

MSD NOTES:

- Sanitary Sewers available by connection to existing sewer system located on site and shall conform to MSD standard specifications.
- Water treatment will be provided by MSD.
- No regional fee required due to lack of change in impervious area.
- Contractor must pay a \$250.00 administration fee per connection and fill out contractor installation form at MSD.

STORM DRAINAGE NOTES:

- All storm drainage shall conform to med standard specifications.
- Existing and proposed impervious area on site is 3.19 acres.
- Existing and proposed stormwater flow on site is 20.32 CFS 100 yr 24 hr storm: I=6.5", C=0.98, A=3.19 acres

CONSTRUCTION NOTES:

When matching existing bituminous or concrete pavement a two (2) inch deep saw cut a minimum of twelve (12) inches from the edge or to sound asphalt material and roadway rock base and or to sound asphalt material and roadway rock base and the asphalt or concrete material placed to form a watertight as directed by metro public works.

FLOOD PLAIN NOTE:

Flood plain certification is restricted to a review of the flood insurance rate maps (FIRM) latest revision and shall not be constructed as a confirmation or denial of flood potential. The property shown herein is in zone "ae" per firm map no. 211110042a, dated december 05, 2006. hydrological unit code: 0514010250020

MSD PRELIM. NOTES ADDED PER #438485:

- NOTE:
- Sanitary sewer service provided by new PSC, subject to Fee's and any applicable charges.
 - KDOV approved required prior to MSD construction plan approval.
 - MSD Floodplain permit required prior to construction plan approval.
 - Any required fill in the floodplain shall be compensated on site.

LANDSCAPE NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL INDICATED PRIOR TO SUBMITTING A PROPOSAL OR BIDDING ON THIS PROJECT.

ALL LANDSCAPE BEDS AND TREE PITS SHALL BE MULCHED. MULCH TYPE SHALL BE SHREDDED HARDWOOD BARK AND INSTALLED A MINIMUM DEPTH OF 2 INCHES DEEP AT TIME OF INITIAL PLANTING. MAINTAIN MULCH DEPTH UNTIL FINAL ACCEPTANCE BY THE OWNER.

PRIOR TO MULCH INSTALLATION, THE CONTRACTOR SHALL APPLY A PRE-EMERGENT, GRANULAR TYPE, HERBICIDE AT THE MANUFACTURERS RECOMMENDED RATE OF APPLICATION AND WITHIN THE LIMITS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS GOVERNING APPLICATION AND CONTROL OF HERBICIDE USAGE.

ALL PLANTS MUST BE HEALTHY, FREE OF PESTS AND DISEASES. PLANT SIZES INDICATED ARE INSTALLED SIZES AFTER PRUNING.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF THREE YEARS. BEGINNING AT THE DATE OF FINAL ACCEPTANCE BY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD. (AS PER DIRECTION OF THE OWNER).

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTINGS UNDER THIS CONTRACT (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK AREAS ARE ACCEPTED IN TOTAL BY THE OWNER.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCUR AS A RESULT OF THE LANDSCAPE INSTALLATION.

PLANT SUBSTITUTIONS SHALL ONLY BE APPROVED BY THE OWNER.

EXISTING TREES AND PLANTS ARE BEING USED TO MEET LANDSCAPE CODE REQUIREMENTS. IF ANY TREES DIE OR ARE REMOVED THEY WILL BE REPLACED AS PER THE LANDSCAPE CODE REQUIREMENTS. IT WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERPETUALLY MAINTAIN ALL LANDSCAPE AREAS AND ASSOCIATED PLANT MATERIAL REQUIRED UNDER LAND DEVELOPMENT CODE REGULATIONS. THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE VERGE AND ASSOCIATED TREES WITHIN THE VERGE UNLESS THE AGENCY HAVING JURISDICTION OVER THAT VERGE ASSUMES THAT RESPONSIBILITY.

ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITH ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE MONTHS.

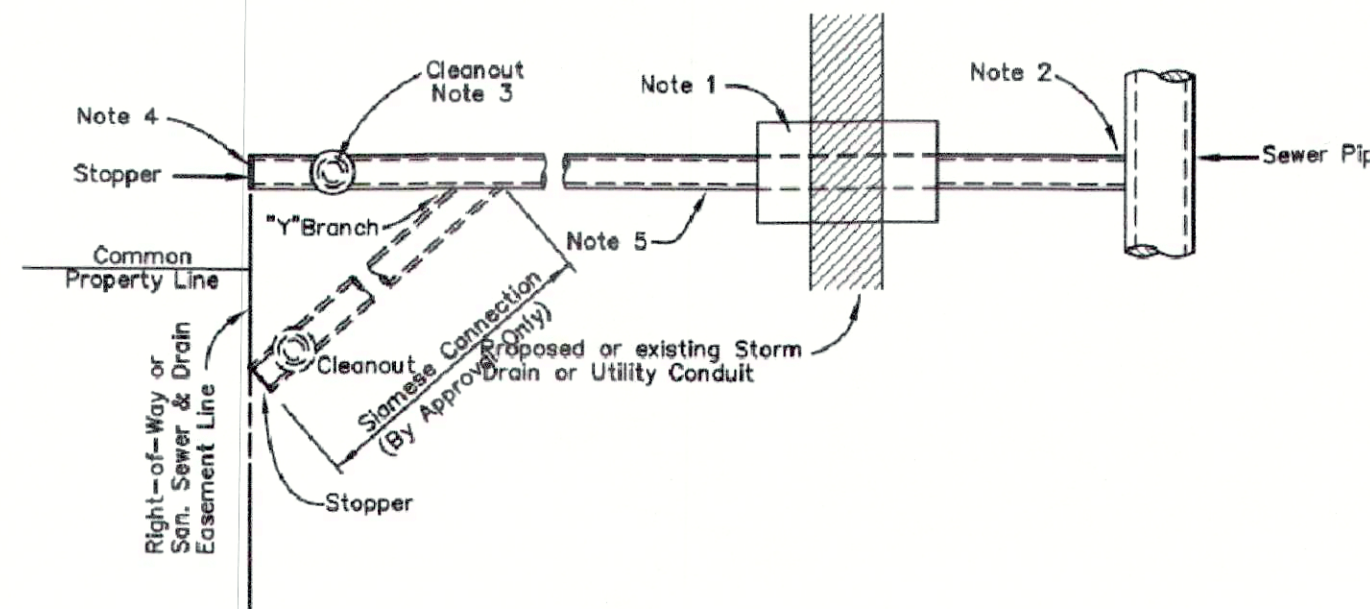
GENERAL NOTES

- ALL CONNECTIONS TO MSD SYSTEM SHALL BE CORE DRILLED AND WATER TIGHT PER MSD SPECIFICATIONS.
- 1 8" Long 16" PVC Sewer Pipe Connection at a minimum slope of 1% shall be added
 - See Detail 1/2 for standard sewer connection detail
 - Lowest finished floor or machinery shall be at or above 452.5
- All gates and points of entry to remain open only during DSI regular operating business hours. At all other times they are to remain securely locked closed.

- Legend**
- Train Yard Offset
 - Temporary Construction Easment
 - Proposed Building
 - Gas Line
 - Sewer Line
 - Water Line
 - Public Road
 - Sidewalk
 - Existing Building
 - Property Limits
 - Proposed Sewer Line
 - Sewer Clean Out
 - Ex. 6" Chain-link Fence
 - Existing Grade Line
 - Flood Plain Boundary
 - Parking Areas
 - Disturbed Areas Boundary

NOTES

- Property service connections crossing under (over) the storm drain or utility conduit proposed or existing with less than (2) feet of clearance shall be capped (capped) with 6" Class "B" Concrete in accordance with the typical concrete cap (concrete cross) detail. The minimum clearance is 6-inches for all utilities and storm drains and 18-inches for water lines.
- The contractor may install "T" Branches in lieu of "Y" Branches for connecting property service connections to the sewer. The contractor shall use "spurs" in the "T" Branches on all Reinforced Concrete Pipe sanitary sewers.
- A cleanout will be required on all sumps and individual connections placed as near as possible to the intersection of the common property line and the R.O.W. or sanitary sewer and drain assessment line as shown.
- The invert of a property service connection at end shall not be lower than crown of sewer pipe, unless approved by the engineer.
- For a Sump Connection, the primary service connection pipe shall be at least 6-inches in diameter. All Sump connections must receive prior approval from M.S.D.
- Detectable marking tape shall be installed as specified in section 4.3.3.8 of the MSD Specifications.



PROPERTY SERVICE CONNECTION

PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS:

BY: *[Signature]*
DATE: 8/23/17
LOUISVILLE/JEFFERSON COUNTY METRO PUBLIC WORKS

PARKING CALCULATIONS
Factory with New Accessory Office
62,161 sq. ft. Industrial Building
Combined Shift=28 Employees
Min=19 Max=28 Provided=28

2,940 sq. ft. Office Building
Min=6 Max=15 Provided=5

Total Parking Requirements
Min=25 Max=43 Provided=36
Handicap at Min=2 at Max=3 Provided= 4
Bicycle Long Term=4 Short Term=2
Carpool at Min=1 at Max=2 Provided=2
Long Term Bicycle Parking to be located inside buildings

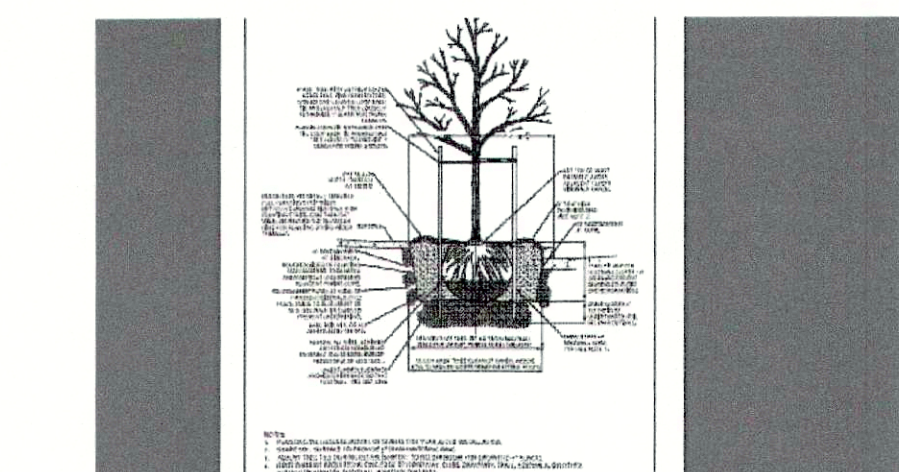
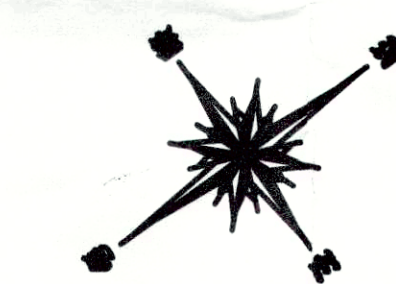
PRELIMINARY APPROVAL

Condition of Approval:

[Signature] 8-23-17
Date

LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

LOCATION MAP



EVERGREEN TREE PLANTING DETAIL

BUFFER YARD REQUIREMENTS
25' BUILDING LIMIT
15' Min. Front Yard Offset
10' Side Yard Offset
15' Rear Yard Offset

EMPLOYEE CALCULATIONS
Current= 28 Employees

IMPERVIOUS AREA
No Increase in Impervious Area
2.3% Increase in Pervious Area

Site Data
DSI Underground Systems Inc
1032 East Chestnut Street
Louisville KY 40204

WPC Company Inc
4307 Progress Blvd
Louisville, Kentucky 40218

TOTAL SITE AREA 3.19 ACRES
ZONING EZ-1
FORM DIST. TRADITIONAL Neighborhood
EXISTING USE Industrial (62,161 sf Factory)
PROPOSED USE Industrial (62,161 sf Factory) with accessory building (2,950 sf Office)
Parcel ID 016L00110000

LANDSCAPE
Surrounding Zoning Medium
No Buffer Yard Required
40'x2' Landscaping Area (800 sf)
4' Easement
Site 2 Culture
See Planting Detail

BUILDING AREA
Existing Building 62,161 sq. ft.
Existing Building Floor Area 1,470 sq. ft.
2 Floors with Roof with Total Height=28'
Proposed Building Gross Floor Area 2,950 sq. ft.

IMPERVIOUS AREA

SITE AREA (LIMITS OF DISTURBANCE) 1500 SF
EXISTING AND PROPOSED IMPERVIOUS SURFACE 3.19 acres

DEVELOPMENT PLAN

SCALE: 1"=30'

MA
Ex. Pavement Area 62,953 Sq. Ft.
Ex. Parking Area 4,447 Sq. Ft.
Proposed Parking Area 800 Sq. Ft.
New Total Parking Area 5,347 Sq. Ft.
New Planting Area 318 Sq. Ft.
New Total Pavement Area 61,063 Sq. Ft.

Debevoise, Jan
1014 E MUHAMMAD ALI BLVD
Zone: OR2
Form: Traditional Neighborhood

Urban, Renewal and Community
981 E CHESTNUT ST
Zone: OR2
Form: Traditional Neighborhood

Alliance, Proper Investors LLC
515 S WENZEL ST
Zone: OR2
Form: Traditional Neighborhood

Porter, Dakota M
517 S WENZEL ST
Zone: OR2
Form: Traditional Neighborhood

Myers, Margaret
519 S WENZEL ST
Zone: OR2
Form: Traditional Neighborhood

Fleigle, Candell
521 S WENZEL ST
Zone: OR2
Form: Traditional Neighborhood

Urban Renewal and Community
523 S WENZEL ST
Zone: OR2
Form: Traditional Neighborhood

Haggard, Richard
985 E CHESTNUT ST
Zone: OR2
Form: Traditional Neighborhood

Medimorphosis, LLC
1044 E CHESTNUT ST
Zone: EZ1
Form: Traditional Neighborhood

Haggard, Richard
983 E CHESTNUT ST
Zone: OR2
Form: Traditional Neighborhood

DSI Underground Inc
1032 E CHESTNUT ST
Zone: EZ1
Form: Traditional Neighborhood

Goodwill, Industries of Kentucky
962 E CHESTNUT ST
Zone: EZ1
Form: Traditional Neighborhood

Property Owner Map



RENAISSANCE DESIGN BUILD, INC.

117 S. Indiana Avenue
Sellersburg, IN 47172

Tel: 812-246-5897 Fax: 812-248-4320
www.renaissance-design-build.com



DEVELOPMENT PLAN
DSI BUILDING

1032 EAST CHESTNUT STREET
LOUISVILLE, KENTUCKY 40204

DATE: 4-12-2017
DRAWN BY: SMS
CHECKED BY: N. GRIMES
APPROVED BY: N. GRIMES

REVISIONS:
8/2/2017
8/8/2017
8/15/2017

SCALE: 1"=30'

OB NO.: 2017-066

HEET NUMBER:

C1

WM#7738

RECEIVED

AUG 15 2017
PLANNING &
DESIGN SERVICES