

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCING. ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGE INTO A STREAM, POND, SWALE OR CATCH BASIN.

1) ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE KENTUCKY 811 FOURTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

2) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, NATURE, AND STATUS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN ON THE PLANS OR NOT, AND SHALL EXTEND, ADJUST OR RECONSTRUCT TO THE SIZE AND LOCATION AS SHOWN ON THE ARCHITECT'S PLANS.

TOTAL SITE AREA	195,341 SQ. FT.
EXISTING TREE CANOPY TO REMAIN	0%
TREE CANOPY REQUIRED	20%

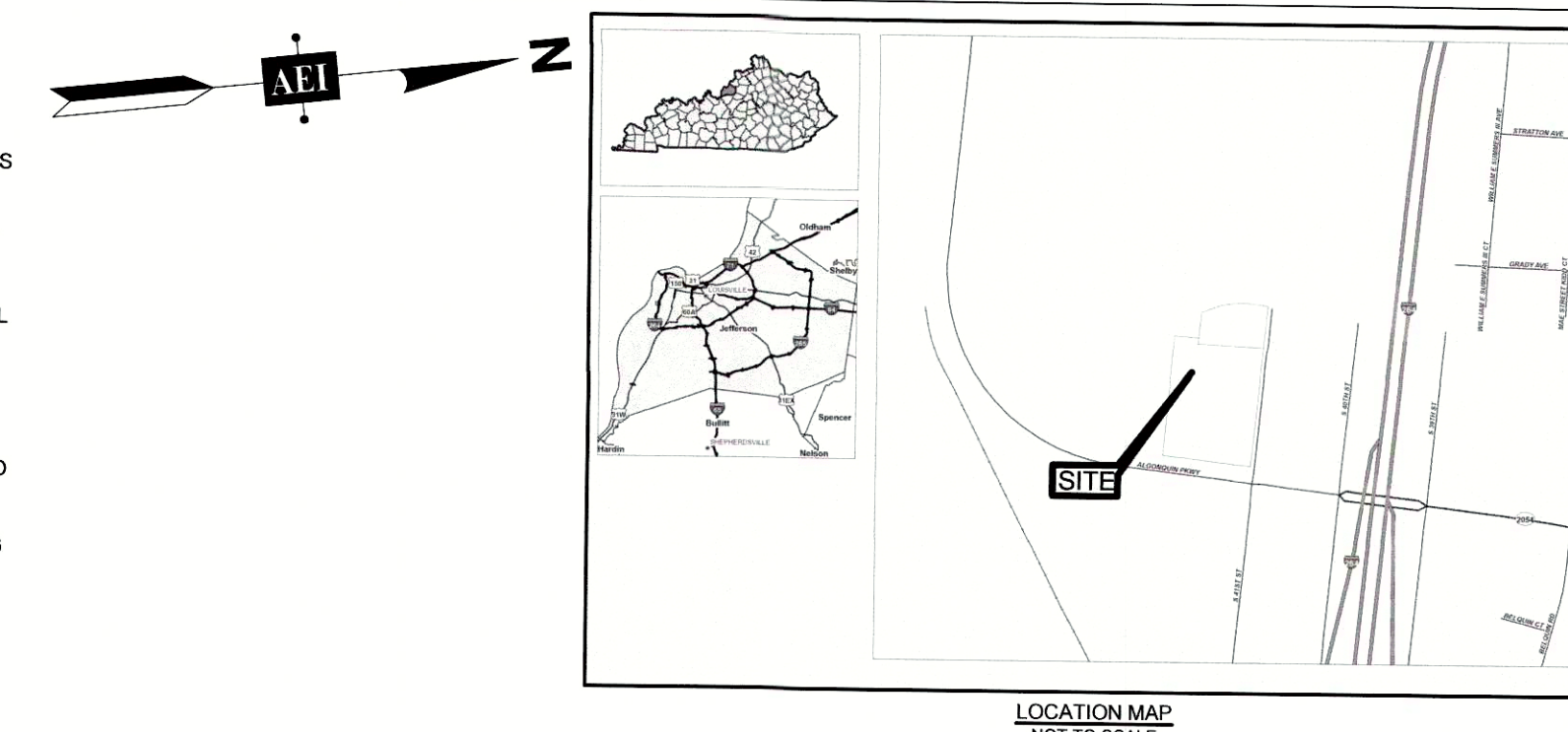
ILA CALCULATIONS

VUA	29,554 SQ. FT. (15%)
ILA REQUIRED (7.5%)	2,220 SQ. FT.
ILA PROVIDED (ALTERNATIVE LANDSCAPE PLAN W/ 2,220 SF ILA)	
TREES REQUIRED	9 TREES

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PROJECT DATA	
TOTAL SITE AREA	4.48 ACRES (195,341 SQ. FT.)
PARCEL ID	047D00540000, 047D00170000
ZONING	EZ-1
FORM DISTRICT	SUBURBAN WORKPLACE
FEMA MAP & CLASSIFICATION	21111C0039E, Zone X
EXISTING USE	CONCRETE, CENTRAL MIXING, & PLANT
PROPOSED USE	CONCRETE, CENTRAL MIXING, & PLANT
EXISTING BUILDING AREA	18,028 SQ. FT. (SOME TO BE REMOVED)
PROPOSED BUILDING AREA	15,602 SQ. FT. (FAR 0.08)
FRONT YARD SETBACK	30'
REAR YARD SETBACK	0'
SIDE YARD SETBACK	0'
MAX. BLDG. HEIGHT ALLOWED	50' + 1' BACK FOR EVERY 4' HIGH
EXISTING BLDG. HEIGHT	VARIABLE (73' TO TOWER)
PROPOSED BLDG. HEIGHT	105' (INCLUDES TOP OF ANTENNA)
FIRE PROTECTION DISTRICT	LOUISVILLE #1
DEED BOOK & PAGE	D.B. 9259 PG. 0272, D.B. 9314 PG. 0239
PROPERTY ADDRESS	4121 ALGOUNQUIN PARKWAY
PARKING SPACES REQ.	MIN. 1 SP/1.5 EMPLOYEES - 16 SPACES MAX. 1 SP/1.5 EMPLOYEES - 24 SPACES
PROVIDED PARKING SPACES	24 SPACES INCLUDING 1 H.C. SPACE
TOTAL DISTURBED AREA	195,341 SQ. FT. (100%)
EXISTING IMPERVIOUS AREA	132,546 SQ. FT. (67.9%)
PROPOSED IMPERVIOUS AREA	146,750 SQ. FT. (75%)
NET IMPERVIOUS AREA	14,204 SQ. FT. (7.3%)
PROPOSED VUA	29,594 SQ. FT. (15%)
PROPOSED ILA	2,220 SQ. FT. (7.5%)

1. ALL DIMENSIONS SHOWN IN PAVED AREAS ARE FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE.
2. ALL PAVED AREAS, INCLUDING PARKING ISLANDS, SHALL BE OUTLINED WITH CONCRETE CURB UNLESS NOTED OTHERWISE.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.D.A." REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
4. EXPANSION JOINTS SHALL BE PLACED IN ALL CONCRETE CURBS AT ALL RADIUS POINTS, BETWEEN ALL WALLS AND CURBS AND EVERY 25' ALONG STRAIGHT SECTIONS.
5. SILT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND REMOVED UPON COMPLETION OF THE JOB ONCE VEGETATION IS ESTABLISHED.
6. MSD SANITARY SEWERS AVAILABLE BY CONNECTION, NOT LATERAL EXTENSION. RECAPTURE FEES DO NOT APPLY.
7. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
8. COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS APPLICABLE AGENCIES REQUIRE OTHERWISE.
9. THERE SHALL BE NO INCREASE IN DRAINAGE RUN OFF TO STATE ROADWAYS. THERE SHALL BE NO COMMERCIAL SIGNS ON THE RIGHT OF WAY. THERE SHALL BE NO LANDSCAPING IN THE RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. SITE LIGHTING SHALL NOT SHINE IN THE EYES OF DRIVERS. IF IT DOES, IT SHALL BE RE-AIMED, SHIELDED OR TURNED OFF.
10. CONSTRUCTION PLANS, BOND AND PERMIT WILL BE REQUIRED BY KYTC AND METRO WORKS FOR ANY WORK WITHIN THE RIGHT-OF-WAY PRIOR TO CONSTRUCTION APPROVAL.
11. ANY LOSS IN FLOODPLAIN VOLUME TO BE COMPENSATED ON SITE AT A 1:1 RATIO.
12. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
13. OFF-STREET LOADING AND REFUEL COLLECTION AREAS SHALL BE LOCATED AND SCREENED SO AS NOT TO BE VISIBLE FROM ADJACENT PUBLIC STREETS AND RESIDENTIAL USES.
14. MORRIS FORMAL WATER QUALITY TREATMENT PLANT IS THE SEWAGE TREATMENT PLANT THAT SERVES THE SITE.

[illegible]

DEVELOPMENT PLAN

CLIENT:

**ERNST CONCRETE
KENTUCKY, LLC
3361 SUCCESSFUL WAY
DAYTON, OH 45414-4317**

**ERNST CONCRETE
LOUISVILLE PLANT
4121 ALGONQUIN PARKWAY**

Plans Prepared and Submitted By:

AET

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SCALE:
1"=40'

DATE:
5-4-16

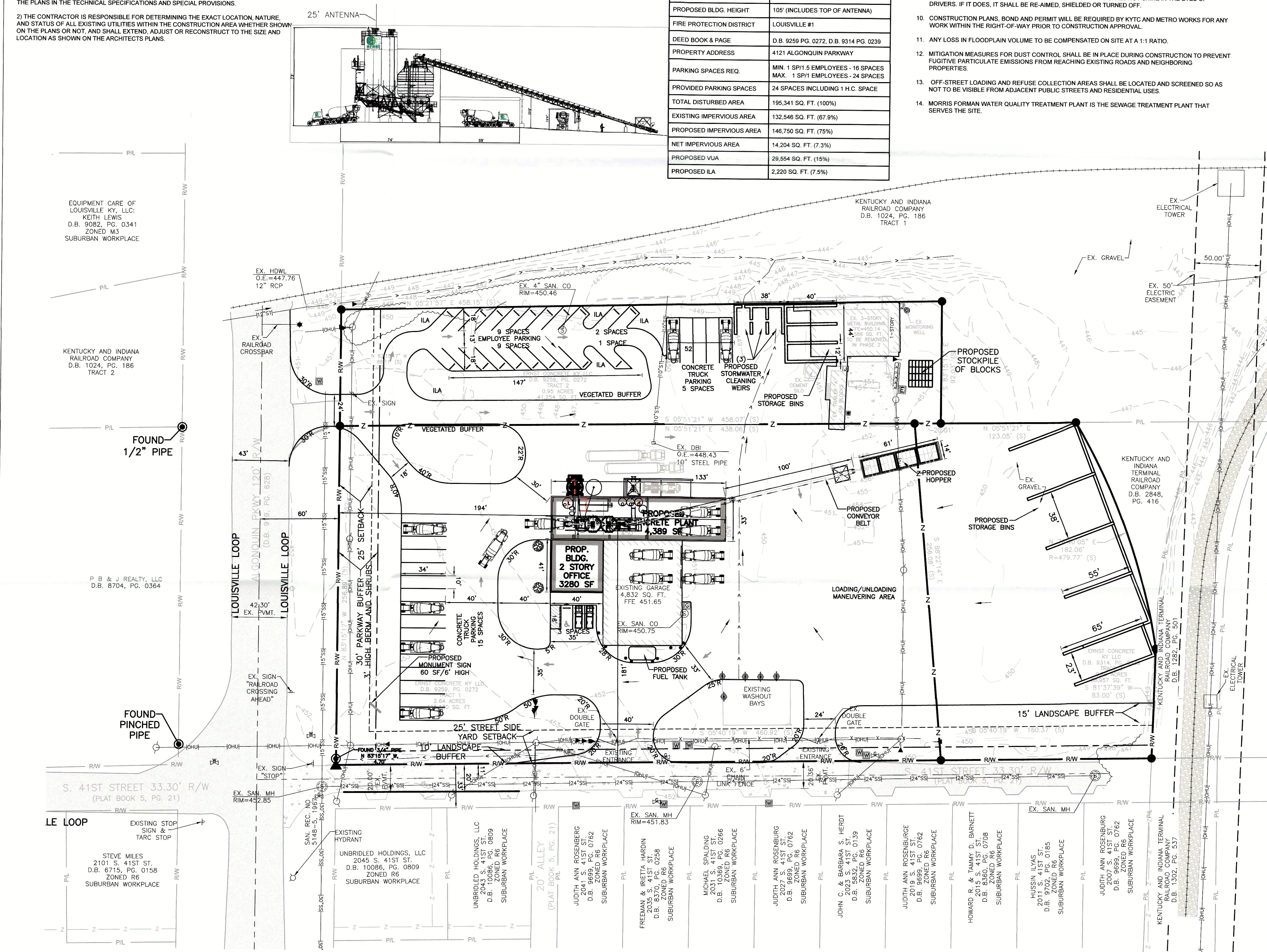
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Y:\16 PROJECTS\216-052 Ernst
Concrete Louisville Algonquin
Parkway\SiteDev\

SHEET:

DP



RECEIVED
JUN 20 2016
PLANNING &
DESIGN SERVICES

OWNER / DEVELOPER
ERNST CONCRETE KENTUCKY, LLC
3361 SUCCESSFUL WAY
DAYTON, OH 45414-4317
CASE # 16DEVPLAN1109
WM# 6368



NODE/PLANNING