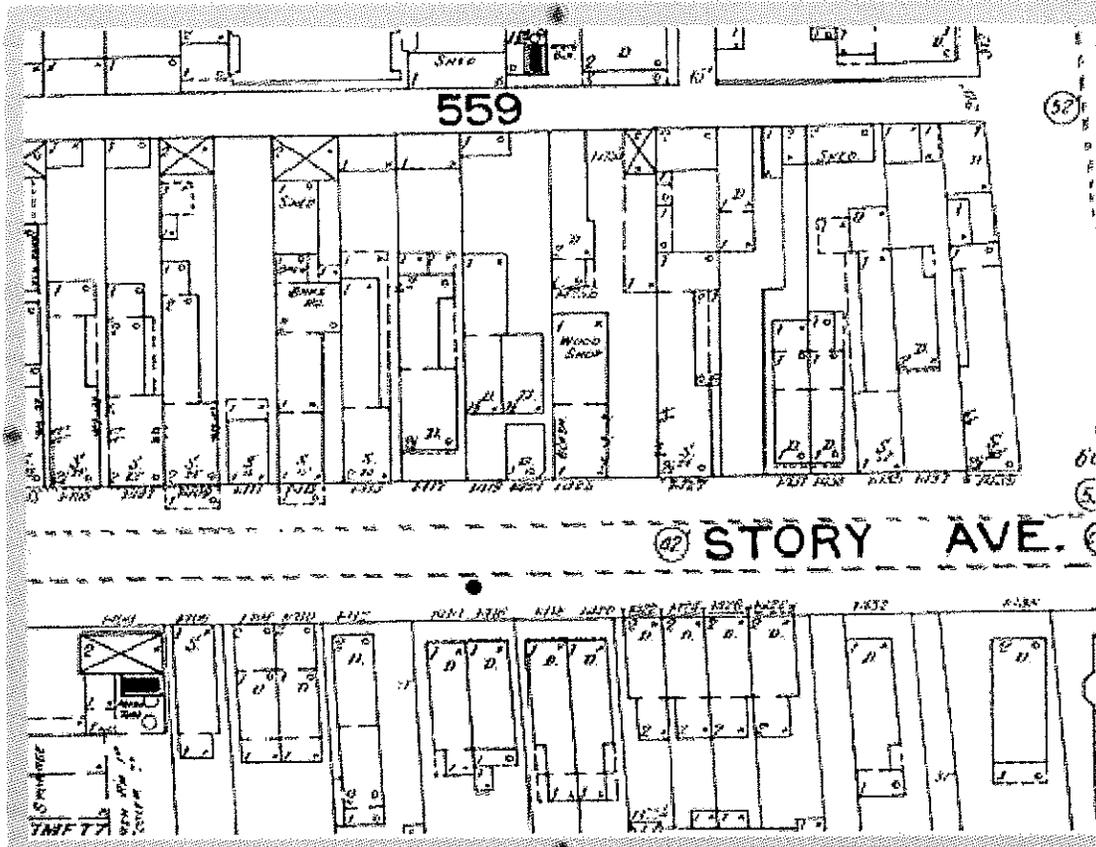
# ROOFING

## Design Guideline Checklist

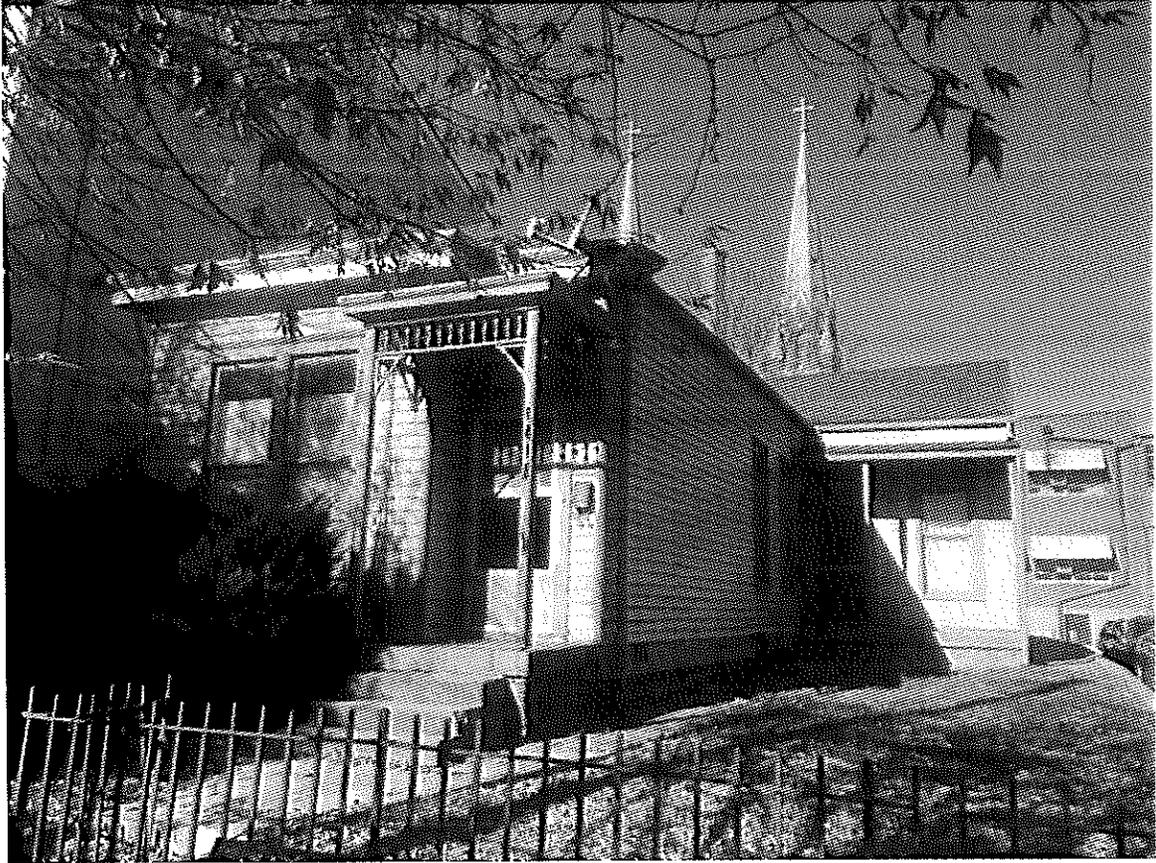
- + Meets Guidelines
- Does Not Meet Guidelines
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	<b>Guideline</b>	<b>Finding</b>	<b>Comment</b>
<b>R1</b>	Use only replacement materials that closely match the original roofing material in color, texture, and profile. Possible substitute materials include asphalt shingles, dimensional shingles, or cement tiles.	+	Asphalt shingle roof to be replaced with metal roof. See conditions
<b>R2</b>	Use copper, lead-coated copper, terne-coated stainless steel, or terne metal when replacing a historic metal roof with in-kind materials. While copper roofs may be left unpainted, terne-metal roofs should be painted either muted red or green, traditional roof colors. Replacement with in-kind materials is recommended in order to preserve the visual appearance of the original.	+	
<b>R3</b>	Make sure that the proportion of the seams and trim on replacement metal roofing matches that of the original. Commercial-grade architectural metal roofing systems should not be used on residential architecture, because the scale is inappropriate.	+/-	See conditions.
<b>R4</b>	Retain ridge and hip tiles on historic tile roofs. Field tiles may be replaced with a compatible substitute material, such as a dimensional shingle in a color approximating the original. Ridge and hip tiles, however, should be reinstalled to maintain the roof's historic profile. Reinstallation of sound roof tiles and slates on smaller, secondary roof forms (porches, bay windows, etc.) is encouraged wherever possible.	NA	
<b>R5</b>	Remove existing roofing material when replacing non-repairable or non-historic roofing. Removing these underlying layers will prolong the life of the roof and help restore the original profile of the roof edge.	+	
<b>R6</b>	Do not apply asphalt shingles over wood shingles. This will trap moisture and cause deterioration of the roof structure.	NA	
<b>R7</b>	Base the reconstruction of any missing roof feature on historical, pictorial, and physical evidence. If such evidence is insufficient, the feature should be of a compatible new design rather than a falsely-historical or conjectural reconstruction.	NA	

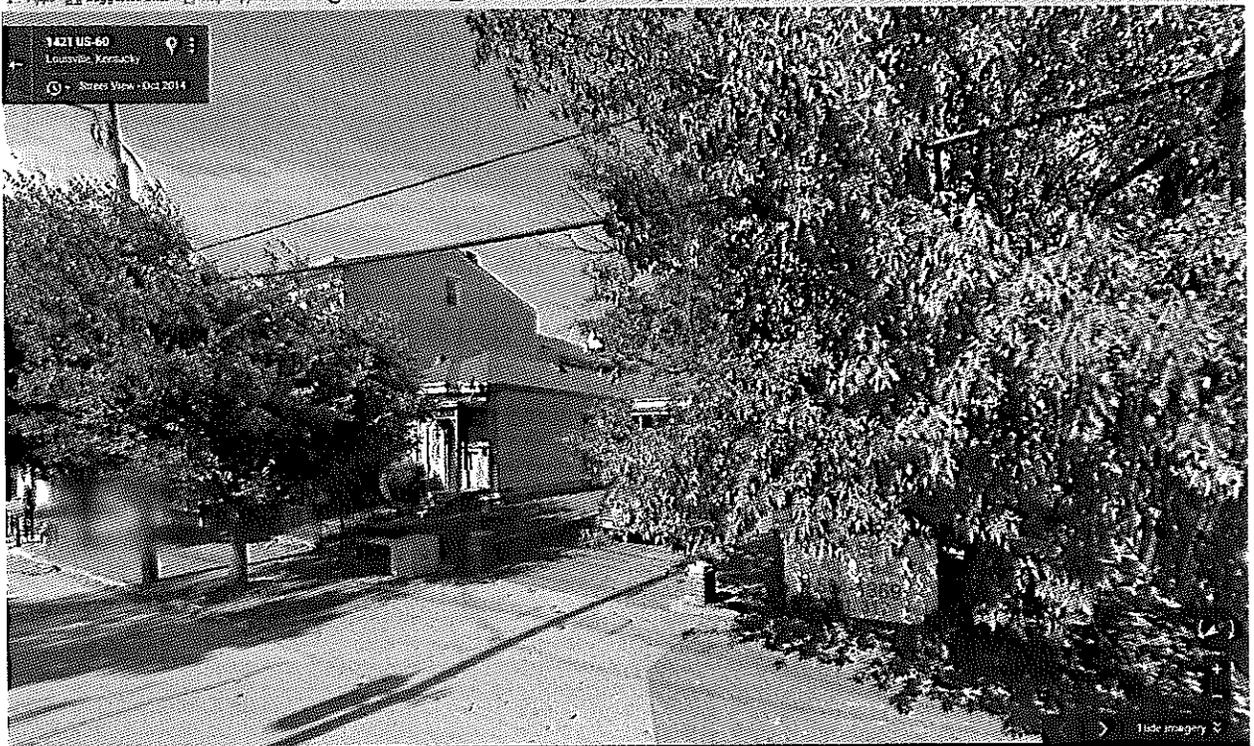
<b>R8</b>	New roof designs for additions or new construction should be compatible in size, scale, material, and color with the historic building and district.	+	
<b>R9</b>	Use the form and detailing of severely deteriorated roof features, such as cupolas and dormers, or chimneys, to create appropriate replicas.	NA	
<b>R10</b>	Avoid having extensive areas of flashing visible. In some cases, portions of metal flashing may be covered by mortar or stucco.	NA	
<b>R11</b>	Do not destroy historic detail when installing replacement gutters. If synthetic materials are used, they should be painted to match the trim color.	NA	
<b>R12</b>	Half-round replacement gutters that are of a simple design and do not alter the character of the trim, or in limited cases ogee profile gutters, are preferred. Synthetic materials painted to match the trim color are acceptable.	NSI	Ogee proposed
<b>R13</b>	Do not use unpainted galvanized steel gutters or downspouts, which rust and stain adjacent materials. These gutters should be painted after a period of weathering. Vinyl gutters and downspouts should be avoided due to their short life expectancy.	NSI	See conditions
<b>R14</b>	Leave historically-exposed rafter ends and eaves open and uncovered.	NA	
<b>R15</b>	Make sure that any new roof-top additions do not compromise the structural integrity of the building.	+	
<b>R16</b>	Install any new roof-top mechanical or service equipment in such a way that historic fabric is not damaged.	NA	
<b>R17</b>	Do not attach antennae, satellite transmitters, skylights, vents, air conditioning units, decks, terraces, dormers, or solar panels that can be seen from a building's primary elevation. Skylights should be flush (not the "bubble" type) with curbs painted to match the color of the roof material. Consolidate antennae wherever possible.	NA	
<b>R18</b>	Do not introduce mechanical equipment or systems that may overload and compromise a historic building's existing structural system.	NA	
<b>R19</b>	Paint all roof vent assemblies to match the color of the roofing material.	NA	
<b>R20</b>	Do not install ridge vents on historic structures. They are non-historic approaches to attic ventilation.	NA	
<b>R21</b>	Replace historic roof details, such as decorative cresting and finials and metal ridge caps on slate roofs with in-kind materials or materials that are visually compatible.	NA	











Current Google Maps view.