

VICINITY MAP  
NOT TO SCALE

PERIMETER PLANTING

REQUIRED		
1. East (Bardstown Rd) 175 LF @ 1 Small Tree / 30 LF (OHV)	=	6 Trees
2. South (Entry Drive) 120 LF @ 1 Tree / 50 LF	=	2.4 or 3 Trees
3. West 195 LF @ 1 Tree / 50 LF	=	3.9 or 4 Trees
4. North (Entry Drive) 178 LF @ 1 Tree / 50 LF	=	3.5 or 4 Trees

REQUIRED		
1. East	3 Winter King Hawthorn & 3 Redbud	
2. South	3 October Glory Maple	
3. West	1 October Glory Maple & 3 Redbud	
4. North	3 October Glory Map and 1 Redbud	

INTERIOR LANDSCAPE PLANTING

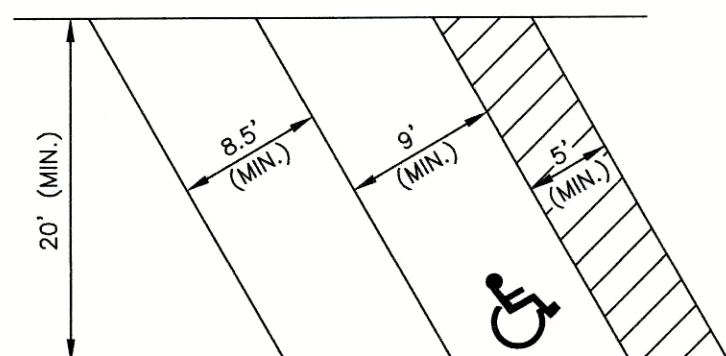
REQUIRED		
1. Total VUA	=	22,683 SF
Min. % of VUA to be in Interior Landscape Area (ILA)	=	7.5%
7.5% of VUA required if total VUA between 12,000 and 30,000 SF	=	1,701.2 SF
Any landscape area surrounded by or projecting into a VUA can be used to meet interior landscape area requirements.		
2. All ILA's to be min. 133 SF and 8' Width	=	120 ft.
3. Max distance between ILA	=	5.6 or 6 Trees
4. 1 Large or Medium tree shall be provided for every 4,000 SF of VUA		

PROVIDED		
1. Total Interior Landscape Area provided (ILA)	=	1,815 SF or 8%
2. All ILA's counted are min. 133 SF, Islands are 8' wide		
3. All ILA's within 120 LF		
4. 4 Littleleaf Linden		
2 Oak		
6 Total to meet ILA requirements		

TREE CANOPY CALCULATIONS

REQUIRED		
1. Site within Suburban Marketplace Corridor Form District	=	Class C
0% Trees Existing on site and 0% Trees Preserved		
Canopy Coverage required	=	20%
Site Area	=	0.9965 Ac or 43,407 SF
2. 20% of Site Area	=	8,681.4 SF

PROVIDED		
1. 13 Type A Trees @ 960	=	12,480
0 Type B Trees @ 432	=	0
12 Type C Trees @ 106	=	1,272
	=	13,752 SF Total



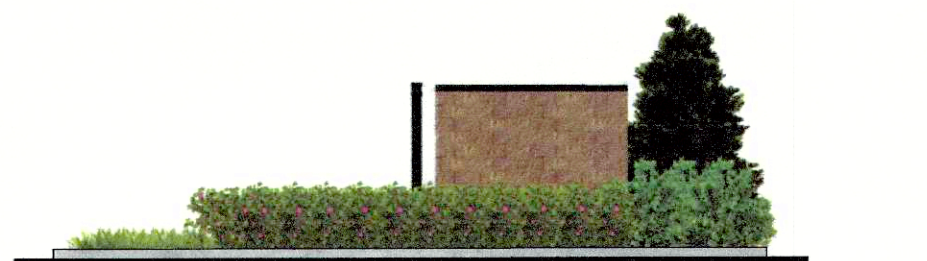
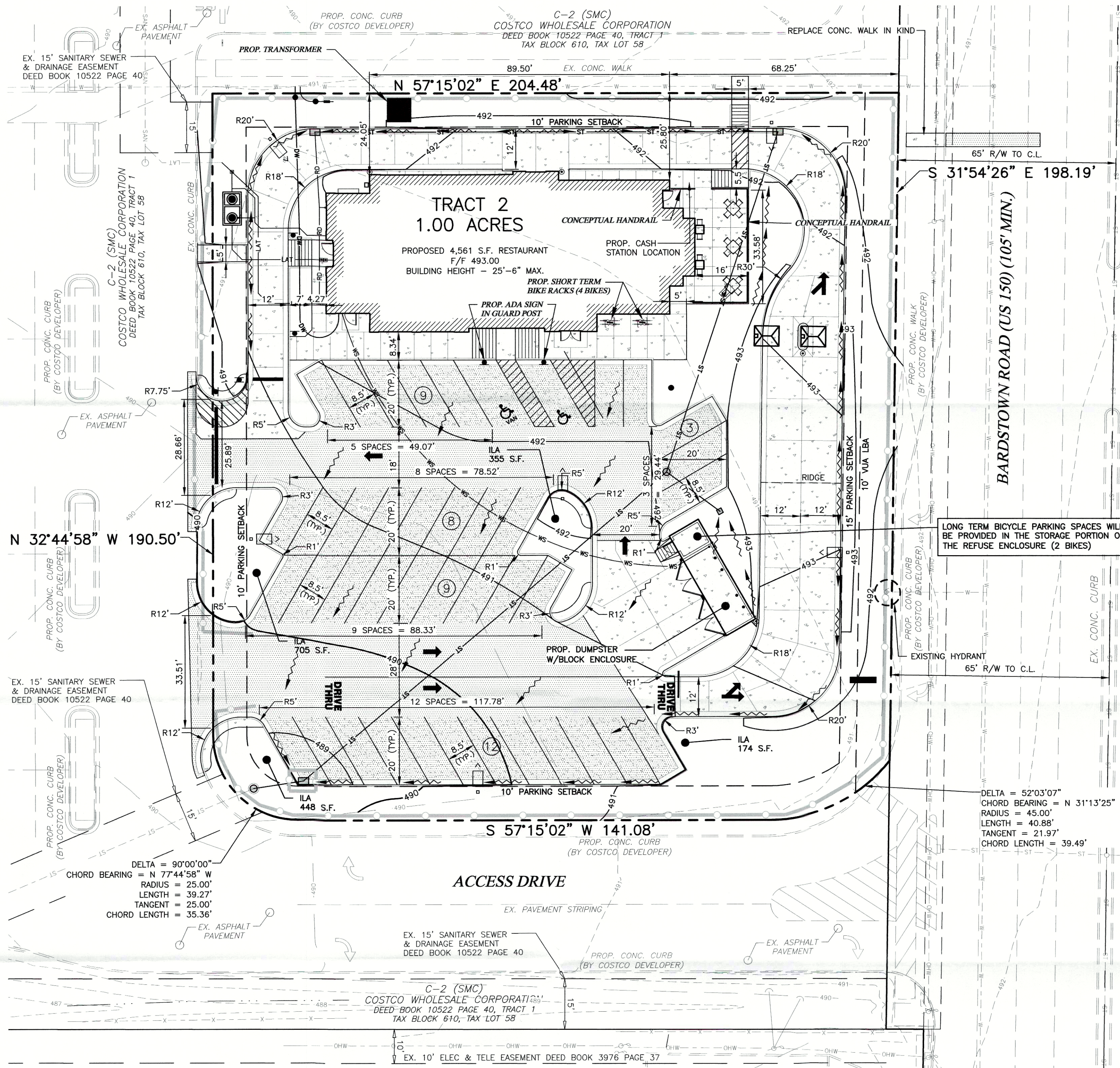
TYPICAL PARKING SPACE LAYOUT  
NOT TO SCALE



UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Revision	Date	Description	Detailled by	Chk'd by	Approved By



SOUTH ELEVATION  
SCALE: 1"= 1' 0"



EAST ELEVATION VIEW FROM BARDSTOWN ROAD  
SCALE: 1"= 1' 0"

DUMPSTER ENCLOSURE  
SCREENING ELEVATIONS  
NOT TO SCALE

THE SUBJECT PARCEL IS LOCATED IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 21111C0060E, HAVING AN EFFECTIVE DATE OF DECEMBER 5, 2006.

ALTA/ACSM LAND TITLE SURVEY FOR SITE PREPARED BY BTM ENGINEERING, INC. DATED 1/5/2016.

EXISTING CONDITIONS ON COSTCO SITE ARE BASED ON IMPROVEMENTS CONSTRUCTED AS A PART OF THE COSTCO WHOLESALE LOUISVILLE, KENTUCKY PROJECT.

BICYCLE SUMMARY

SHORT TERM REQUIRED (2 SPACES OR 1/25,000 SF)	=	4 SPACES
LONG TERM REQUIRED (2 SPACES OR 1/50,000 SF)	=	2 SPACES
TOTAL BICYCLE TERM PARKING PROVIDED	=	6 SPACES

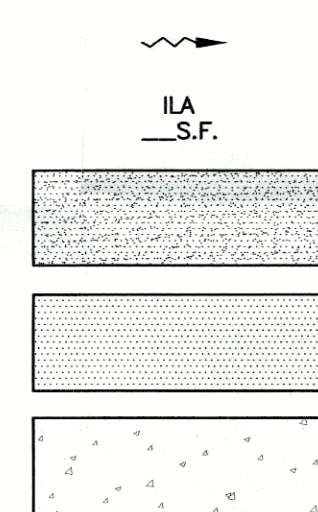
PARKING SUMMARY

TRACT 2	RETAIL	MIN. PARKING REQUIRED	MAX. PARKING ALLOWED	PARKING PROVIDED
	4,561 SF	41 SPACES (1SP/125 SF)	91 SPACES (1SP/50 SF)	
	TOTAL	41 SPACES	91 SPACES	41 SPACES

CASE# 16DEVPLAN1075 DOC# WM# 11383

LEGEND

- CONCEPTUAL MANHOLE
- EX. MANHOLE
- CONCEPTUAL BOX INLET
- EX. BOX INLET
- EX. LIGHT POLE
- EX. POWER POLE
- PROP. LIGHT POLE
- EX. GAS LINE
- CONCEPTUAL SANITARY SEWER
- CONCEPTUAL SANITARY LATERAL
- EX. SANITARY SEWER
- CONCEPTUAL STORM SEWER
- CONCEPTUAL ROOF DRAIN
- EX. STORM SEWER
- CONCEPTUAL WATER SERVICE
- EX. WATER LINE
- EX. CURB
- CONCEPTUAL PROPOSED CONTOURS
- EX. CONTOURS
- CONCEPTUAL CURB & GUTTER
- CONCEPTUAL SILT FENCE AND INLET PROTECTION
- CONCEPTUAL SURFACE DRAINAGE PATTERN
- CONCEPTUAL INTERIOR LANDSCAPE AREA
- PROP. LIGHT DUTY PAVEMENT
- PROP. MEDIUM DUTY PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK



PROPERTY OWNER

KADEN COMPANIES  
6100 DUTCHMANS LANE, SIXTH FLOOR  
LOUISVILLE, KY 40205

PROPERTY DEVELOPER

CHICK-FIL-A  
5200 BUFFINGTON RD.  
ATLANTA, GA 30349-2998

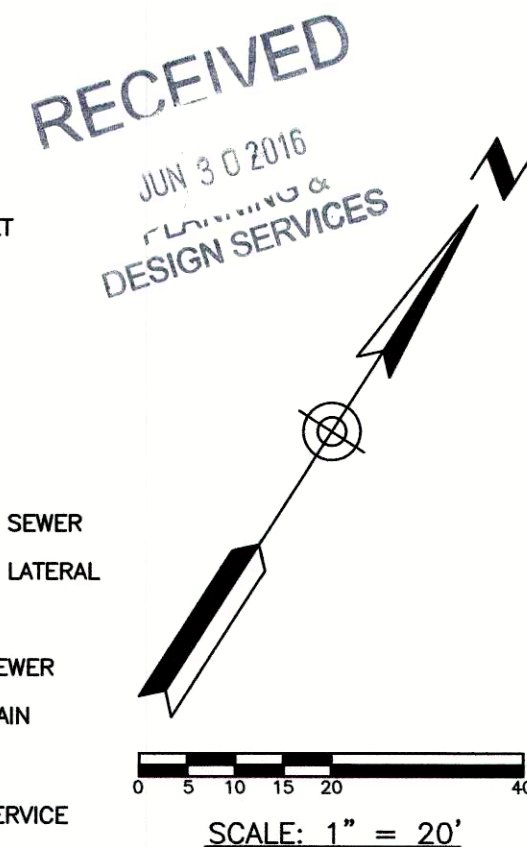
SITE DATA

SITE ADDRESS:  
3408 BARDSTOWN ROAD  
LOUISVILLE, KY 40218  
D.B. 10522, PG. 40  
TAX BLOCK 610, LOT 58

TOTAL SITE AREA: ±1.00 ACRES  
FORM DISTRICT: SUBURBAN MARKETPLACE CORRIDOR  
EX. ZONING: C-2  
EX. LAND USE: RETAIL  
PROP. LAND USE: RESTAURANT  
FLOOR AREA RATIO: 0.11 F.A.R.  
EX. BUILDING: 0 SF  
EX. BUILDING DEMO: 0 SF  
PROP. BUILDING: 4,561 SF  
TOTAL BUILDING: 4,561 SF  
PERCENTAGE OF CHANGE: 0% REDUCTION  
AREA OF DISTURBANCE: 0.99 ACRES

NOTES

- 1) WASTEWATER: MSD SANITARY SEWERS AVAILABLE BY NEW CONNECTION, SUBJECT TO FEES AND CHARGES. A 15' PRIVATE SANITARY SEWER EASEMENT MUST BE DEDICATED OVER ACROSS TRACT 1 PRIOR TO CONSTRUCTION APPROVAL. SEWAGE TO BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL AND GREASE POLICY.
- 2) DOMESTIC WATER SUPPLY: SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
- 3) DRAINAGE: DRAINAGE PATTERN DEPICTED BY ARROWS (--->---) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES, CHANNELS AND WATER QUALITY METHODS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
- 4) THE DEVELOPMENT LIES IN THE BUECHEL FIRE DISTRICT.
- 5) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21111C0060E REV. DECEMBER 5, 2006).
- 6) ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJUTING RESIDENTIAL AREAS.
- 7) ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH CHAPTER 10.
- 8) PRIOR TO ANY CONSTRUCTION ACTIVITY, AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL.
- 9) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT PARTICULATE MATTER FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- 10) ENCROACHMENT PERMIT AND BOND ARE REQUIRED BY MPW FOR ANY WORK WITHIN RIGHT-OF-WAY.
- 11) UPON DEVELOPMENT OR REDEVELOPMENT OF ADJACENT PROPERTIES, A UNIFIED ACCESS AND CIRCULATION SYSTEM SHALL BE DEVELOPED TO ELIMINATE PREEXISTING CURB CUTS AND PROVIDE FOR VEHICULAR MOVEMENT THROUGHOUT ADJACENT SITES AS DETERMINED APPROPRIATE BY THE DEPARTMENT OF PUBLIC WORKS. A CROSS ACCESS AGREEMENT TO RUN WITH THE LAND AND IN A FORM ACCEPTABLE TO PLANNING COMMISSION LEGAL COUNSEL SHALL BE RECORDED PRIOR TO THE TIME OF CONSTRUCTION APPROVAL FOR THE ADJACENT PROPERTY TO BE DEVELOPED.
- 12) COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- 13) OFF-STREET LOADING AND REFUSE COLLECTION AREAS SHALL BE LOCATED AND SCREENED SO AS NOT TO BE VISIBLE FROM ADJACENT PUBLIC STREETS AND RESIDENTIAL USES.
- 14) SIGNAGE: ALL SIGNS SHALL BE IN COMPLIANCE WITH CHAPTER 8 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE AND APPLICABLE ORDINANCES.
- 15) ACCESSORY STRUCTURES SHALL BE IN COMPLIANCE WITH SECTIONS 5.5.5 AND 10.2.6 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- 16) EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS. DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING AREAS ARE SEEDD AND STABILIZED. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDD, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE. ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING 122-02. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN. WHERE CONSTRUCTION LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- 17) CROSSOVER ACCESS EASEMENT BETWEEN COSTCO PROPERTY TO CHICK-FIL-A PROPERTY PROVIDED BY D.B. 10522, PG. 54 OF THE JEFFERSON COUNTY CLERK'S OFFICE.
- 18) RIGHT-OF-WAY DEDICATION REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

REVISION	BY	DATE

SETBACK DATA	REQUIRED	PROVIDED
MIN. FRONT YARD	5' (S.3.2.C.2.A)	59'
MAX. FRONT YARD	275'	59'
SIDE YARD	NONE	23' MIN.
REAR YARD	NONE	33' MIN.
MAX. BUILDING HEIGHT	60'	25' MAX.

IMPERVIOUS AREA

PRE	43,560 S.F.
POST	30,757 S.F.
PERCENTAGE OF CHANGE:	29.4% DECREASE

GBC DESIGN, INC.  
565 White Pond Dr.  
Akron, OH 44320-1123  
Phone 330-836-0228  
Fax 330-836-5782

STORE #3823  
Bardstown Rd. FSU  
S08H-E-R

3408 Bardstown Road  
Louisville, KY 40218

SHEET TITLE  
DETAILED  
DISTRICT  
DEVELOPMENT  
PLAN FOR  
CHICK-FIL-A  
DWG EDITION V3  
REVISION 1-2014

Job No. : 48182A

Store : 3823

Date : 3/31/16

Drawn By : B.A.W.

Checked By : A.S.W.

Sheet

1 OF 1

MSD WM NO. 11383