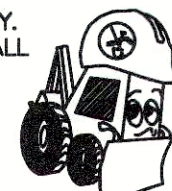


THE EXISTING FEATURES, UNDERLYING TOPOGRAPHY, SITE BOUNDARY AND EASEMENT DATA, ETC SHOWN ON THIS PLAN SHEET ARE PROVIDED BY OTHERS, CHRIS SCHIPPER ENGINEERING MAKES NO REPRESENTATION TO THE ACCURACY OF THAT BASELINE DATA. THEREFORE, THE CONTRACTOR SHALL VERIFY THAT EXISTING FEATURES ARE AS SHOWN AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SUBURBAN DESIGN GROUP PRIOR TO STARTING CONSTRUCTION.

#### UTILITY NOTE:

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (i.e. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). WHEN CONTACTING THE KENTUCKY 811 CALL CENTER, PLEASE STATE THAT THE WORK BEING DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS, IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

ALL UTILITY RELOCATIONS & ADJUSTMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER.



CALL 2 WORKING DAYS BEFORE YOU DIG!!  
1-800-752-6007

#### PROJECT DATA

EXISTING FORM DISTRICT / ZONING ----- N / R-4  
PROPOSED FORM DISTRICT / ZONING ----- N / R-4  
EXISTING LAND USE ----- HEALTH CARE CAMPUS  
PROPOSED LAND USE ----- (NURSING HOME AND HOME FOR THE INFIRMED OR AGED)  
TOTAL LAND AREA ----- 223,027 S.F. / 5.12 AC.  
BUILDING SIZE ----- EXISTING 49,107± S.F. PROPOSED 54,137± 10% INCREASE  
BUILDING HEIGHT ----- 25±  
NUMBER OF BEDS ----- EXISTING 67 BEDS PROPOSED 82 BEDS  
FLOOR AREA RATIO ----- 0.24 (1.0 MAX.)  
FIRE PROTECTION DISTRICT ----- JEFFERSONTOWN  
METRO COUNCIL DISTRICT ----- 20

#### PARKING DATA

MAX. NUMBER OF EMPLOYEES PER SHIFT ----- 20  
MIN. PARKING REQUIRED ----- 51 SPACES  
(0.5 SP. \* 82 D.U. + 0.5 SP. \* 20 EMPLOYEE LARGEST SHIFT)  
MAX. PARKING ALLOWED ----- 143 SPACES  
(1.5 SP. \* 82 D.U. + 1 SP. \* 20 EMPLOYEE LARGEST SHIFT)  
PARKING PROVIDED (ONSITE) ----- 97 SPACES INCLUDING 4 H.C. SPACES  
BICYCLE PARKING PROVIDED ----- NONE

#### LANDSCAPE DATA

EXISTING VEHICLE USE AREA (VUA) ----- 76,664± S.F.  
PROPOSED VEHICLE USE AREA (VUA) ----- 74,887± S.F.  
REQ. INTERIOR LANDSCAPE AREA (ILA) ----- 5,616 S.F. (7.5% MIN.)  
PROVIDED INTERIOR LANDSCAPE AREA (ILA) ----- 7,216 S.F. (9.6%)

#### TREE CANOPY DATA:

GROSS SITE AREA ----- 223,027 S.F. / 5.12 AC.  
TREE CANOPY CATEGORY ----- CLASS C  
EXISTING TREE CANOPY ----- 35,000 S.F. (15.6%)  
EXISTING TREE CANOPY TO BE PRESERVED ----- 30,000 S.F. (13.5%)  
TOTAL TREE CANOPY REQUIRED ----- 35,885 S.F. (16%)  
TREE CANOPY TO BE PLANTED ----- 5,780 S.F. (2.6%)  
4 TYPE 'A' TREES @ 1 3/4" CAL. ----- 5,780 S.F.  
(720 S.F. CREDIT EACH)  
TOTAL TREE CANOPY PROVIDED ----- 35,760 S.F. (16.1%)

#### STORM WATER RUN-OFF CALCULATIONS:

TOTAL SITE AREA = 5.12 AC. (223,027 S.F.)  
EXISTING IMPERVIOUS SURFACE = 3.19 AC. (138,855 S.F.)  
PROPOSED IMPERVIOUS SURFACE = 3.28 AC. (142,099 S.F.)  
PROPOSED PERVIOUS SURFACE = 1.86 AC. (80,928 S.F.)  
X= CRA/12 FOR 1 HOUR 100 YEAR STORM  
= (0.72-0.71)(2.9)(5.12)/12  
= 0.01 ACRE-FOOT  
= 0.01 ACRE-FOOT \* 43560 FT/ACRE \* \$0.50  
= \$280 RFF  
DETENTION PROVIDED IN EXISTING DEVELOPMENT

#### SITE DESCRIPTION:

ACCORDING TO THE USDA WEB SOIL SURVEY, THE SITE CONSISTS OF Urban land-Affix Udaerents complex,

AREA OF DISTURBANCE: 0.53 ACRES

### PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS:

BY:   
DATE: 8/13/17  
LOUISVILLE/JEFFERSON COUNTY  
METRO PUBLIC WORKS

#### GENERAL NOTES

- DOMESTIC WATER SUPPLY:  
SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
- TREE PRESERVATION:  
A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
- PROTECTION OF TREES TO BE PRESERVED:  
CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES--PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
- IDENTIFICATION SIGN SHALL BE SUBMITTED TO AND APPROVED BY THE PLANNING STAFF PRIOR TO CONSTRUCTION PLAN APPROVAL AND THEY SHALL MEET THE REQUIREMENTS OF CHAPTER 4.4.3 AND 8, RESPECTIVELY OF THE LDC.
- ALL LUMINAIRES SHALL BE AIMED, DIRECTED, OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROTECTED OPEN SPACES (i.e. CONSERVATION EASEMENTS, GREENWAYS, OR PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE ON PUBLIC STREETS AND RIGHT OF WAYS PER CHAPTER 4.1.3 OF THE LDC.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS, GENERATOR PADS TO BE SCREENED PER CHAPTER 10 OF THE LDC.
- ALL RADI TO BE 4.5' UNLESS OTHERWISE INDICATED.
- BUILDING ARCHITECTURE TO COMPLY WITH CHAPTER 5.5 AND 5.6 OF THE LDC.
- ALL INTERIOR SIDEWALKS THAT ABUT PARKING TO BE 5' WIDE MINIMUM.
- A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED PRIOR TO ISSUANCE OF SITE DISTURBANCE PERMIT.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBORHOODS.
- EACH PROPOSED BUILDING TO BE CONNECTED BY AN INDIVIDUAL 6" PSC, OWNER MUST PROVIDE DOCUMENTATION OF CONNECTION WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPT. OF PUBLIC HEALTH AND WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- ALL FOOD SERVICE ESTABLISHMENTS MUST BE IN ACCORDANCE WITH 902 KAR 45:005 REGULATIONS.

#### MSD NOTES

- WASTEWATER:  
MSD SANITARY SEWERS AVAILABLE BY EXISTING PSC, SEWAGE TO BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
- DRAINAGE / STORM WATER DETENTION:  
STORM WATER TO BE DIRECTED TO PROPOSED STORM STRUCTURES ON THE SITE AND CONNECTED WITH THE DITCH ALONG WESTPORT ROAD (DEPICTED BY FLOW ARROWS), ON-SITE DETENTION PROVIDED WITHIN THE DEVELOPMENT. NEWLY CONSTRUCTED DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
- EROSION & SILT CONTROL:  
A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21111C00098E).
- PROPOSED DETENTION BASINS AND THRU DRAINAGE SYSTEMS AND OUTLET SYSTEMS WILL BE PLACED IN A DEDICATED MSD SANITARY SEWER AND DRAINAGE EASEMENT PRIOR TO CONSTRUCTION APPROVAL.

#### PUBLIC WORKS AND KTC NOTES

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS R/W.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- VERGE AREAS WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE.
- THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- TREES AND SHRUBBERY SHALL BE TRIMMED OR REMOVED TO PROVIDE SITE DISTANCE AS REQUIRED PER METRO PUBLIC WORKS.
- ALL EXISTING AND PROPOSED SIDEWALKS AND RAMPS SHALL CONFORM TO A.D.A. STANDARD SPECIFICATIONS, THE "SPECIAL NOTE FOR DETECTABLE WARNING FOR SIDEWALK RAMPS" PER KTC STANDARD DRAWINGS FOR SIDEWALKS AND PER KY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL WORK WITHIN THE RIGHT OF WAY WILL REQUIRE CONSTRUCTION PLANS, BOND AND PERMIT.

#### SITE PLAN NOTES

- ALL PAVEMENT WIDTH DIMENSIONS ARE FROM THE FACE OF CURB/ EDGE OF PAVEMENT UNLESS NOTED.
- SAW CUT EXISTING PAVEMENT TO CREATE A SMOOTH UNDAMAGED EDGE AGAINST WHICH NEW PAVEMENT SHALL BE CONSTRUCTED.
- ALL UN-LABELED RADII 4.5'

- ⑤ LIGHT DUTY BITUMINOUS PAVING FOR PARKING LOT / ACCESS DRIVES (SEE DETAIL SHT.)  
1-1/2"~ ASPHALT SURFACE over  
3" ASPHALT BASE over  
4" DENSE GRADED AGGREGATE BASE over  
4" KY NO. 3 STONE COMPACTED TO 95% STD PROCTOR

- ⑥ HEAVY DUTY BITUMINOUS PAVING FOR PARKING LOT / ACCESS DRIVES (SEE DETAIL SHT.)  
1-1/2"~ ASPHALT SURFACE over  
3" ASPHALT BASE over  
4" DENSE GRADED AGGREGATE BASE over  
6" KY NO. 3 STONE COMPACTED TO 95% STD PROCTOR

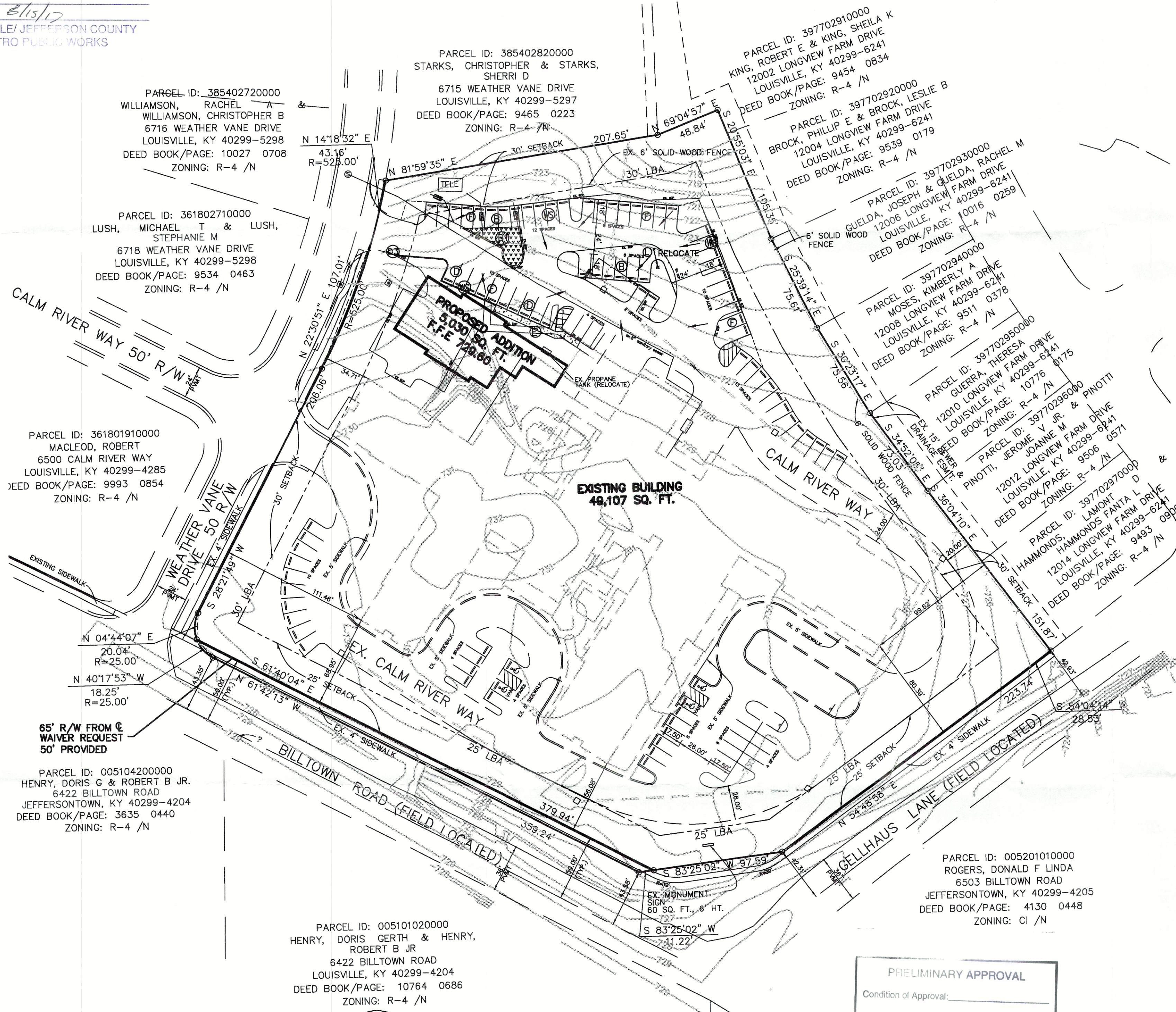
- ⑦ MEDIAN CURB (SEE DETAIL SHT.)  
⑧ 2' CURB TAPER (SEE DETAIL SHT.)  
⑨ TIE INTO EX CURB  
⑩ 5" THICK x 4.5' CONCRETE SIDEWALK (SEE DETAIL SHT.)

- ⑪ 9' x 18' @ 90° ACCESSIBLE PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIPE  
⑫ 9' x 18' @ 90° ACCESSIBLE PARKING SPACE MARKED WITH BLUE PAINT HANDICAP GRAPHIC AND 4" WIDE BLUE PAINT STRIPE W/6" WHEEL STOP WITH 4" BLUE PAINT STRIPE

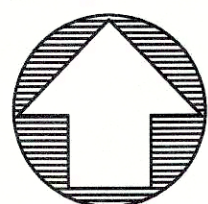
- ⑬ ACCESSIBLE PARKING SIGN  
⑭ ACCESSIBLE PARKING SIGN w/VAN ACCESSIBLE PLACARD

- ⑮ LIGHT POLE (SEE DETAIL SHT.)

- ⑯ WHEEL STOPS - RubberForm Recycled Products # SRF-PWS38Y1W  
4" H x 6" W x 72" L - with Blue strips



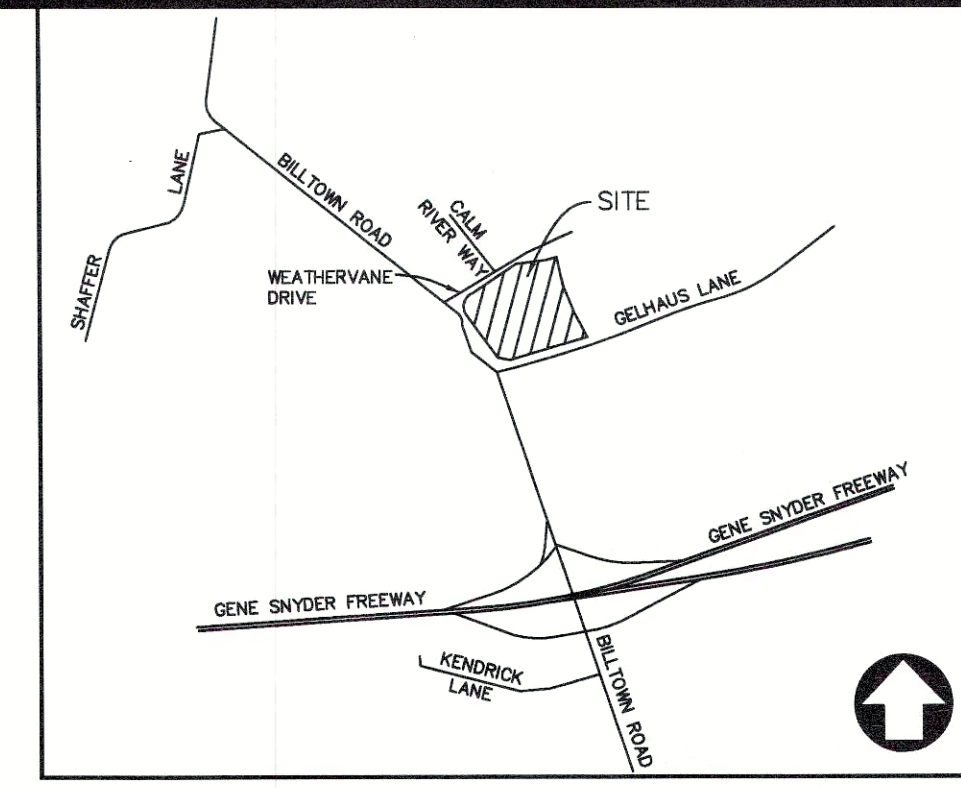
PARCEL ID: 005101020000  
HENRY, DORIS G & HENRY, ROBERT B JR  
6422 BILLTOWN ROAD  
LOUISVILLE, KY 40299-4204  
DEED BOOK/PAGE: 10764 0686  
ZONING: R-4 /N



GRAPHIC SCALE 1"=50'  
0' 25' 50' 100'

PRELIMINARY APPROVAL  
Condition of Approval: \_\_\_\_\_  
  
Date: 8-9-17  
LOUISVILLE/JEFFERSON COUNTY  
METRO PUBLIC WORKS

PARCEL ID: 005200860000  
GLENN D HAMMONS REVOCABLE TRUST  
FUND  
310 N. LEXINGTON BLVD



#### LOCATION MAP

NO SCALE

**EROSION PREVENTION AND SEDIMENT CONTROL NOTE**  
THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDD AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDD, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

#### WAIVER/VARIANCE REQUEST(S)

WAIVER OF LDC CHAPTER 6 TABLE 6.2.1 TO ALLOW A REDUCTION OF THE RIGHT OF WAY FROM THE CENTER LINE FROM 65' TO 50'

#### LEGEND:

- EX. CONTOUR
- EX. TREE LINE
- EX. RAIL ROAD TRACK
- EX. WATER LINE
- EX. WATER METER
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. UTILITY POLE/GUY WIRE
- EX. OVERHEAD ELECTRIC
- EX. LIGHTPOLE
- EX. FENCE
- EX. OVERHEAD TELEPHONE
- EX. GAS LINE
- EX. SANITARY SEWER / MANHOLE
- EX. CATCH BASIN W/ PIPE
- EX. DITCH / CREEK
- EDGE OF PAVEMENT
- BACK OF CURB
- PROP. DITCH / DETENTION BASIN
- PROP. HEADWALL, CATCH BASIN / YARD DRAIN W/ PIPE
- PROP. HDML / C.B. / Y.D. & PIPE DENOTES THRU DRAINAGE
- DRAINAGE FLOW ARROW
- PROP. HANDICAP PARKING SYMBOL
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE
- PROP. SANITARY LINE / MANHOLE
- PROPOSED CONCRETE
- EX. P.W.T., CURB, WALK TO BE REMOVED

CASE # 17CUP 1046

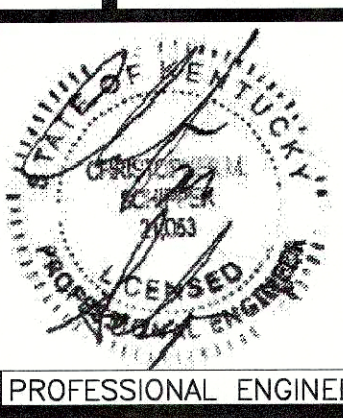
PREV. CASE # B-177-04, B-176-04

WM # 8689

NO.	DATE	REVISION	BY
2	7/26/17	2ND ROUND COMMENTS	CMS
1	7/11/17	1ST ROUND COMMENTS	CMS

CHRIS SCHIPPER  
ENGINEERING  
Jeffersville, IN 47130  
Email: cschipp@cschippeng.com

OWNER / DEVELOPER  
TRILogy REAL ESTATE KENTUCKY  
303 N. HURSTBOURNE PARKWAY, SUITE 200  
LOUISVILLE, KY 40222



PROJECT  
GLEN RIDGE HEALTHCARE CAMPUS  
EXPANSION  
6415 CALM RIVER WAY  
LOUISVILLE, KY 40299  
T.B. 52, LOT 101 DB 9610 PG. 53

MODIFIED CONDITIONAL USE  
PERMIT

DATE  
6/10/17

SHEET NO.  
DV.01  
OF  
DV.01