

STORM WATER POLLUTION PREVENTION NOTES

- ALL WORK SPECIFIED AS A KYTC ITEM SHALL BE GOVERNED BY THE CURRENT STATE OF KENTUCKY TRANSPORTATION CABINET CONSTRUCTION AND MATERIAL SPECIFICATION HANDBOOK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO POSSESS AND TO BE FAMILIAR WITH APPLICABLE SECTIONS.
- THIS CONTRACT DRAWING SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN STORM WATER POLLUTION PREVENTION IS ENCOUNTERED, ADDITIONAL STORM WATER POLLUTION PREVENTION (SWPP) MEASURES MAY BE REQUESTED BY THE OWNER, COUNTY ENGINEER, PROJECT ENGINEER OR SOIL CONSERVATION SERVICE REPRESENTATIVE AT ANYTIME. SUCH REQUESTS SHALL BE IMPLEMENTED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL STORM WATER POLLUTION PREVENTION ITEMS SHALL BE INSTALLED AS SHOWN OR NOTED ON THIS SHEET.
- PLANT TEMPORARY SEEDING AND MULCHING IN ALL AREAS THAT SHALL BE INACTIVE FOR 14 DAYS OR MORE. ALL DISTURBED EARTH SHALL BE REGRADED AND SEEDED WITHIN 7 DAYS WITH SEEDING, AS DEFINED ABOVE AND AS SHOWN ON THE TABLE BELOW, TO ESTABLISH STABILITY AND PROVIDE SEDIMENT CONTROL. WHERE POSSIBLE, TEMPORARY SEEDING GROWTH SHALL NOT BE MOWED UNTIL IT HAS GONE TO SEED FOR 1 YEAR.

TEMPORARY SEEDING SPECIFICATIONS:

SEEDING DATES	SEED TYPE	APPLICATION RATE PER 1,000 S.F.
MARCH 1 – AUGUST 15	OATS PERENNIAL RYE GRASS OR TALL FESCUE	3# 1#
AUGUST 16 – NOVEMBER 1	RYE, WHEAT OR PERENNIAL RYE GRASS TALL FESCUE	3# 1#
AFTER NOVEMBER 1	STRAW OR HAY MULCH	2-3 BALES
SEED BED PREPARATION	LIME 10-10-10 OR 12-12-12 FERTILIZER	100# 12-15#

- PERMANENT VEGETATION SHALL BE INSTALLED WITHIN 7 DAYS AT THE COMPLETION OF ANY GRADED AREAS, WEATHER PERMITTING.
- AT SUCH TIME ROUGH GRADING OF THE SITE IS COMPLETE AND DRAINAGE DIVERTS TO INLETS, INLET SEDIMENT FILTERS SHALL BE INSTALLED AT ALL INLET STRUCTURES TO KEEP PIPING SYSTEMS FREE OF SILTATION.
- SILT BARRIERS SHALL BE INSTALLED AROUND ALL EXISTING OR NEW STORM INLETS, CATCH BASINS, YARD DRAINS. INSTALL ROCK CHECK DAMS FOR HEADWALL INLETS FOR STORM WATER POLLUTION PREVENTION.
- STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED AROUND ALL DIRT OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS SHOWN ON THESE PLANS AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL INSPECT ALL SWPP MEASURES DAILY AND REPAIR AS NECESSARY TO PREVENT EROSION. SILTATION SHALL BE REMOVED FROM AREAS WHERE FAILURES HAVE OCCURRED AND CORRECTIVE ACTION TAKEN WITHIN 24 HOURS TO MAINTAIN ALL SWPP.
- SILT BARRIERS, CONSTRUCTION ENTRANCES, AND SILT FENCES SHALL REMAIN IN PLACE UNTIL A GOOD STAND OF GRASS HAS BEEN OBTAINED AND/OR PAVING OPERATIONS ARE COMPLETE. CONTRACTOR SHALL KEEP SILT FROM ENTERING ANY STORM DRAINAGE SYSTEM. ONCE SITE HAS BEEN COMPLETELY STABILIZED, ANY SILT IN PIPES AND DRAINAGE SWALES SHALL BE REMOVED WITHIN 10 DAYS.
- TEMPORARY SEDIMENTATION AND STORM WATER POLLUTION PREVENTION MEASURES MUST BE INSPECTED AND LOGGED BY THE CONTRACTOR FOR INSPECTION, LOGGING SHALL BE WEEKLY AND AFTER RAIN STORMS.
- UTILITY COMPANIES MUST COMPLY WITH ALL STORM WATER POLLUTION PREVENTION MEASURES AS DEFINED ON THE STORM WATER POLLUTION PREVENTION PLANS, DETAILS AND NOTES.
- THE TOTAL AREA OF DISTURBANCE FOR THIS PROJECT IS 0.71 ACRES.
- ALL EXISTING WATER COURSES WITHIN THE PROJECT LIMITS SHALL BE TEMPORARILY PROTECTED DURING LAND CLEARING AND GRADING OPERATIONS. SOILS WITHIN 50 FEET OF SAID WATER COURSES SHALL BE STABILIZED WITHIN 2 DAYS OF THE INITIAL CLEARING / GRADING OPERATION AS SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION ITEMS AT ALL TIMES.
- ALL STORM WATER POLLUTION PREVENTION PRACTICES WILL BE INSTALLED BEFORE ANY OTHER EARTH MOVING OCCURS.
- THE FOLLOWING STORM WATER POLLUTION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE USED ON THIS SITE:  
17.A. SILT FENCE  
17.B. SILT BARRIERS  
17.C. CONSTRUCTION ENTRANCE  
17.D. CONCRETE WASHOUT FACILITY

CONSTRUCTION SEQUENCE

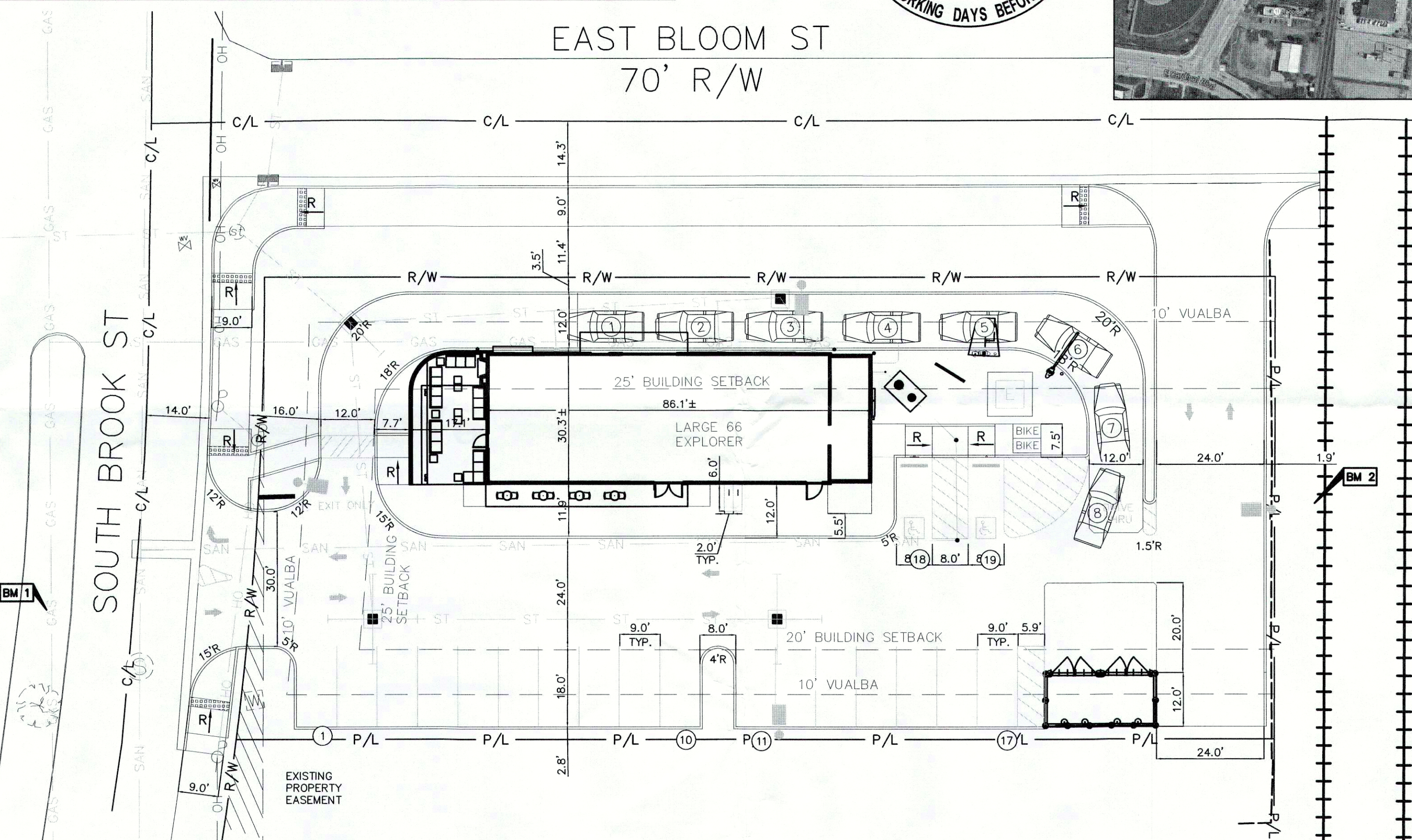
- STAKE AND/OR FLAG LIMITS OF CLEARING.
- DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.
- CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS.
- INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON PLANS.
- INSTALL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY, IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
- CLEARING & GRUBBING THE REMAINING SITE AS NECESSARY.
- BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.
- CONSTRUCT AND MAINTAIN TEMPORARY DRAINAGE SWALE DURING FILLING & GRADING ACTIVITIES.
- CONSTRUCT SITE WORK INCLUDING STORM DRAINAGE FACILITIES.
- UPON INSTALLATION OF STORM DRAINAGE CATCH BASINS, INSTALL INLET PROTECTION.
- MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.
- REMOVE SEDIMENT CONTROLS.

GENERAL PLAN NOTES

- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- UPON RECEIPT OF POINT COORDINATE DATA, THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH GIVEN POINTS TO CONFIRM GEOMETRIC DATA AND SUBMIT TO THE ENGINEER PRIOR TO ANY CONSTRUCTION.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND CITY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON ALTA SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

STORM WATER POLLUTION PREVENTION NOTES CONT.

- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. IF POSSIBLE GRADING SHALL BE DONE BY PHASING. IF PHASING IS NOT AN OPTION, DUST SHALL BE CONTROLLED WITH WATER DURING EARTHWORK. AFTER EARTHWORK OPERATIONS, THE EXPOSED SOILS SHALL BE COVERED WITH STRAW OR MULCH UNTIL SEEDED.
- DUST SHALL BE CONTAINED USING WATER, OIL IS NOT TO BE USED AS A DUST SUPPRESSANT.
- ANY DISCHARGE OF PETROLEUM OR PETROLEUM PRODUCTS OF LESS THAN 25 GALLONS ONTO A PERVIOUS SURFACE SHALL BE LEGALLY REMOVED AND PROPERLY TREATED OR PROPERLY DISPOSED OF, OR OTHERWISE REMEDIATED, SO THAT NO CONTAMINATION FROM THE DISCHARGE REMAINS ON-SITE.
- IN THE EVENT OF A LARGE PETROLEUM WASTED SPILL (25 OR MORE GALLONS) CONTRACTOR MUST CONTACT THE KENTUCKY EPA (AT 1-800-241-1754), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

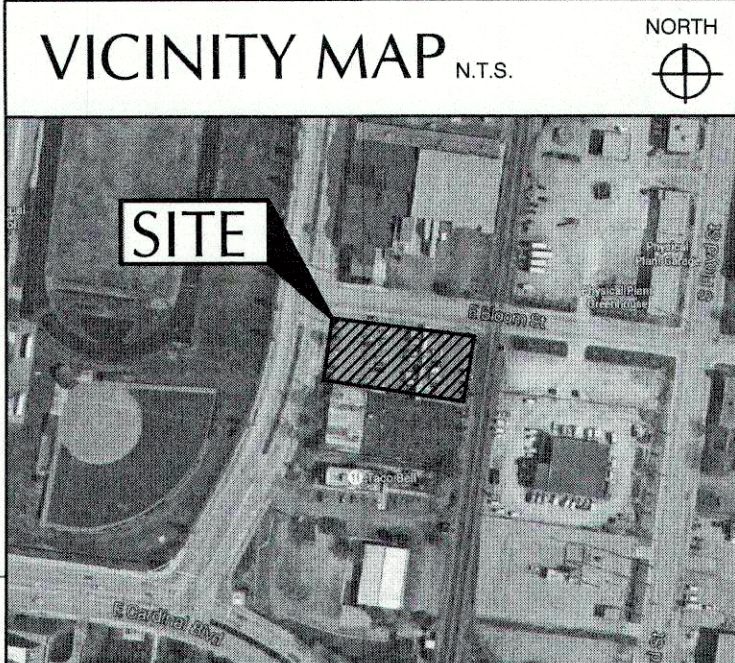


GENERAL PLAN NOTES CONT.

- ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE ANY MAINTENANCE OF TRAFFIC WITH THE OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION. (SEE SHEET C-131).
- UPON REQUEST AND TWO DAY NOTICE, ENGINEER CAN ELECTRONICALLY PROVIDE GEOMETRIC COORDINATE POINTS OF TWO (2) BUILDING CORNERS TO CONTRACTOR FOR CONSTRUCTION LAYOUT.
- UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- THESE PROJECT CONSTRUCTION DOCUMENTS SHALL NOT CONSTITUTE A CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR THE ENGINEER AND THE SUBCONTRACTOR.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFETY MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONSTRUCTION BY THE CONTRACTOR OR SUBCONTRACTORS.

SITE PLAN NOTES

- ALL DIMENSIONS AND RADII ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL EXTERIOR SITE SPECIFIC PORTLAND CONCRETE CEMENT SHALL MEET THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR CURING AND INSTALLATION. THE MINIMUM P.C.C. ALLOWED IS 3000 P.S.I. AT 28 DAY, WITH AIR ENTRAINMENT MEETING THE DOT REQUIREMENTS. (CONTRACTOR SHALL REFER TO DETAILS WITHIN THIS DRAWING SET FOR ANY VARIATIONS TO THIS SPECIFICATION).
- ALL EXTERIOR CURB SHALL HAVE EXPANSION JOINTS AT 100'-0" O.C. AND CONTROL JOINTS AT 10'-0" O.C. (UNLESS OTHERWISE SPECIFIED ON THE DETAIL SHEETS) ALL EXTERIOR WALK SHALL HAVE EXPANSION JOINTS AT 20'-0" O.C. AND CONTROL JOINTS @ 5'-0" MAX. O.C. (UNLESS OTHERWISE SPECIFIED ON THE DETAIL SHEETS).
- ALL CONCRETE SHALL HAVE A MEDIUM TRANSVERSE FINISH.

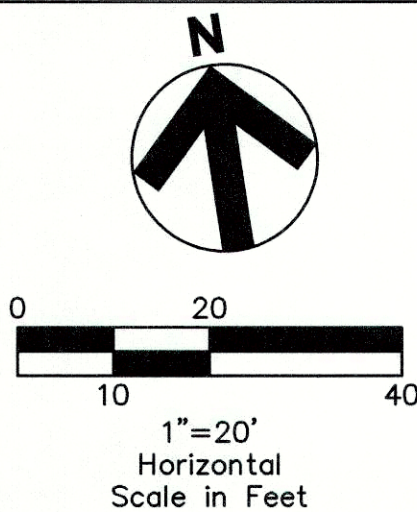


**SITE PROPERTY:**  
PROPERTY ADDRESS: 1805 S BROOK ST  
OWNER: CITY OF LOUISVILLE  
D.B. 5163 PG. 268  
BLOCK 35C LOT 5

**PROPERTY TO THE NORTH:**  
PROPERTY ADDRESS: 1731 S BROOK ST  
OWNER: BMB, PROPERTIES  
PARCEL ID: 035A00010000

**PROPERTY TO THE SOUTH:**  
PROPERTY ADDRESS: 1817 S BROOK ST  
OWNER: TACO, BELL OF AMERICA INC  
DB 7384 PG. 768  
PARCEL ID: 035C000530000  
BLOCK 35C LOT 53

**PROPERTY TO THE WEST:**  
PROPERTY ADDRESS: 1810 S FLOYD ST  
OWNER: COMMONWEALTH OF KENTUCKY  
PARCEL ID: 035C00060000



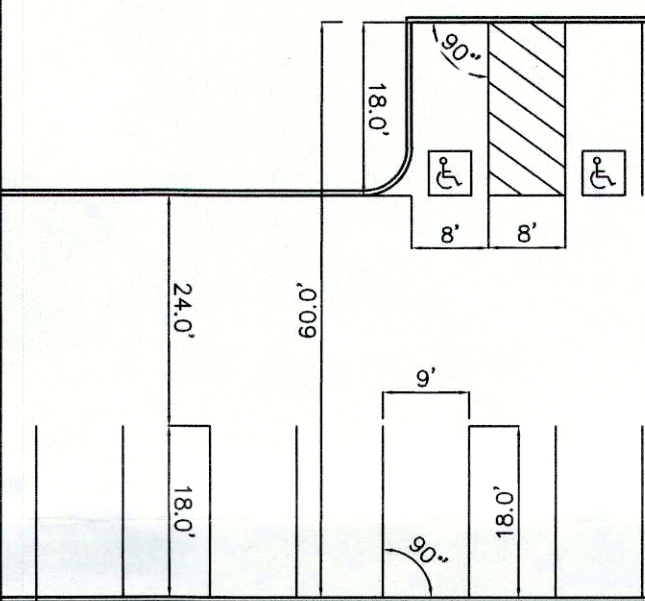
BENCHMARKS:

**BENCHMARK #1**  
N 266125.86  
E 1207752.46  
ELEVATION=453.35

**BENCHMARK #2**  
N 266105.96  
E 1208035.94  
ELEVATION=456.36

TYPICAL PARKING MODULE

SCALE: 1"=20'



SITE DATA CHART

BUILDING SETBACKS			PARKING SPACES		
REQUIRED	PROVIDED		REQUIRED	PROVIDED	
FRONT: S. BROOK ST.	25'	45.3'	NUMBER OF SPACES	26	19
REAR: CSX RAILROAD	N/A	90.0'	PARKING REQUIREMENTS		
SIDE: E. BLOOM ST.	25'	16.2'	1 SPACE PER 125 SQ.FT.		
SIDE: SOUTH	20'	57.2'	THEREFORE: 3,045 / 125 = 26 SPACES REQUIRED.		

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: S. BROOK ST.	10'	11.0'
REAR: CSX RAILROAD	N/A	1.8'
SIDE: E. BLOOM ST.	10'	3.0'
SIDE: SOUTH	10'	2.3'

LAND USE DATA

	PERCENTAGE OF SITE AREA	AREA PROVIDED
BUILDING	11.1%	0.06 AC.
PAVEMENT/IMPERVIOUS	36.5%	0.39 AC.
LANDSCAPING	57.9%	0.62 AC.
TOTAL	100%	0.54 AC.

EXISTING SITE USE:  
ASPHALT AND GRAVEL PARKING LOT FOR CITY VEHICLES

PROPOSED SITE USE:  
TACO BELL RESTAURANT WITH PARKING AND DRIVE THRU.

BIKE RACKS

	REQUIRED	PROVIDED
SHORT TERM RACKS	2	2
RACK REQUIREMENTS		
1 RACK PER 50 SEATS		
THEREFORE: $66 / 50 = 2$ SHORT TERM BIKE		
RACKS REQUIRED.		
	REQUIRED	PROVIDED
LONG TERM RACKS	2	2

LONG TERM RACKS

REQUIRED	PROVIDED
1 RACK PER 50 EMPLOYEES	2

RACK REQUIREMENTS

GROSSING BUILDING FLOOR AREA: 2354 S.F.

GROSS BUILDING FOOTPRINT AREA: 3045 S.F.

BUILDING HEIGHT: 24'-0"

CURRENT ZONING: EZ-1 (ENTERPRISE ZONE)

FORM DISTRICT: CAMPUS

LANDSCAPE DATA CHART

VEHICULAR USE AREAS			EXISTING TREE REPLACEMENT		
AREA OF VUA	11,898 SF		SIZE OF REMOVED TREE: 4"-6" CALIPER		
DISTRICT : CAMPUS			NUMBER OF REPLACEMENT TREES REQUIRED:		
VUALBA	REQUIRED	PROVIDED	NUMBER OF REPLACEMENT TREES PROPOSED:		
FRONT: S. BROOK ST.	10'	11.0'	2-3" TREES		
REAR: CSX RAILROAD	N/A	1.8'			
SIDE: E. BLOOM ST.	10'	3.0'			
SIDE: SOUTH	10'	2.3'			

LAND DEVELOPMENT CODE	DISCRPTION
	<b>VARIANCE REQUESTS</b>
5.3.5.C.3	REDUCTION OF THE REQUIRED BUILDING SETBACK FROM 25FT TO 10.5 FT.
	<b>WAIVER REQUESTS</b>
10.2	WAIVER FOR REQUIRED 5FT LBA, (1) TREE PER 50' AND 6FT TALL CONTINUOUS SCREEN ALONG THE SOUTH PROPERTY LINE.
5.5.2.A.1	WAIVER FOR REQUIRED ILA (TREES REQUIRED) 2 PROVIDED WITH 3 REQUIRED.
5.5.5.A.1	WAIVER FOR REQUIRED ENTRANCE ON THE NORTH FACADE OF THE PROPOSED STRUCTURE FACING E BLOOM ST.
5.5.5.A.1	PROPOSED MENU-BOARD AND ORDER POINT WITHIN THE REQUIRED YARD SETBACK ALONG E BLOOM ST.
5.5.5.A.1	PROPOSED OUTDOOR SEATING WITHIN THE YARD SETBACK WITHOUT PROVIDING THE REQUIRED 5FT LBA ALONG THE SOUTH PROPERTY LINE.
5.5.2.C.2a	REDUCE THE REQUIRED 10FT VUALBA SETBACK ALONG E BLOOM ST TO 3.3FT AND ALONG THE SOUTH PROPERTY LINE TO 2.5FT.



GENERAL LEGEND		
EXISTING		PROPOSED
P/L	PROPERTY LINE	PROPOSED CATCH BASIN
C/L	CENTER LINE	PROPOSED STORM MANHOLE
R/W	RIGHT-OF-WAY LINE	PROPOSED CLEAN OUT
OH	EXISTING YARD DRAIN	PROPOSED SANITARY MANHOLE
OH	EXISTING STORM MANHOLE	PROPOSED EXTERIOR GREASE INTERCEPTOR
OH	EXISTING CATCH BASIN	PROPOSED ELECTRIC TRANSFORMER
OH	EXISTING CURB INLET	PROPOSED LIGHT POLE
OH	EXISTING CLEAN OUT	PROPOSED EDGE OF PAVEMENT
OH	EXISTING SANITARY MANHOLE	PROPOSED CURB
OH	EXISTING FIRE HYDRANT	PROPOSED CURB & GUTTER
OH	EXISTING WATER VALVE	PROPOSED WHEEL STOP
OH	EXISTING WATER METER	PROPOSED TRAFFIC SIGN
OH	EXISTING ELECTRIC BOX	PROPOSED GRASSSED SWALE
OH	EXISTING ELECTRIC METER	PROPOSED PAINTED ADA SYMBOL
OH	EXISTING ELECTRIC PULL BOX	PROPOSED DIRECTIONAL PAVEMENT MARKINGS
OH	EXISTING POWER POLE	PROPOSED TRANSVERSE STRIPING
OH	EXISTING LIGHT POLE	PROPOSED CROSSWALK STRIPING
OH	EXISTING UTILITY POLE	PROPOSED CONCRETE
OH	EXISTING GUY WIRE	PROPOSED GAS METER
OH	EXISTING OVERHEAD UTILITIES	PROPOSED SENSOR LOOP
OH	EXISTING GAS VALVE	PROPOSED AINING CLEARANCE BAR
OH	EXISTING STORM SEWER	PROPOSED MENU BOARD
OH	EXISTING SANITARY SEWER	PROPOSED MONUMENT SIGN
OH	EXISTING UNDERGROUND ELECTRIC	PROPOSED DIRECTIONAL SIGN
OH	EXISTING UNDERGROUND TELEPHONE	PROPOSED PARKING SPACE NUMBER
OH	EXISTING GAS SERVICE	PROPOSED SHORT TERM BIKE RACK
OH	EXISTING BUILDING/STRUCTURE	PROPOSED LONG TERM BIKE RACK
OH	EXISTING CURB	
OH	EXISTING CURB & GUTTER	
OH	EXISTING SIGN	
OH	EXISTING BUSH	
OH	EXISTING DECIDUOUS TREE	
OH	EXISTING CONTOUR	
OH	EASEMENT LIMITS	
OH	BENCHMARK LOCATION	



CONTRACT DATE:

BUILDING TYPE: EXPLORER LARGE 66

PLAN VERSION:

SITE NUMBER: 310631 / 428936

STORE NUMBER: 2014088.15

TACO BELL

1805 S BROOK ST  
LOUISVILLE, KY 40208



EXPLORER  
LARGE66

DEVELOPMENT  
PLAN

T-002

PLOT DATE:

IS VARIANCE REQUIRED