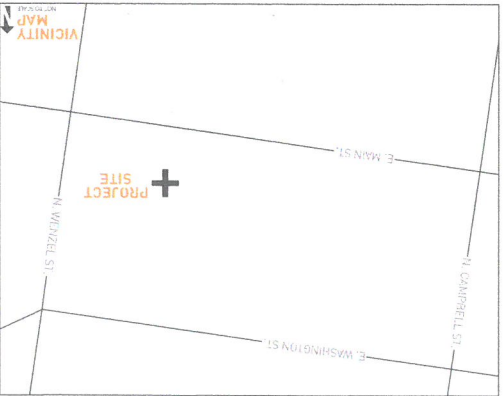


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Parcel ID: 019600130000
Zoning: C4
Form District: I-MC
Use and Occupancy: Single B (Accessory) - Professional Office
Design Occupancy: 8 occ. (1 per 20 SF)
Total Occupancy: 4 occ. (1 per office)
Overlay District: Budtown
Design Occupancy: 4 occ. (1 per office)

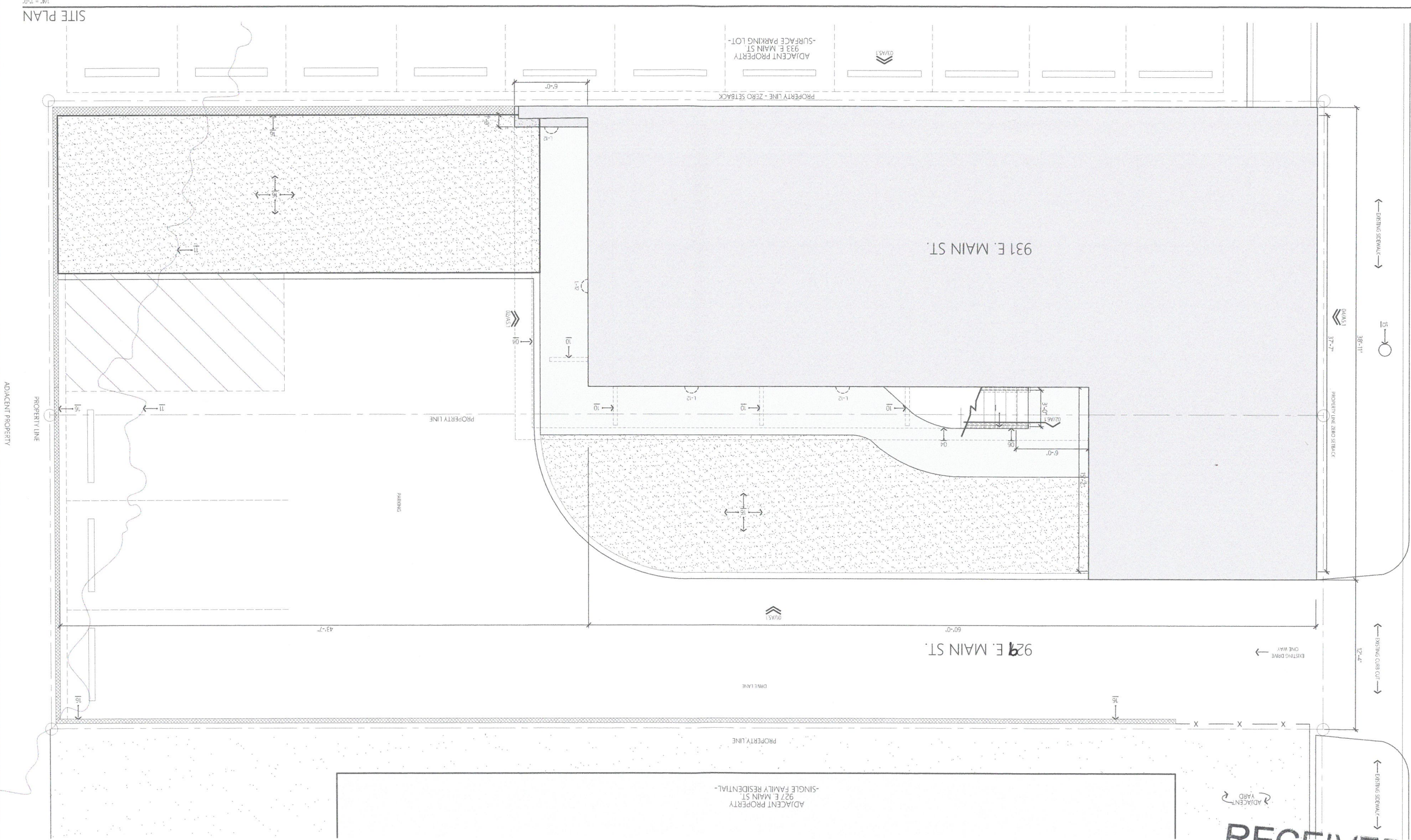
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PARKING SUMMARY	
22	NEW NOMINAL 6" CONCRETE MASONRY UNIT WALL SYSTEM.
21	NEW NOMINAL 2"x8" STUD FRAMING WITH R-15 BATT INSULATION, VAPOR BARRIER, AND 5/8" THICK GYPSUM WALL BOARD.
20	NEW FULL HEIGHT INTERIOR PARTITION CONSISTING OF 2"x4" NOMINAL METAL STUDS, 3" OF ACoustical BATT INSULATION AND ONE LAYER OF 5/8" GYPSUM WALL BOARD.
19	WALL MOUNTED OR SUSPENDED LIGHT FIXTURES, REFERENCE REFLECTED CEILING PLANS.
18	CUSTOM STEEL VEHICULAR GATE WITH AUTOMATIC OPERATOR.
17	EXISTING UTILITY POLE WITH OVERHEAD LINES.
16	NEW INSULATED ALUMINUM STOREFRONT GLAZED ENTRY SYSTEM.
15	NEW INSULATED ALUMINUM STOREFRONT GLAZED ENTRY SYSTEM.
14	NEW POURED CONCRETE FLOOR SYSTEM IN ADJACENT MATCHING FINISH.
13	3/4" THICK SOLID SURFACE WINDOW SILL WITH EASED EDGES.
12	CUSTOM STEEL PANEL CLADDING OFFSET 3" AND BACKLIT.

12	NEW FULL HEIGHT INTERIOR PARTITION CONSISTING OF 2"x4" NOMINAL METAL STUDS, 3" OF ACoustical BATT INSULATION AND ONE LAYER OF 5/8" GYPSUM WALL BOARD.
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GENERAL SITE PLAN NOTES	
01	REFERENCE PROJECT INFORMATION SHEET AND A2.0 FOR COMPLETE LISTING OF NOTES AND SCHEDULES.
02	REFERENCE PROJECT INFORMATION SHEET A2.0 FOR COMPLETE LISTING OF GENERAL NOTES.
03	REFERENCE PROJECT INFORMATION SHEET A2.0 FOR COMPLETE LISTING OF GENERAL NOTES.
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22	REFERENCE PROJECT INFORMATION SHEET A2.0 FOR COMPLETE LISTING OF GENERAL NOTES.



A1.0

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SITE PLAN
931 East Main Street
LOUISVILLE, KENTUCKY



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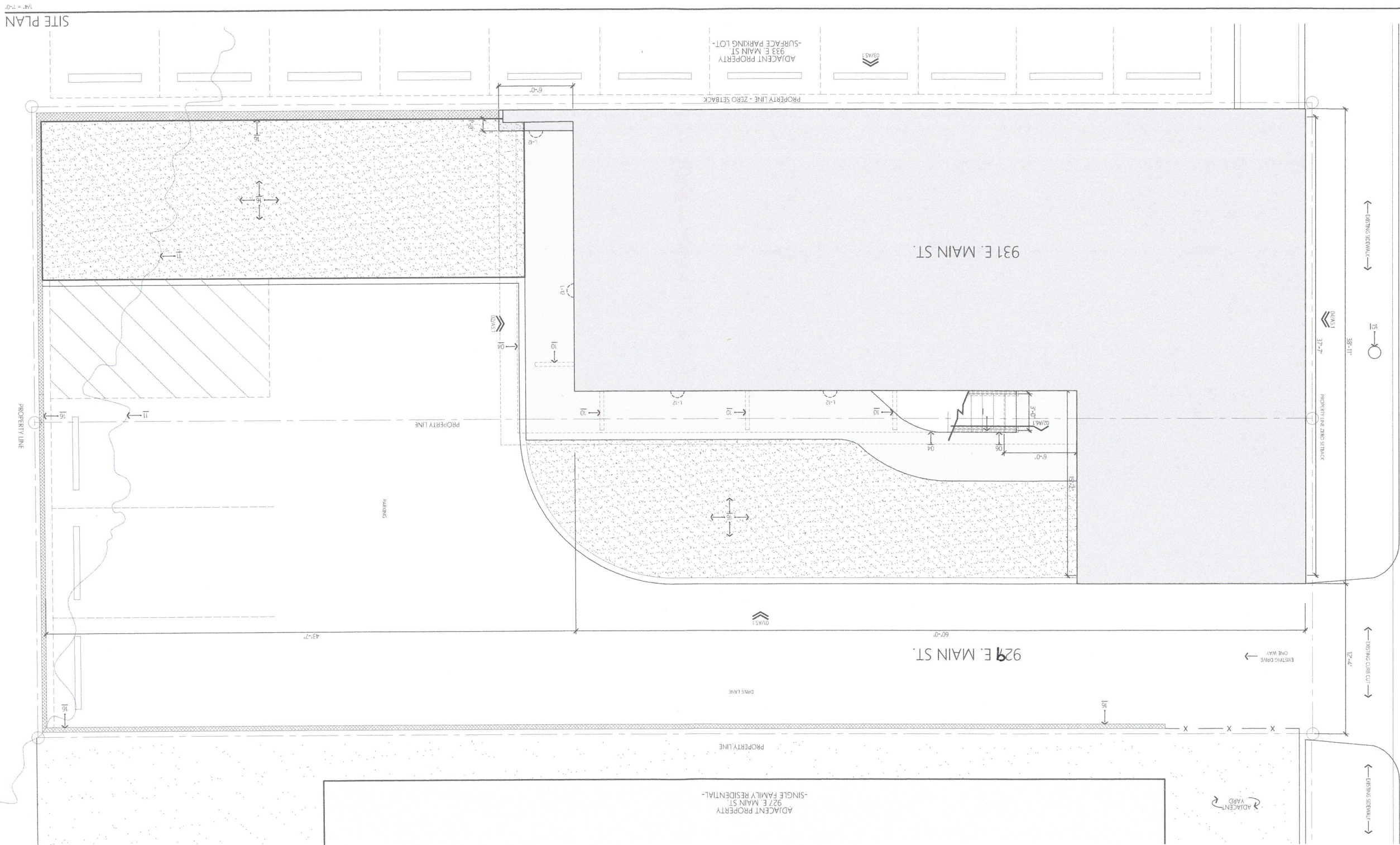


OFFICE - 1 = 1/150 SF = 4 SPACES
SINGLE FAMILY RESIDENTIAL - 1 PER DWELLING = 1 SPACE
TOTAL = 5 SPACES
TOTAL PARKING PROVIDED:
- 2 OFF-STREET SPACES
- 2 ON-STREET SPACES
TOTAL AVAILABLE: 2 SPACES

- | | |
|-----|--|
| 94 | SHOWN NAME DOWN SOUTH SIDE SYSTEM REFERENCE OPENINGS |
| 95 | ELIMINATE |
| 96 | 4" NAMED STEEL CORNERAL SYSTEM WITH CUSTOM POCKET DESIGN |
| 97 | WITH 4" MAXIMUM OPENING |
| 98 | ADJUSTABLE METAL SHELVES CONFIGURATION TO BE DETERMINED BY OWNER |
| 99 | 1" / 4" NAMED STEEL HANGAR WALL MOUNTED 36" X ABOVE |
| 100 | STAIR |
| 101 | EXISTING STAIR TREADS REMOVED STEEL STAIR SYSTEM WITH SLOU |
| 102 | EXISTING STAIR TREADS REMOVED STEEL STAIR SYSTEM |
| 103 | STEEL STAIR SUPPORT BRACKET |
| 104 | EXISTING STEEL CANTILEY. ALL REQUIRED PRILING AND TRIMMING TO BE |

GENERAL SITE PLAN NOTES

- FORMATION SHEET A0.01 FOR
ING OF GENERAL NOTES.
REMAIN
F NEW CONSTRUCTION, ALIGN/JOIN NEW
S AND INCONSPICUOUS TRANSITION.
SYSTEMAL INSPECT, PATCH, AND REPAIR AS
OF NEW FINISHES.



ADJACENT PROPERTY

SITE PLAN

SITE PLAN

931 East Main Street
LOUISVILLE, KENTUCKY

06.08.17

PAU1601

A1.0

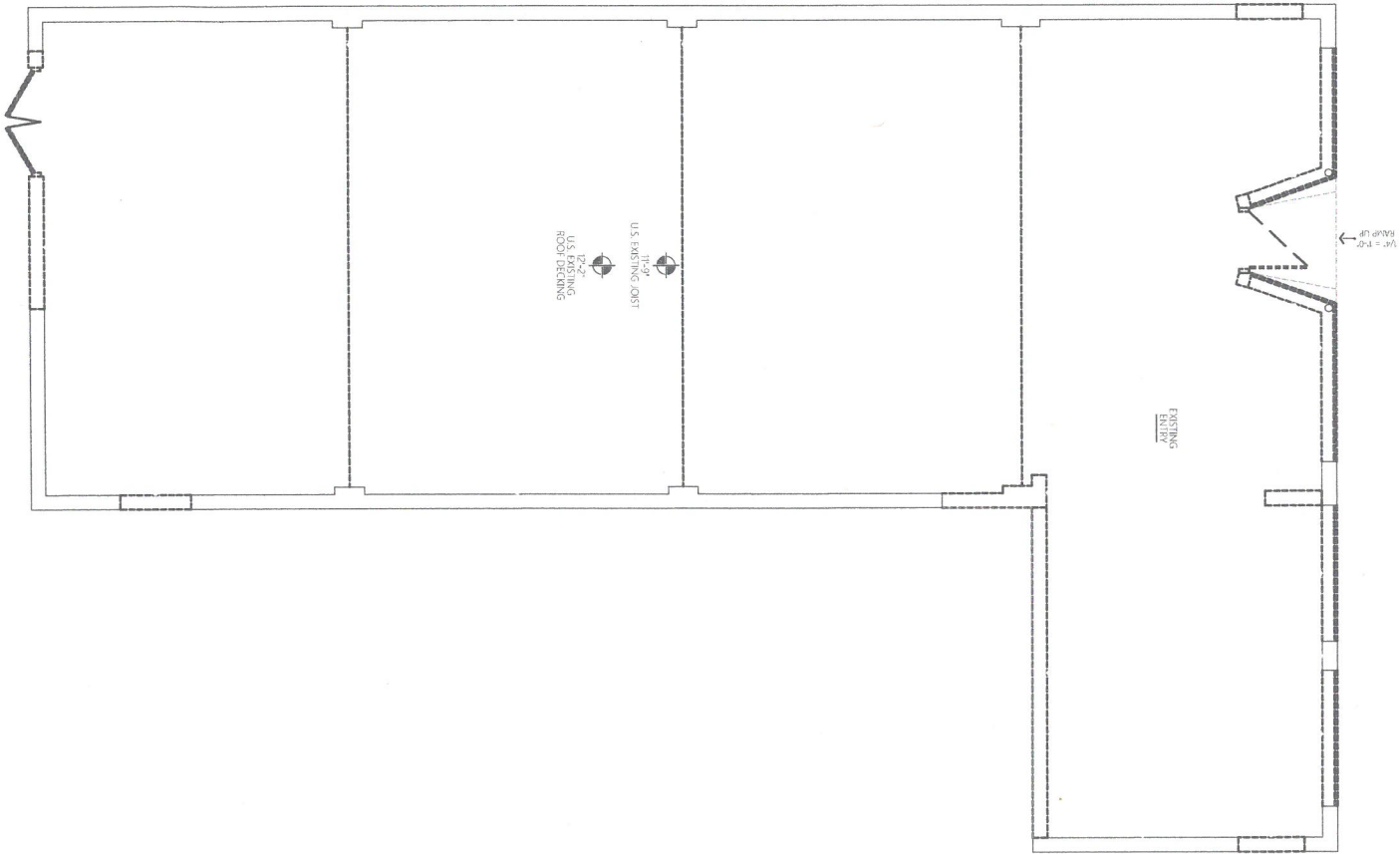
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DEMOLITION FLOOR PLAN

1/4" = 1'-0"

DEMOLITION LEGEND

XX	DEMOLITION WALL
---	DEMOLITION DOOR
---	EXISTING DOOR

PLAN NOTE: ROOM NAME/NUMBER
DEMOLITION WALL
DEMOLITION DOOR
EXISTING DOOR

- DEMOLITION NOTES
01. EXISTING CONSTRUCTION TO REMAIN, REMOVE PORTIONS OF EXISTING ELEVATION NOTES.
 02. REMOVE EXISTING MECHANICAL SYSTEMS COMPLETE. PREPARE AFFECTED AREA AS REQUIRED FOR NEW CONSTRUCTION.
 03. REMOVE EXISTING ELECTRICAL SYSTEMS COMPLETE. PREPARE AFFECTED AREA AS REQUIRED FOR NEW CONSTRUCTION.
 04. REMOVE EXISTING CEILING COMPLETE.
 05. REMOVE EXISTING DOOR OR WINDOW SYSTEM COMPLETE. PREPARE OPENING AND AFFECTED SURFACE, INCLUDING BUT NOT LIMITED TO SILL, HEAD, AND TRIM FOR NEW REPA/ADJACENT WINDOW OR DOOR.
 06. REMOVE EXISTING DOOR SYSTEM COMPLETE. PREPARE OPENING AND ALL AFFECTED SURFACES FOR THE INSTALLATION OF A NEW DOOR SYSTEM.
 07. REMOVE EXISTING WALL SYSTEM OR PORTIONS THEREOF TO LIMITS INDICATED AS REQUIRED FOR NEW CONSTRUCTION.
 08. EXISTING SIDEWALK AND ADJACENT AREAS TO REMAIN, INSPECT, CLEAN AND REPAIR ANY DAMAGE.
 09. PATCH AND REPAIR EXISTING CONCRETE FLOORING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION.
 10. EXISTING ROOF JOISTS ABOVE TO REMAIN.

- GENERAL DEMOLITION NOTES
01. BOLD DASHED LINES INDICATE ITEMS TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC INSTRUCTIONS.
 02. ALL LOCATIONS OF UTILITIES AND PIPING REMAINING THROUGH EXISTING CONSTRUCTION SCHEDULED TO REMAIN SHALL BE PATCHED WITH MATERIALS IDENTICAL TO ADJACENT CONSTRUCTION AS REQUIRED FOR UNIFORM TRANSITIONS TO ADJACENT FINISHED SURFACES.
 03. ALL REMOVED MATERIALS INDICATED AS BEING SALVAGED SHALL BE REMOVED STORED, AND RETURNED TO THE OWNER IN A MANNER THAT PREVENTS DAMAGE, THEFT, OR OTHER LOSSES FROM OCCURRING. LOSSES OCCURRING FROM REMOVAL OR MISMANAGING WILL BE THE RESULT OF THE CONTRACTOR.
 04. REMOVE ALL EXISTING PLUMBING SYSTEMS AND DESIGNATED BY ELECTRICAL, AND/OR PLUMBING SYSTEMS AND DESIGNATED BY ARCHITECT AND GENERAL CONTRACTOR AS ABANDONED.
 05. REMOVE EXISTING CEILING SYSTEM THROUGHOUT AS REQUIRED FOR NEW ROOF AND STRUCTURE.
 06. EXISTING SIDEWALK AND ADJACENT PLANTING AREAS TO REMAIN, INSPECT, CLEAN, AND REPAIR AND DAMAGE OR OR INSUFFICIENT PLANTING AREAS AND OR INSUFFICIENT PLANTING AREAS.
 07. REMOVE EXISTING ROOF STRUCTURE COMPLETE.
 08. REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM COMPLETE. REQUIRED FOR NEW CONSTRUCTION.
 09. REMOVE EXISTING ROOF STRUCTURE COMPLETE.
 10. REMOVE EXISTING FINISHES COMPLETE.
 11. REMOVE EXISTING FINISHES COMPLETE.

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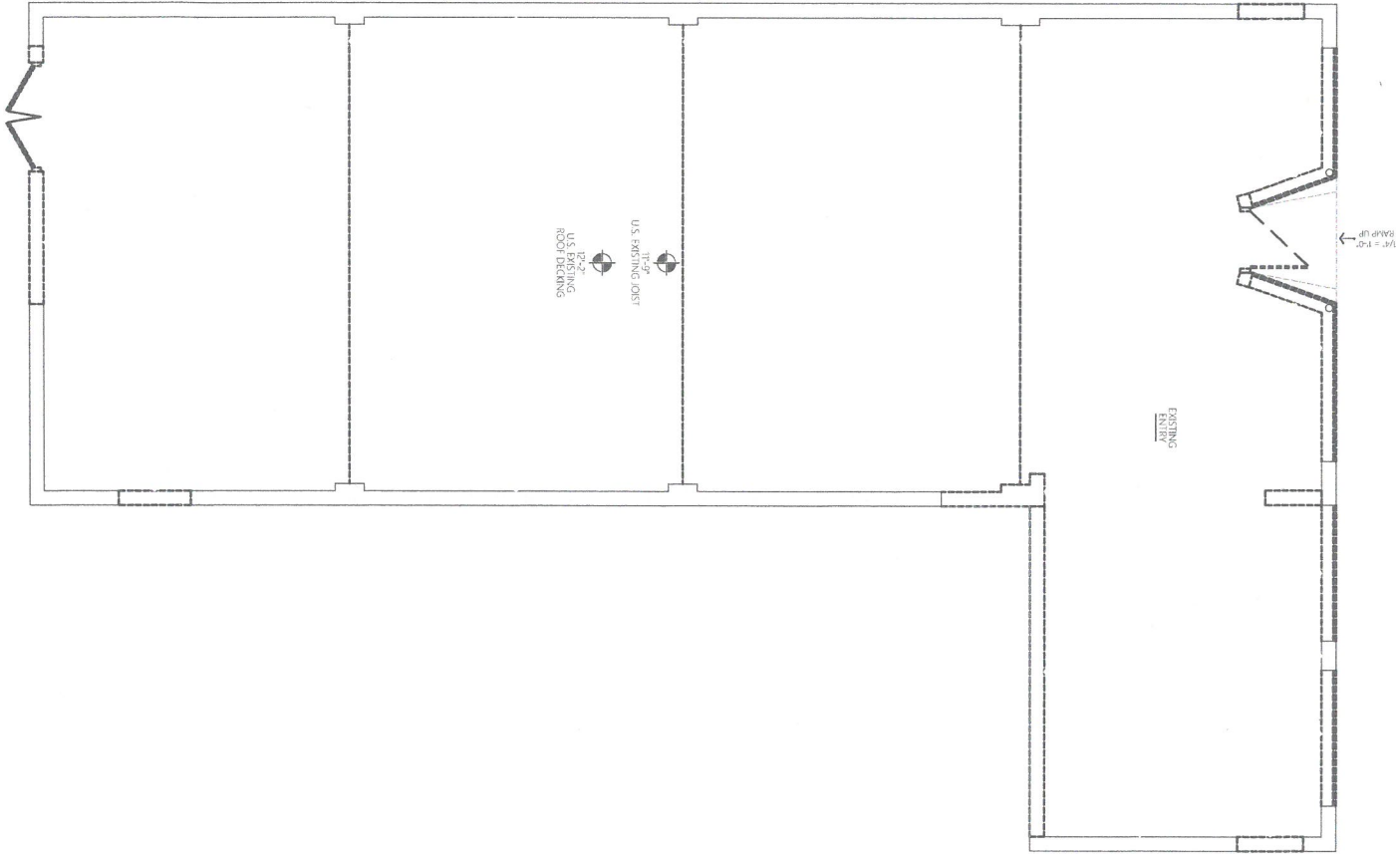
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DEMOLITION FLOOR PLAN

1/4" = 1'-0"

DEMOLITION LEGEND
DEMOLITION WALL
DEMOLITION DOOR
EXISTING DOOR
ROOM NAME/NUMBER
PLAN NOTE

- GENERAL DEMOLITION NOTES
01. ROAD DASHED LINES INDICATE ITEMS TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC REMOVAL.
 02. ALL LOCATIONS OF DISBURSEMENT AND PILING SHALL BE PATCHED WITH MATERIALS SCHEDULED TO BE REMOVED.
 03. ALL REMOVED MATERIALS SHALL BE SALVAGED IN A MANNER THAT PREVENTS DAMAGE, STORAGE, AND RETURNED TO THE OWNER IN A MANNER THAT PREVENTS DAMAGE, STORAGE, OR DISBURSEMENT FROM OCCURRING FROM THE RESULT OF THE CONTRACTOR'S NEGLIGENCE OR NEGLIGENCE.
 04. REMOVE ALL EXISTING ITEMS ASSOCIATED WITH THE MECHANICAL, ELECTRICAL, AND/OR PLUMBING SYSTEMS AND DESIGNATED BY ARCHITECT AND GENERAL CONTRACTOR AS ABANDONED.
 05. REMOVE EXISTING CEILING SYSTEM THROUGHOUT AS REQUIRED FOR NEW ROOF AND STRUCTURE.
 06. EXISTING SIDEWALK AND ADJACENT PLANTING AREAS TO REMAIN. INSPECT, CLEAN, AND REPAIR ANY DAMAGE OR OVERHUNG AREAS. REPAIR AND OR REPLACE ANY DAMAGED AND OR INSUFFICIENT PLANTING AREAS.
 07. REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM COMPLETE. REQUIRED FOR NEW CONSTRUCTION.
 08. REMOVE EXISTING ROOF STRUCTURE COMPLETE.
 09. REMOVE EXISTING FINISHES COMPLETE.
 10. REMOVE EXISTING ROOF JOISTS ABOVE TO REMAIN.
 11. PATCH AND REPAIR EXISTING CONCRETE FLOORING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION.
 12. EXISTING SIDEWALK AND ADJACENT AREAS TO REMAIN. INSPECT, CLEAN, AND REPAIR ANY DAMAGE.
 13. REMOVE EXISTING WALL SYSTEM OR PORTIONS THEREOF TO LIMITS INDICATED AS REQUIRED FOR NEW CONSTRUCTION.
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 16. REMOVE EXISTING CEILING COMPLETE.
 17. REMOVE EXISTING ELECTRICAL SYSTEMS COMPLETE. PREPARE AFFECTED AREA AS REQUIRED FOR NEW CONSTRUCTION.
 18. REMOVE EXISTING MECHANICAL SYSTEMS COMPLETE. PREPARE AFFECTED AREA AS REQUIRED FOR NEW CONSTRUCTION.
 19. REMOVE EXISTING ROOF JOISTS ABOVE TO REMAIN.
 20. REMOVE EXISTING ROOF JOISTS ABOVE TO REMAIN.

DEMOLITION NOTES

REFERENCE SHEET AS 20 FOR COMPLETE LISTING OF EXTERIOR ELEVATION NOTES.

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WALL / PARTITION	GLASSWALL ABOVE	CHANGING ROOM	TOILET	BLOOMING WALL	THICK GLASSWALL
			</		

GENERAL FLOOR PLAN NOTES

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PROPOSED ENLARGED
SECOND FLOOR PLAN

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