

Neighborhood Meeting – May 25, 2017

Docket No. 17CUP1042

(Jon Crumbie, DPDS Case manager)

Proposed Conditional Use Permit (CUP) to allow off street parking in an R-5 zoning district on property located at 4211 Poplar Level Road to serve existing office building



c/o Aaron Watkins & Joanna Morse

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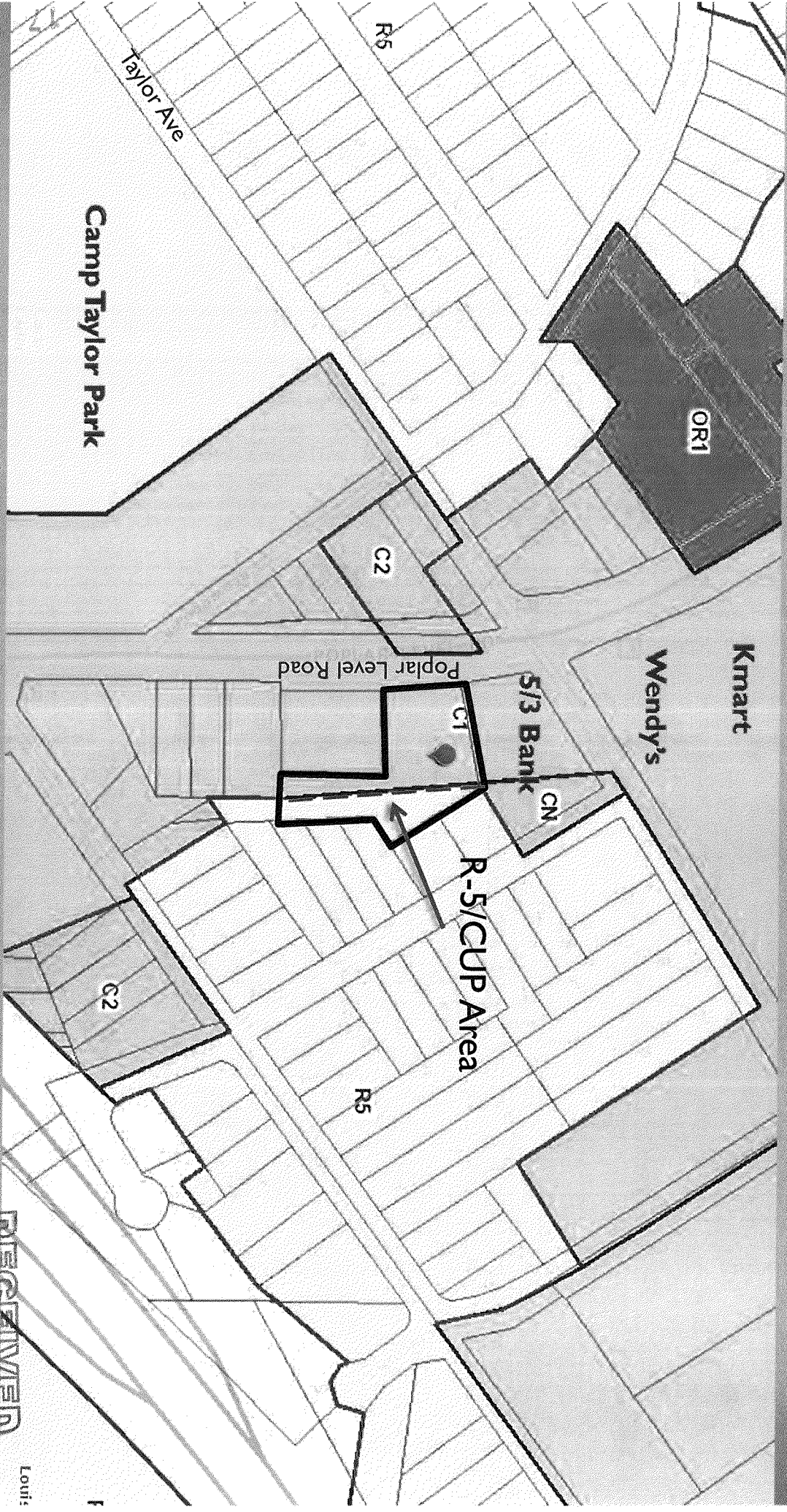
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17 CUP 1042

Attorneys: Bardenwerper Talbott & Roberts, PLLC

Land Planners, Landscape Architects & Engineers: Blomquist Design Group



Camp Taylor Park

Taylor Ave

R5

OR1

Kmart

Wendy's

S/3 Bank

CN

R-5/CUP Area

R5

C2

C1

Poplar Level Road

C2

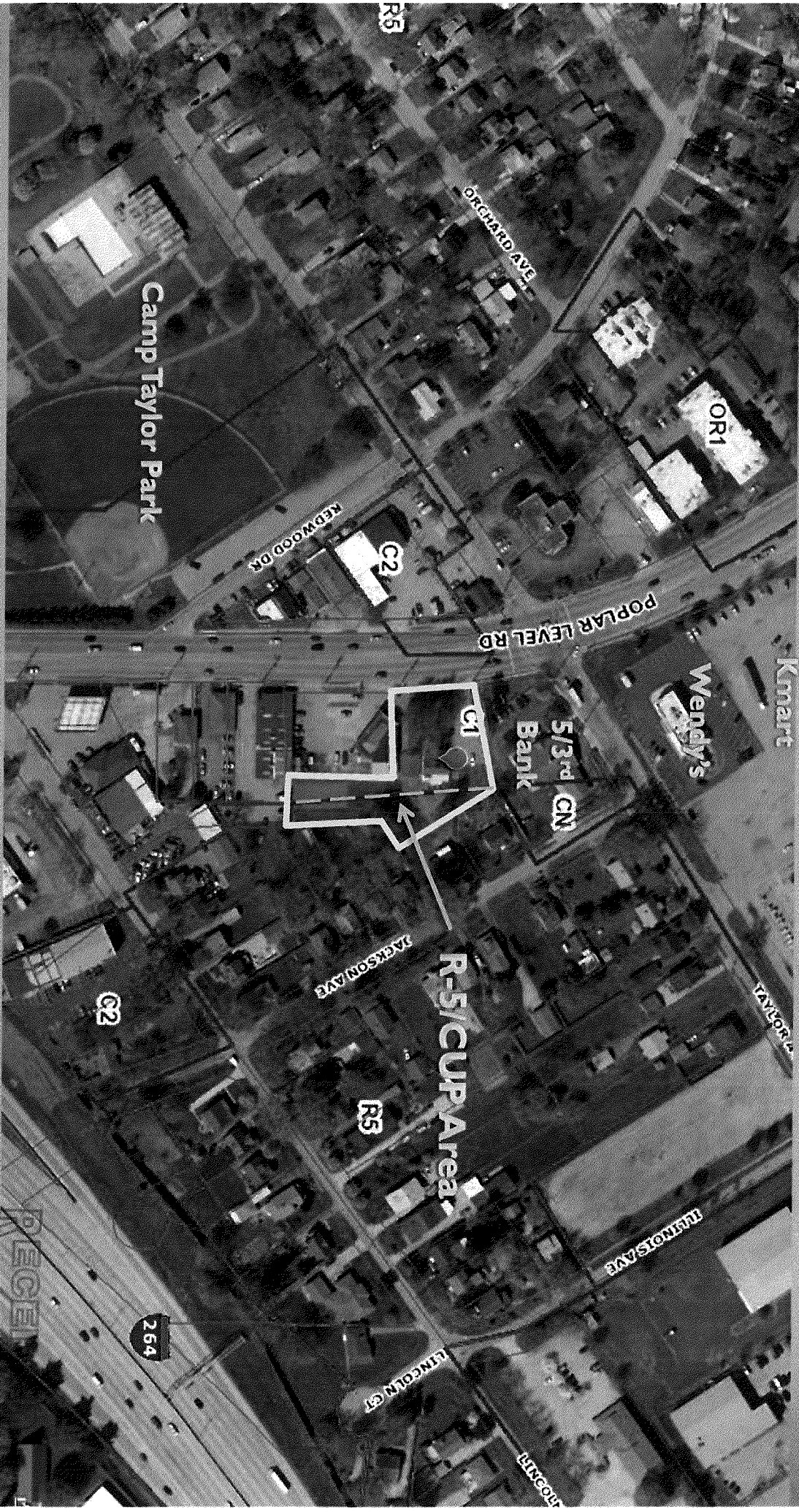
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SITE

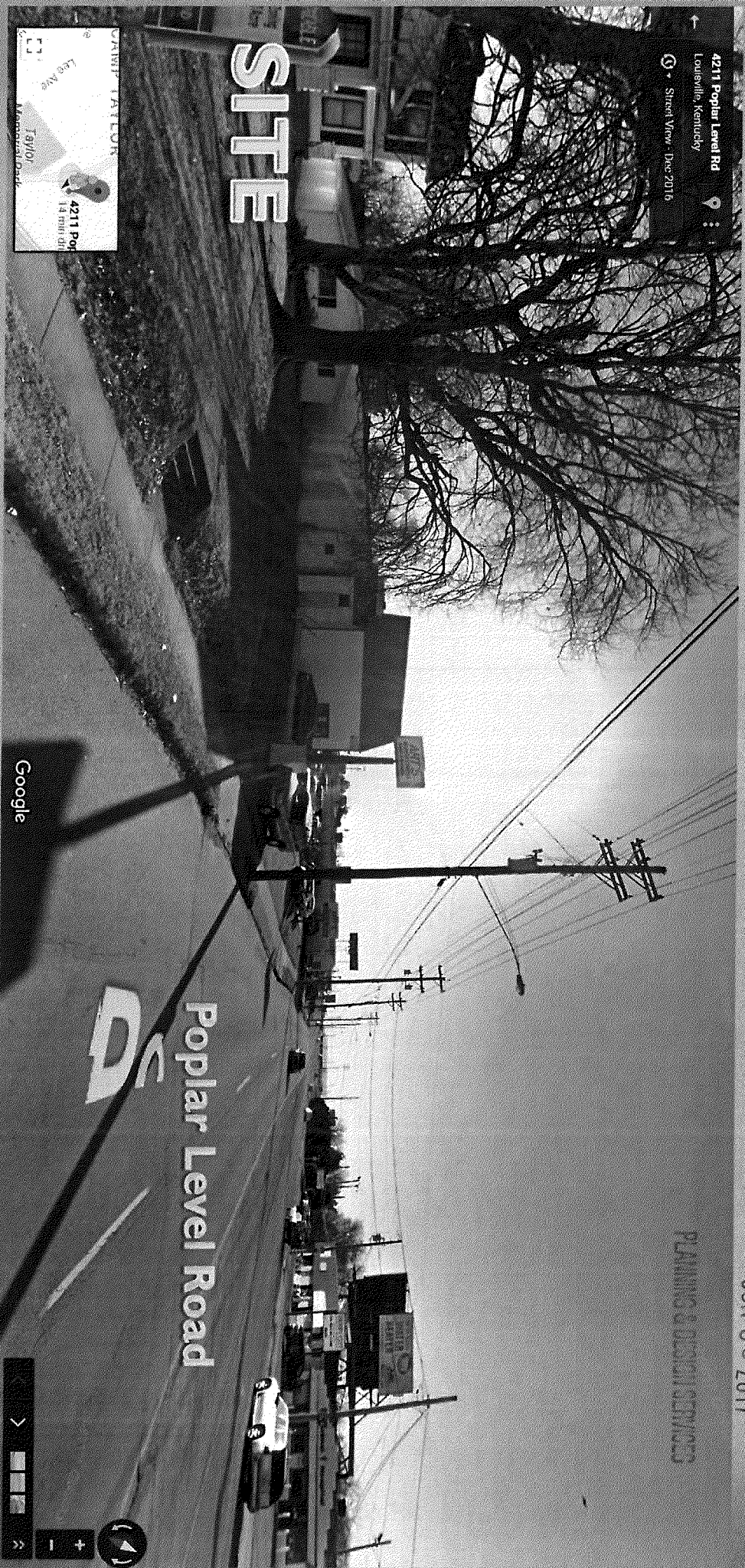
Google

View of site from Poplar Level Road

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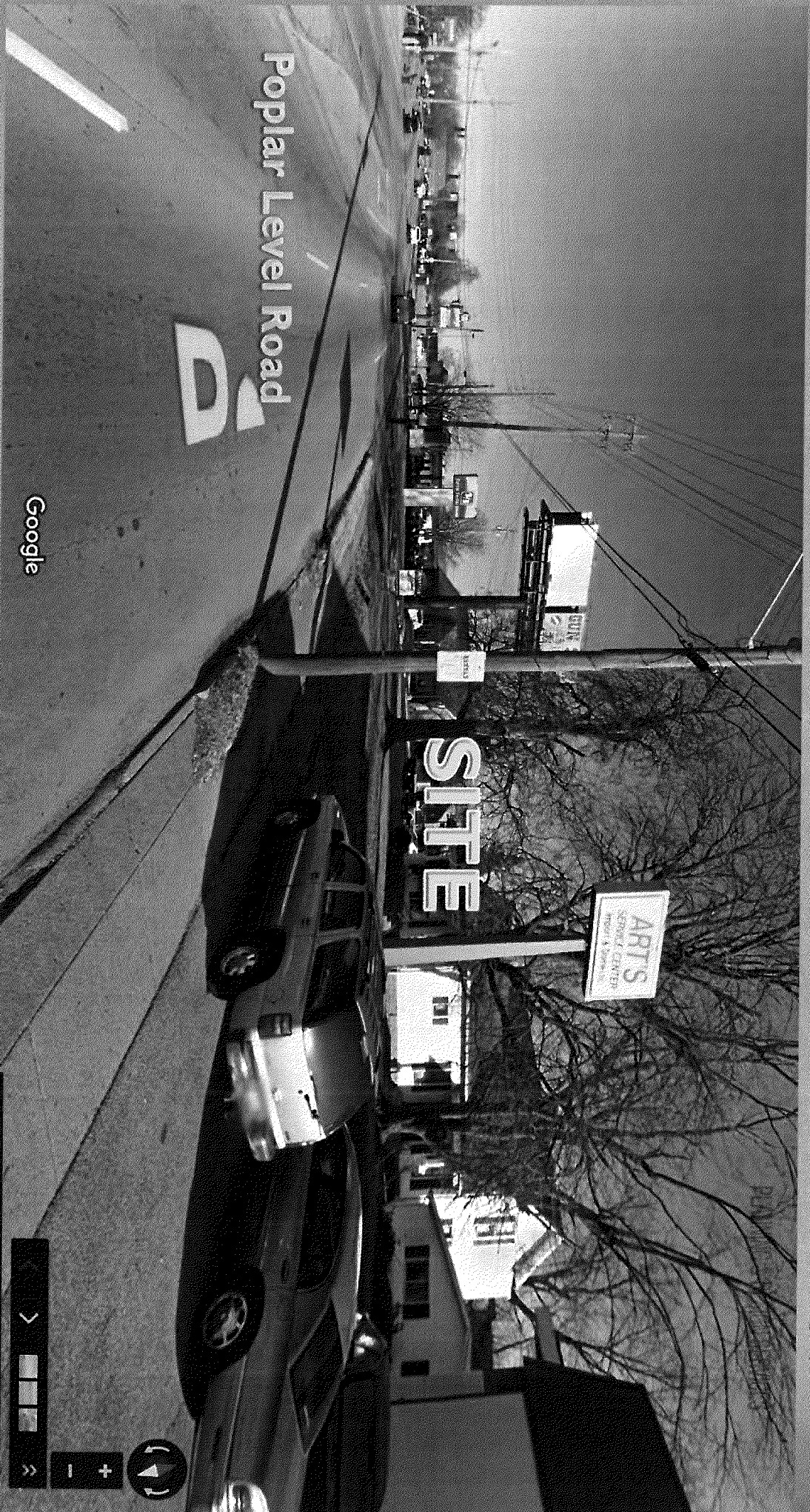
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View of Poplar Level Road looking south. Site is to the left.

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Poplar Level Road

Google

View of Poplar Level Road looking north. Site is to the right.

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POPLAR LEVEL RD

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EDGE OF SHOULDER

OVER FLOOR ELEVATION
SECOND FLOOR APPROX

PROPOSED
CROSSING



ASPHALT

EDGE OF PAVEMENT

EXISTING ZONE 4 LINE

Street Gray E

POPLAR LEVEL RD

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NOV 08

EXISTING PLANT MATERIAL

PROPOSED DRIVE

EXISTING DRIVE LANE

Street Gray E



Street Gray Basic Aerial Base

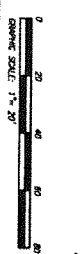
1) MSD PORTER MANAGEMENT SYSTEM

- [illegible]

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPPSC) PLAN SHALL BE SUBMITTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPPSC PLAN MUST BE REVIEWED AND APPROVED BY ACD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPPSC BARS SHALL BE INSTALLED PER THE PLAN AND USED SIMULTANEOUSLY.

COB. ETHIOPIAE DE BRILL / THE LOCAL

WORKING CONSTRUCTION OF LAND AND RESIDENTIAL ACTIVITY MAY BE USED TEMPORARILY CEASED OR ANY PART OF A SITE, (TEMPORARY SITE REHABILITATION MEASURES SHALL BE REQUIRED AS SOON AS FEASIBLE), BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE WORKING CEASES AND ENDS.

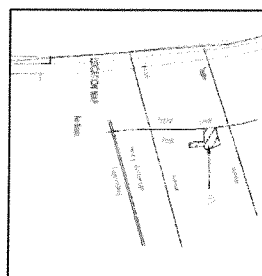


BLUMQUIST DESIGN GROUP, LLC
10529 TIMBERWOOD CIRCLE SUITE "D"
LOUISVILLE, KENTUCKY 40223
PHONE: 502.429.0105 FAX: 502.429.6861
EMAIL: MARVEDC@AOL.COM



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C-1/A-5
EASTING ZONE
EASTING FROM EAST-1
SITING AREA

ESTIMATED COST	RESIDENCE
PROPOSED LOT	MATERIALS
EXISTING BUILDING S.F.	4,000 S.F. (3,016 S.F.)
PROPOSED ADDITION S.F.	1,600 S.F.
PROPOSED PORCH S.F.	100 S.F.
REQUIRED PORCH S.F.	100 S.F.
PROPOSED WALKWAY	100 S.F.
PROPOSED PAV.	1,200 S.F. (750 S.F.)
PROPOSED LA.	1,400 S.F. (1,100 S.F.)
PROPOSED DRIVEWAY	1,200 S.F. (800 S.F.)
REQUIRED TREE CROPPING	150 (100 S.F.)

PREDVELOPED INFERRIOUS AREA - 12,029 SQ. FT.

DEVELOPED URBAN AREA = 21,526 SQ. FT.
INCREASE IN IMPERVIOUS AREA = 9,299 SQ. FT.

[illegible]

4211 POPULAR LEVEL ROAD

ZONED C-1, SUBURBAN WORKPLACE FORM DISTRICT
4211 POPPULAR LEVEL ROAD
LOUISVILLE, KY 40213

OWNER:
ROBERT REZMAN & FRANCES REZMAN SMITH
4211 PORTLAND LANE ROAD
LOANSVILLE, KY 40213

DEVELOPER:
MARION WILKINS & JOANNA MORSE
1418 CEDARWOOD AVE/LOT
LOANSVILLE, KY 40204

LOANSVILLE, KY 40213
124 BLOCK 607 LOT 175
2ND BLOCK 3513, PAGE 351

WM #XXXXXX

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POPLAR LEVEL ROAD

60' ROW DB. 3728, PG. 322

