

ALLTRADE PROPERTY MANAGEMENT
1310 SOUTH FLOYD STREET RENOVATION

NEW RESIDENCE
LOUISVILLE, KENTUCKY 40208

project

FOXWORTH
ARCHITECTURE
PLLC

903 LYDIA STREET
LOUISVILLE, KY 40217
Phone: 502.418.6270
Email: mfoxworth@foxworth-arch.com

SHEET INDEX

ARCHITECTURAL

- A1.0 DEMOLITION PLANS
A2.0 PROPOSED SITE PLAN / ROOF PLAN
A2.1 PROPOSED FLOOR PLANS / SECTION DETAILS / OPENING SCHEDULE
A2.2 PROPOSED FURNITURE PLANS / INTERIOR ELEVATIONS
A4.0 PROPOSED EXTERIOR ELEVATIONS / WINDOW SCHEDULE / CORNICE PROFILE

LOCATION PLAN



CODE SUMMARY

CODE INFORMATION

GOVERNING CODE:
KENTUCKY RESIDENTIAL BUILDING CODE: 2013
KENTUCKY PLUMBING CODE: 2013
INTERNATIONAL ENERGY CONSERVATION CODE: 2012
USE GROUP:
DUPLEX (2) DWELLING UNITS TOTAL: 'R-2' RESIDENCE.
ADDITION HEIGHT:
ACTUAL: 30'-8"
ALLOWABLE: 45'-0"
CONSTRUCTION TYPE:
5B - COMBUSTIBLE, UNPROTECTED

AREA:
BASEMENT: 1138 GROSS SQUARE FEET.
FIRST FLOOR AREA: 1138 GROSS SQUARE FEET.
SECOND FLOOR AREA: 1138 GROSS SQUARE FEET.
TOTAL GROSS AREA: 2276 GROSS SQUARE FEET.
ALLOWABLE: 7000 GROSS SQUARE FEET.

NUMBER OF EXISTS PER FLOOR:
FIRST FLOOR:
EXITS REQUIRED: 1
EXITS PROVIDED: 2
BEDROOM WINDOWS NET CLEAR OPENING: EXCEEDS 5.7 SF
SECOND FLOOR:
EXITS REQUIRED: 1
EXITS PROVIDED: 1
BEDROOM WINDOWS NET CLEAR OPENING: EXCEEDS 5.7 SF
PLUMBING FIXTURES PER APARTMENT:
KITCHEN SINK: 1
TUB / SHOWER: 1
DISHWASHER: 1
VANITY SINK: 2
TOILETS: 2
HOT WATER HEATERS: 1 (IN BASEMENT).

BUILDING ENVELOPE:
FLOOR: BATT INSULATION: R-38 MINIMUM.
WALLS: BATT INSULATION: R-19 MINIMUM.
ROOF: BATT INSULATION: R-38 MINIMUM.
WINDOWS: U FACTOR 35 MINIMUM FOR GLAZED FENESTRATION.
WOOD CLAD WINDOWS & VINYL WINDOWS

PROJECT DESCRIPTION

PLANNING AND ZONING:

THIS PROJECT IS THE DEMOLITION AND PROPOSED RECONSTRUCTION OF AN EXISTING RESIDENCE TO CREATE (2) 3 BEDROOM, 2 BATHROOM APARTMENTS.
OWNER: ALLTRADE PROPERTY MANAGEMENT
PARCEL ID: 032G00520000
PARCEL LRSN: 95776
ADDRESS: 1310 SOUTH FLOYD STREET, LOUISVILLE, KY 40208.
ZONING: TNZD
FORM DISTRICT: TRADITIONAL NEIGHBORHOOD
OVERLAY DISTRICT: NO
HISTORIC PRESERVATION DISTRICT: OLD LOUISVILLE
HISTORIC SITE: NO
FLOOD PLANE: NO

RECEIVED
SEP 24 2018
PLANNING &
DESIGN SERVICES



OWNER:
ALLTRADE PROPERTY MANAGEMENT
710 BARRET AVENUE SUITE #201
LOUISVILLE, KY 40204
PHONE: (502) 562-1985 Ext 203
CONTACT: STACY DOUGLAS

ARCHITECT
FOXWORTH ARCHITECTURE PLLC
903 LYDIA STREET
LOUISVILLE, KENTUCKY 40217
CONTACT: MARK FOXWORTH, AIA
PHONE: (502) 418-6270
EMAIL: mfoxworth@foxworth-arch.com

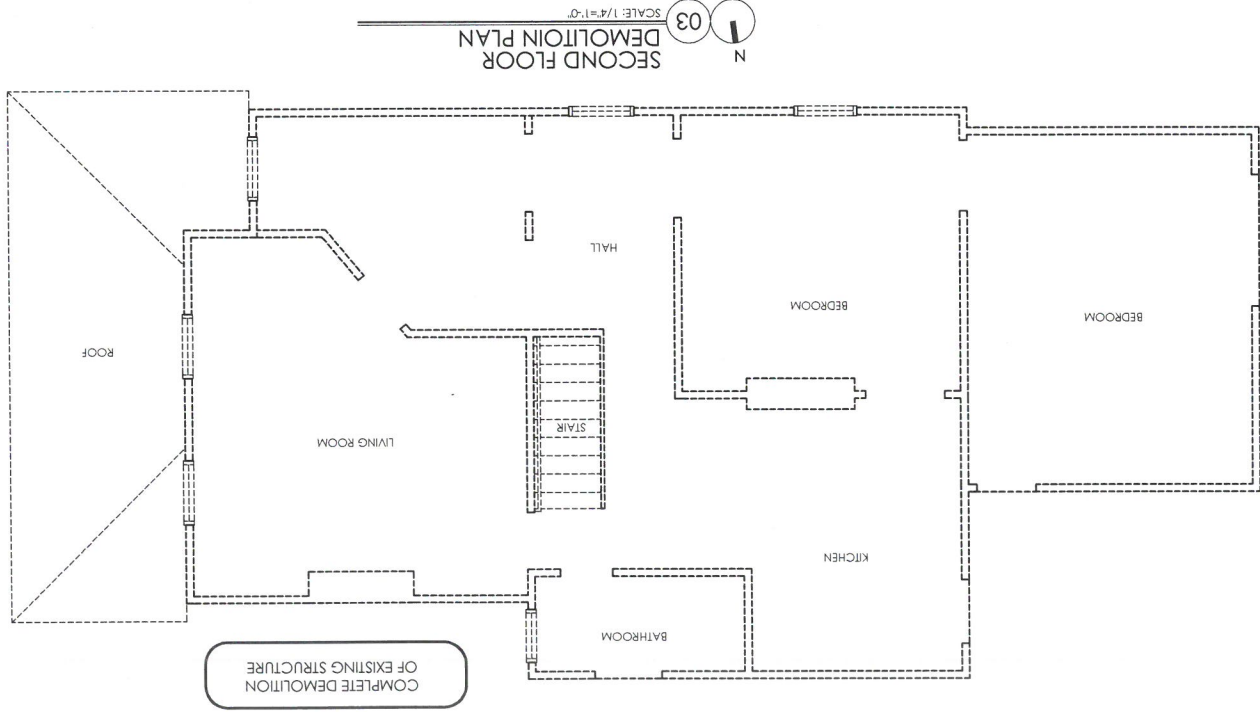
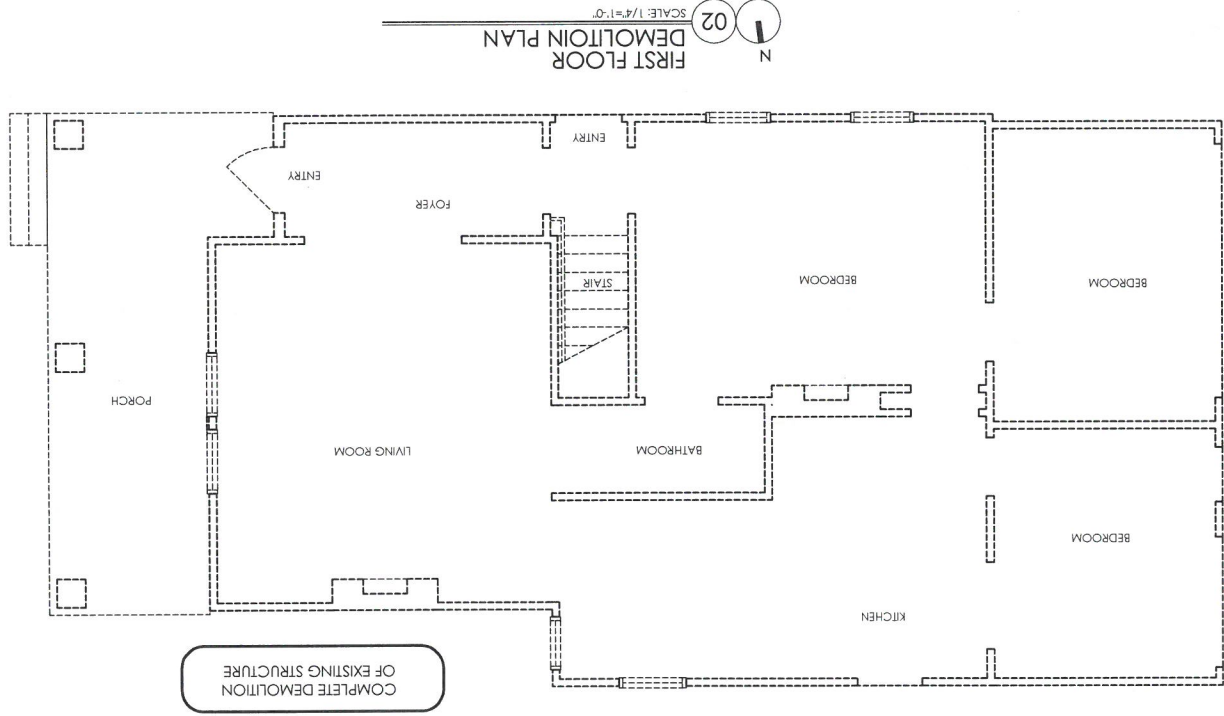
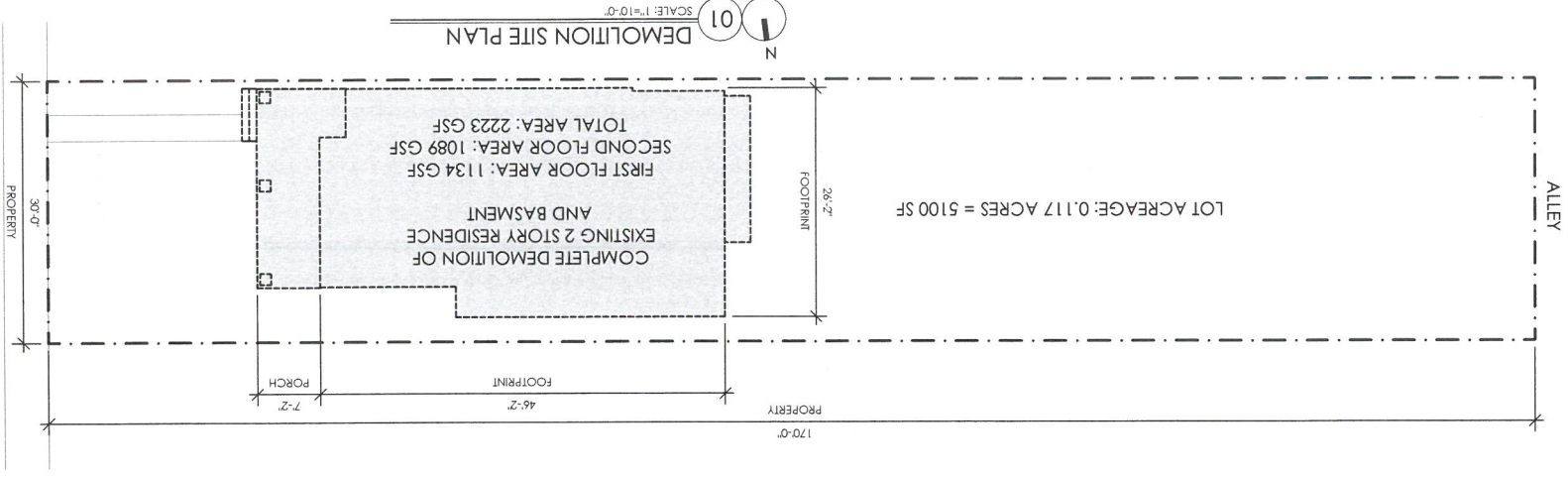
approved by: _____
approved date: _____

project number
17P10

24 SEPTEMBER 2018
date

DEMOLITION DRAWINGS

180041192



SOUTH FLOYD STREET

RECEIVED
SEP 24 2018
PLANNING &
DESIGN SERVICES

- GENERAL NOTES
1. DEVELOPER TO SALVAGE AND REINSTALL EXTERIOR WOOD WINDOW AND DOOR MOLDINGS.
 2. DEVELOPER TO SALVAGE BRICK TO BE REINSTALLED AT PORCH PIERS AND BELOW CONCRETE SLAB OF PORCH.
 3. DEVELOPER TO SALVAGE AND REINSTALL INTERIOR WOOD WINDOW AND DOOR MOLDINGS.
 4. DEVELOPER TO FULLY DOCUMENT, SALVAGE AND REINSTALL WOOD CORNICE AND BRACKETS.

FOXWORTH
ARCHITECTURE
PLLC

903 LYDIA STREET
LOUISVILLE, KY 40217
PHONE: 502.418.6270
foxwortharch@foxwortharch.com



ALLTRADE PROPERTY MANAGEMENT
NEW RESIDENCE
1310 SOUTH FLOYD STREET
LOUISVILLE, KENTUCKY 40208

DEMOLITION PLANS

drawn by: MF
24 SEPTEMBER 2018

A1.0

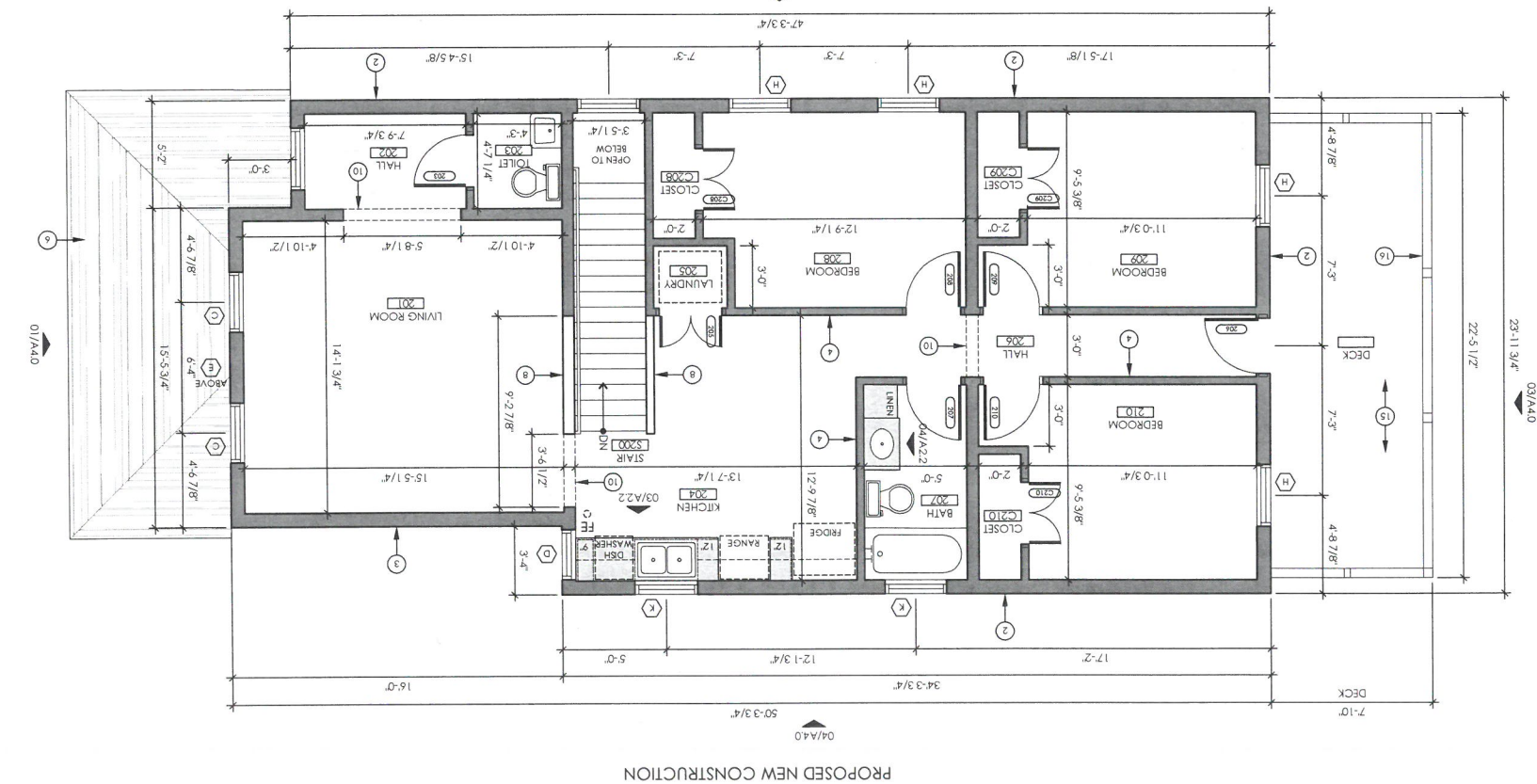
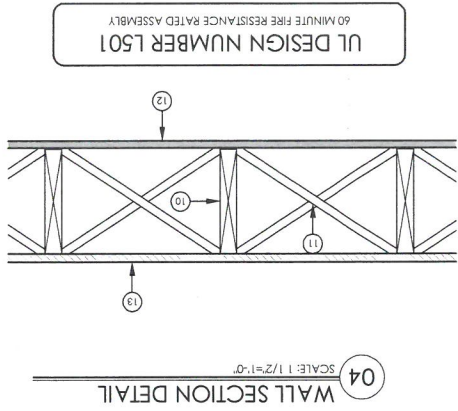
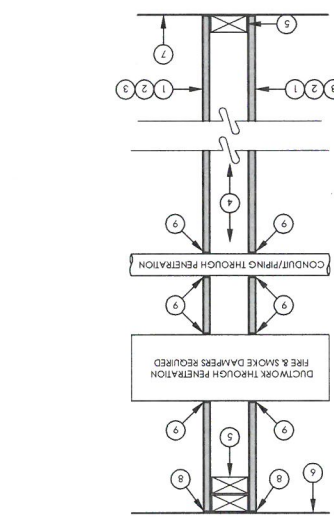
17P10

DEMOLITION DRAWINGS

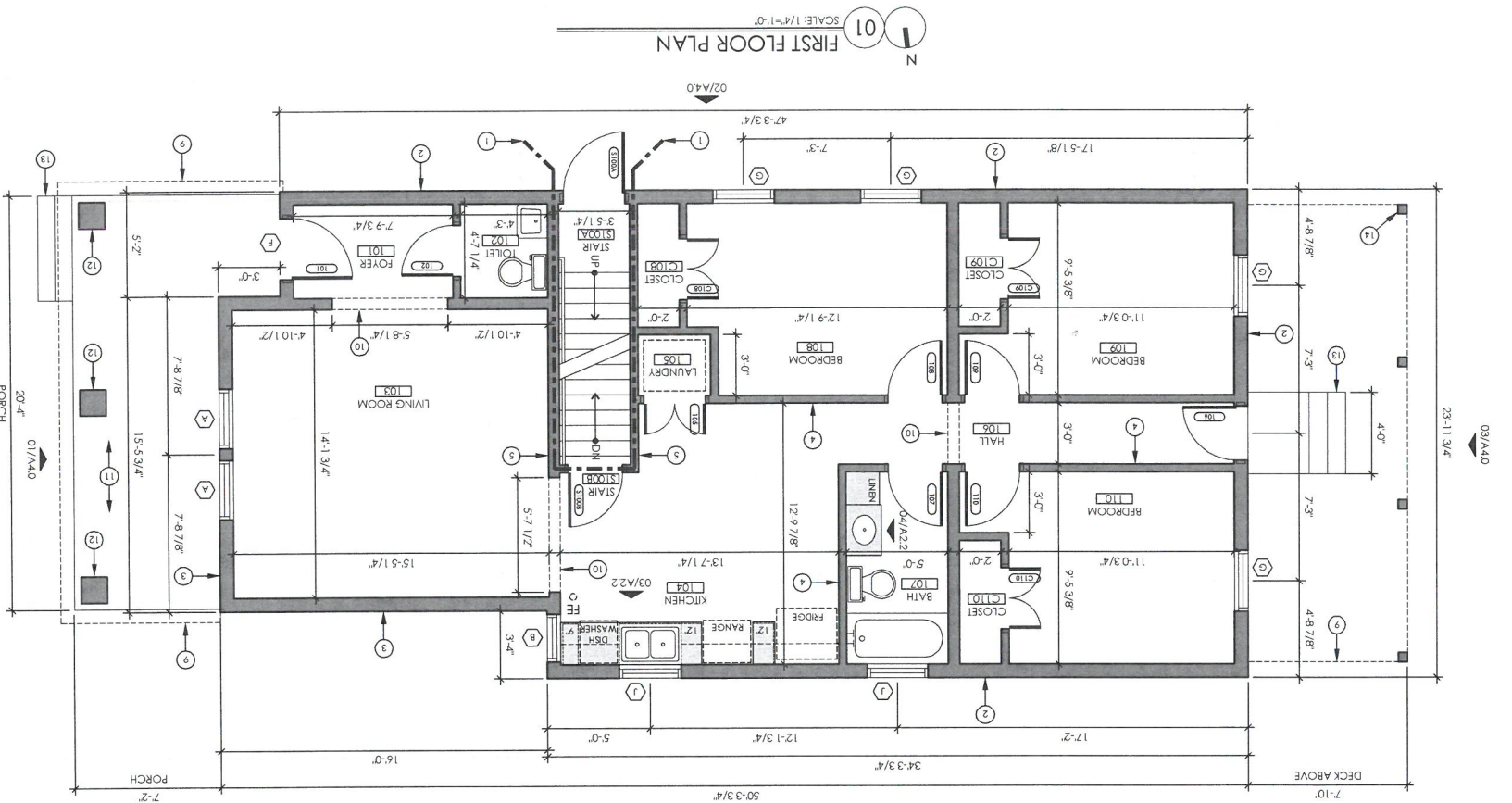
180071192

PROPOSED NEW CONSTRUCTION

OPENING SCHEDULE			
NUMBER	DOOR OPENING SIZE		REMARKS
	DOOR	FRAME	
101	3'-0" x 7'-0"	WD	SALVAGED FRONT DOOR
102	2'-6" x 7'-0"	WD	LATCH LEVER, LOCKSET, DEAD BOLT
105	(PAIR) 3'-0" x 7'-0"	WD	LATCH LEVER
106	2'-6" x 7'-0"	WD	N/A
107	2'-6" x 7'-0"	WD	LATCH LEVER, PRIVACY LOCKSET
108	2'-6" x 7'-0"	WD	N/A
109	2'-6" x 7'-0"	WD	LATCH LEVER
C109	(PAIR) 3'-0" x 7'-0"	WD	N/A
C110	(PAIR) 3'-0" x 7'-0"	WD	N/A
5100A	3'-0" x 7'-0"	WD	N/A
5100B	3'-0" x 7'-0"	WD	45 MIN
203	2'-6" x 7'-0"	WD	LATCH LEVER, PRIVACY LOCKSET
205	(PAIR) 3'-0" x 7'-0"	WD	N/A
206	2'-6" x 7'-0"	WD	N/A
207	2'-6" x 7'-0"	WD	LATCH LEVER, PRIVACY LOCKSET
208	2'-6" x 7'-0"	WD	N/A
C208	(PAIR) 3'-0" x 7'-0"	WD	N/A
209	2'-6" x 7'-0"	WD	LATCH LEVER, PRIVACY LOCKSET
C209	(PAIR) 3'-0" x 7'-0"	WD	N/A
210	2'-6" x 7'-0"	WD	LATCH LEVER, PRIVACY LOCKSET
C210	(PAIR) 3'-0" x 7'-0"	WD	N/A



RECEIVED
SEP 24 2018
PLANNING &
DESIGN SERVICES



GENERAL NOTES

1. ALL DIMENSIONS TAKEN TO FACE OF FINISHED WALL.
2. DEVELOPER TO SALVAGE AND REINSTALL WOOD WINDOW AND DOOR.
3. DEVELOPER TO SALVAGE BRICK TO BE REINSTALLED AT PORCH PERS.
4. DEVELOPER TO SALVAGE AND REINSTALL WOOD WINDOW AND DOOR.
5. DEVELOPER TO SALVAGE AND REINSTALL WOOD CORNICE AND BRACKETS.
6. ALL INTERIOR WALLS ARE 2" x 4" NOMINAL WOOD STUD FRAMING AT 1'-0" O.C. MAXIMUM SPACING.
7. ALL INTERIOR PARTITION WALLS ARE 1/2" GYPSUM BOARD EACH SIDE OVER 2" x 4" NOMINAL WOOD STUD FRAMING AT 1'-0" O.C. MAXIMUM SPACING.
8. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.

PLAN NOTES

1. DASHED LINE --- INDICATES 1 HOUR FIRE SEPARATION (REFER TO WALL SECTION DETAIL 04/A2.1 FOR ADDITIONAL INFORMATION).
2. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
3. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
4. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
5. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
6. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
7. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
8. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
9. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).
10. EXTERIOR WALL: 4" WIDE LAR GYPSUM BOARD SIDING (04/A2.1 FOR ADDITIONAL INFORMATION).

SECTION NOTES

1. 5/8" GYPSUM WALL BOARD APPLIED EITHER VERTICALLY OR HORIZONTALLY.
2. JOINTS COVERED WITH FIBER TAPE AND JOINT FINISHER.
3. NAILS: 4D CEMENT COATED 1-7/8" LONG, 0.091" SHANK DIAMETER.
4. 2" x 4" NOMINAL WOOD STUD FRAMING RESTORED, AT 1'-0" O.C. SPACING MAXIMUM.
5. 2" x 4" NOMINAL WOOD STUD HEAD AND SILL PLATE.
6. EXISTING CONCRETE FLOOR / ROOF DECK.
7. EXISTING CONCRETE FLOOR SLAB.
8. HEAD OF WALL FIRE STOP JOINT TREATMENT SYSTEM AT INTERSECTION OF FIRE AND/OR SMOKE RESISTANT ASSEMBLY WITH ROOF ASSEMBLY OR FLOOR ASSEMBLY.
9. MECHANICAL OR ELECTRICAL PENETRATION FIRE STOP SYSTEM AS REQUIRED TO MAINTAIN FIRE AND/OR SMOKE RESISTIVE SEPARATION.
10. EXISTING 2" x 10 MIN. NOMINAL WOOD FLOOR JOIST AT 1'-0" O.C. FIRE BLOCKED.
11. EXISTING 1" x 3 NOMINAL WOOD CROSS BRIDGING.
12. 5/8" TYPE X 4-7/8" WIDE GYPSUM BOARD, GYPSUM BOARD INSTALLED SECURED WITH 1-7/8" LONG, 4D CEMENT COATED NAILS SPACED 6" O.C. WITH LONG DIMENSION PERPENDICULAR TO JOISTS.
13. 19/32" THICK WOOD STRUCTURAL PANELS, MIN GRADE UNDERLAVMENT OR SWIGT FLOOR, FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO JOISTS WITH JOINTS STAGGED.

LEGEND

ROOM & NUMBER (SEE A2.1)

ROOM

ROOM NUMBER

FEET

NOTE

ELEVATION

XX/XX.X

WINDOW TAG (SEE A4.0)

EXTINGUISHER

FE

FE

17P10

A2.1

24 SEPTEMBER 2018

drawn by: MF

PROPOSED FLOOR PLANS

SECTION DETAILS

OPENING SCHEDULE

ALLTRADE PROPERTY MANAGEMENT

NEW RESIDENCE

1310 SOUTH FLOYD STREET

LOUISVILLE, KENTUCKY 40208

MADE IN FOXWORTH, KY 40217

FOXWORTH ARCHITECTURE PLLC

18041192

903 LYDIA STREET
LOUISVILLE, KY 40217
Phone: 502.418.6270
Email: mfoxworth@foxworth-grch.com

MARK J. FOXWORTH, AIA, LEED AP, ARCHITECT



1310 SOUTH FLOYD STREET
LOUISVILLE, KENTUCKY 40208

FURNITURE PLAN
INTERIOR ELEVATIONS

drawn by: MF
24 SEPTEMBER 2018

A2.2

17P10

ELEVATION NOTES

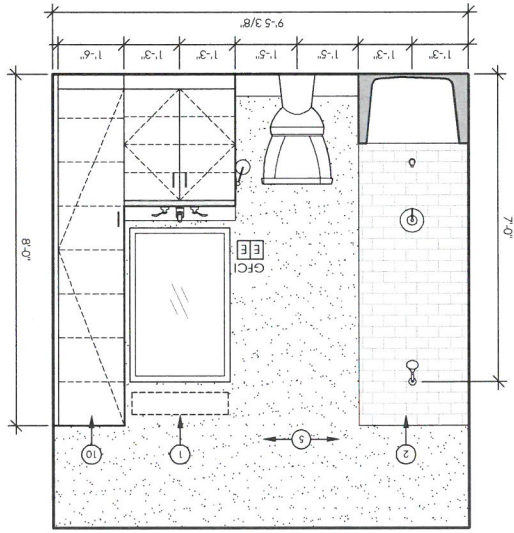
- [illegible]

ELEVATION NOTES

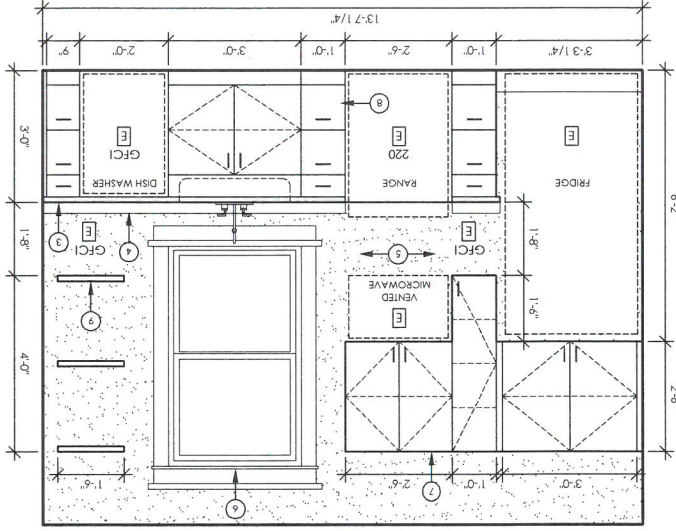
- | | |
|----|---|
| 10 | 18" DEEP PAINTED CABINET |
| 9 | 17" DEEP SHELVES |
| 8 | 17" DEEP BASE CABINET |
| 7 | 17" DEEP WALL CABINET |
| 6 | PREFAB TO CROWN MOULDING |
| 5 | EXISTING WINDOW WITH SLAVED WOOD TRAIL, VERIFY LOCATION |
| 4 | MORE RESISTANT OYSTERS BOARD IN ALL WALL LOCATIONS |
| 3 | BACR SPLASH |
| 2 | COUNTERTOP |
| 1 | WALL CEILING AT TUB / SHOWER SUBFLOOR |

RECEIVED
SEP 24 2018
PLANNING &
DESIGN SERVICES

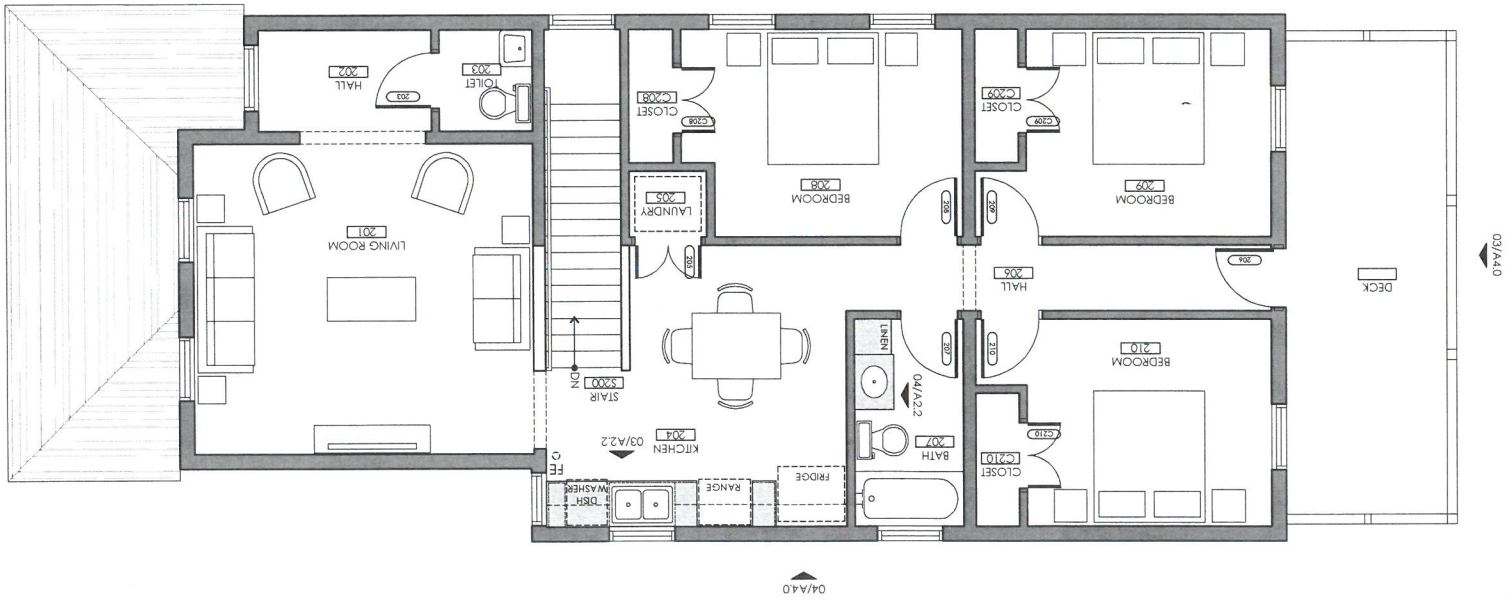
LEGEND



04
BATHROOM 107 / 207
ELEVATION
SCALE: 1/2"=1'-0"

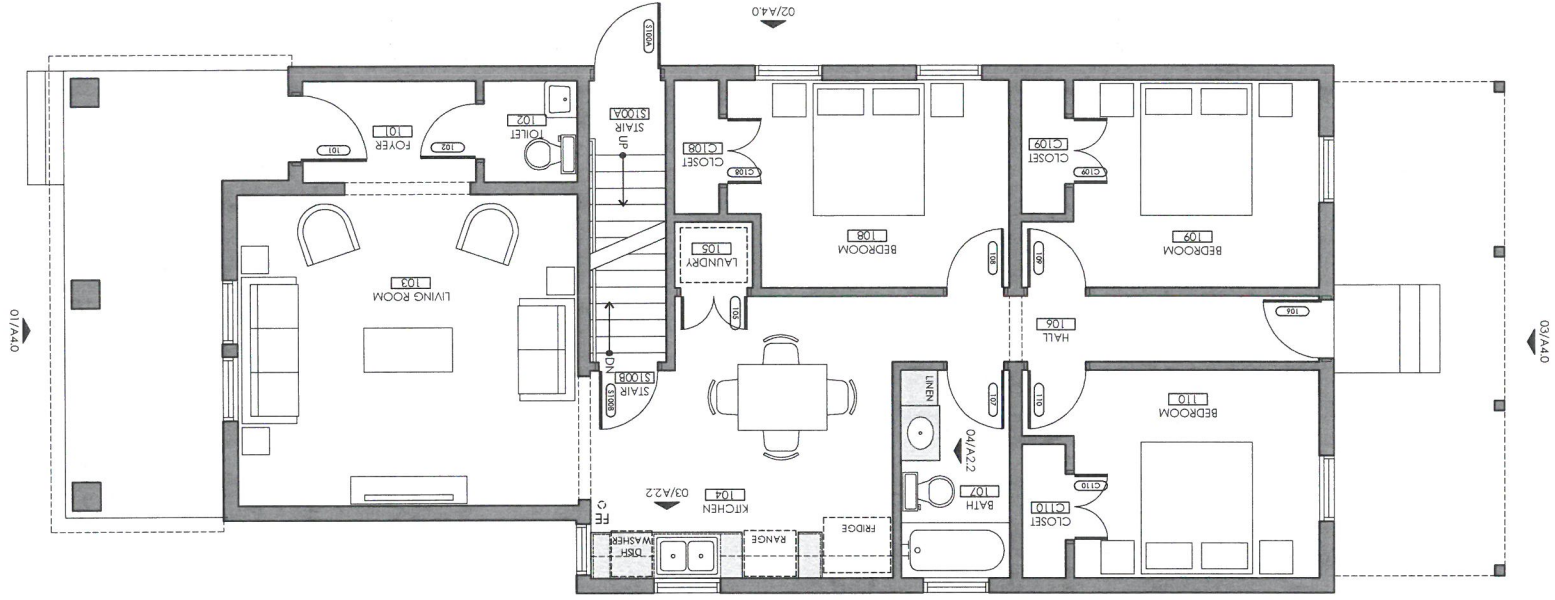


KITCHEN 104 / 204
ELEVATION
SCALE: 1/2" = 1'-0"



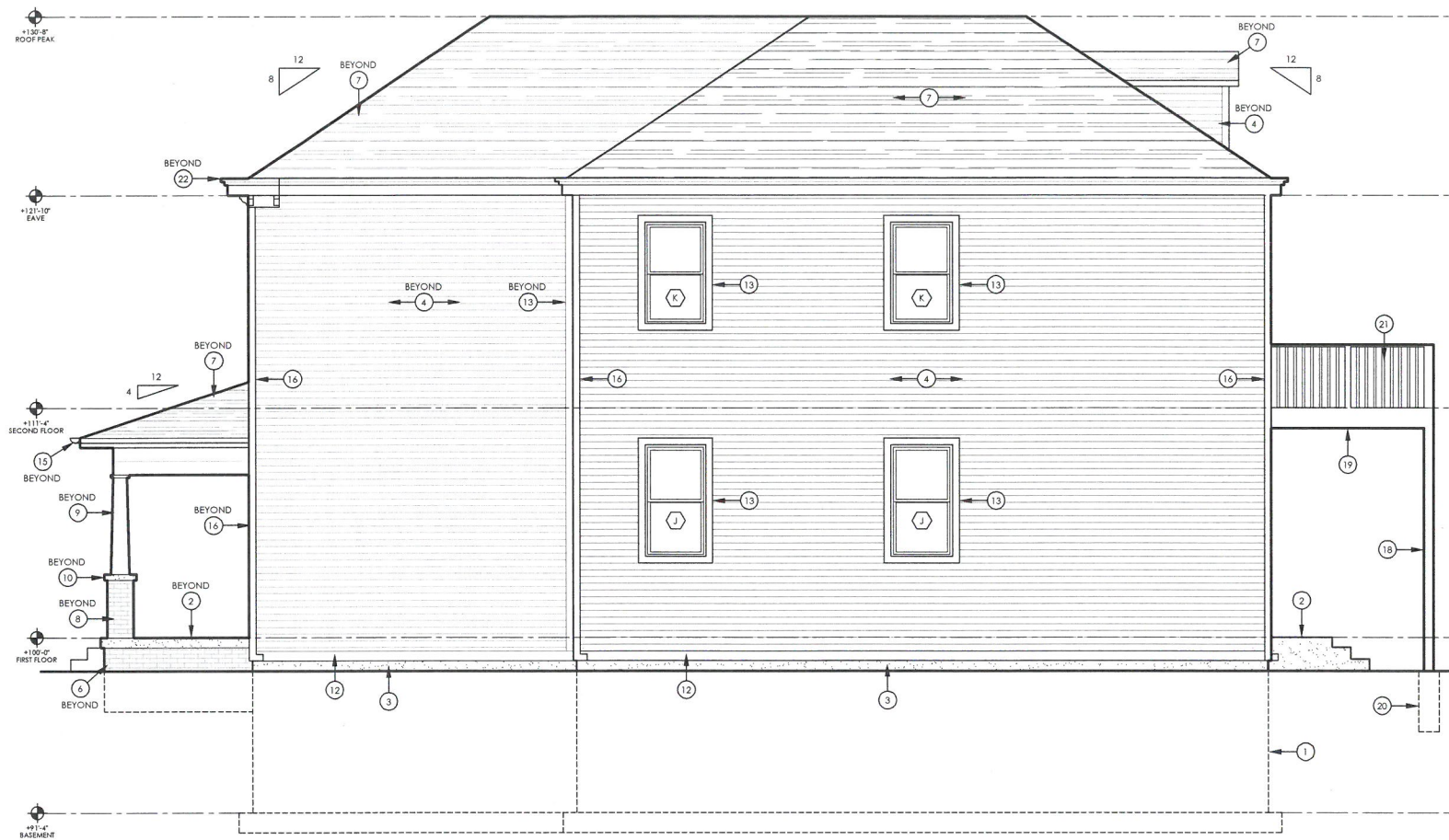
02 SECOND FLOOR PLAN SCALE: 1/4"=1'-0"

PROPOSED NEW CONSTRUCTION

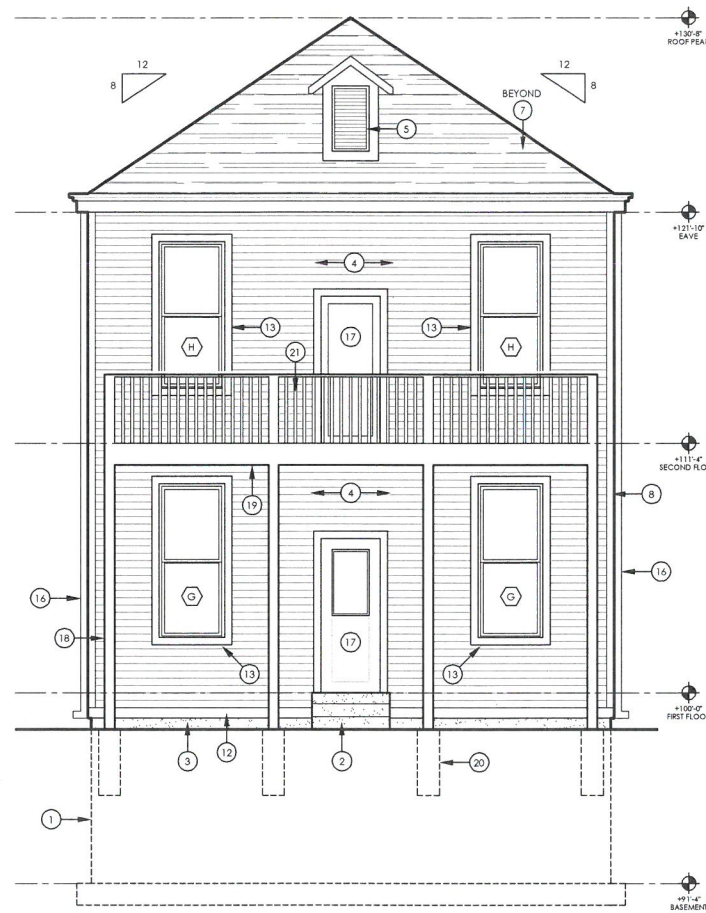


101
N
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

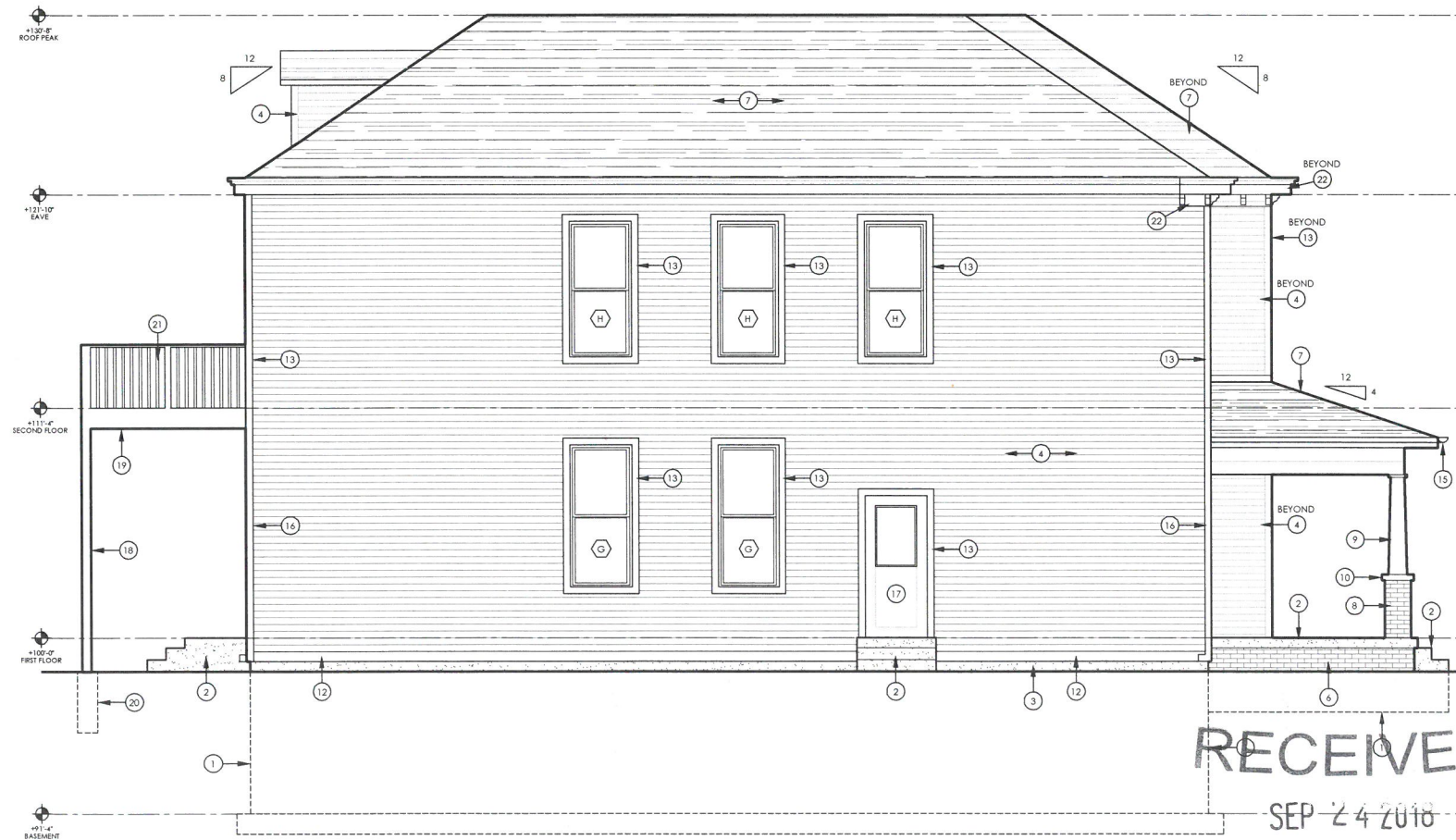
FIRST FLOOR PLAN



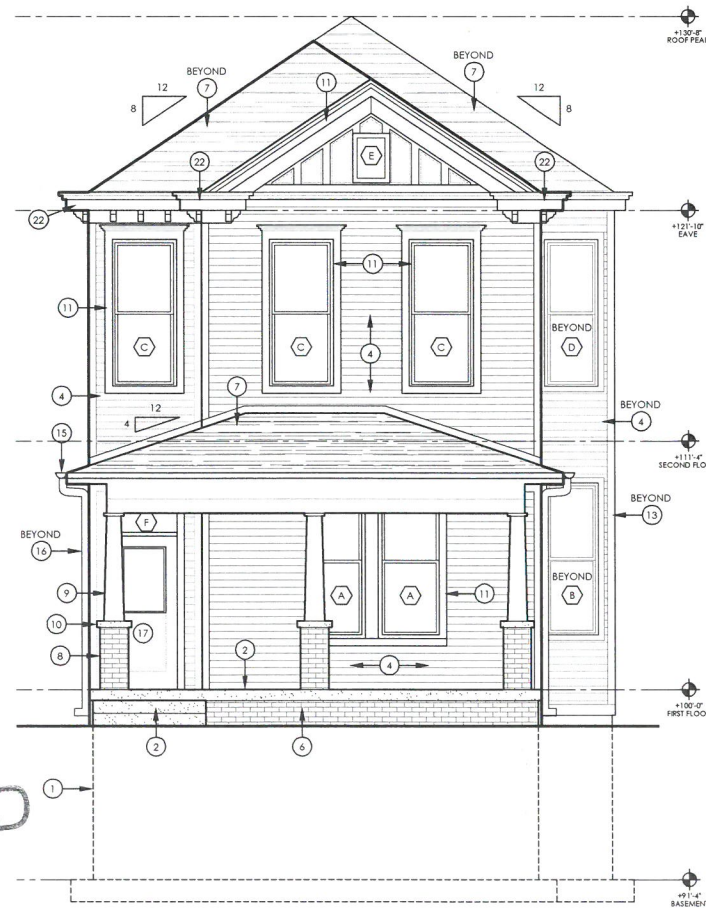
04 NORTH (SIDE) ELEVATION
SCALE: 1/4"=1'-0"



03 WEST (REAR) ELEVATION
SCALE: 1/4"=1'-0"



02 SOUTH (SIDE) ELEVATION
SCALE: 1/4"=1'-0"



01 EAST (FRONT) ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

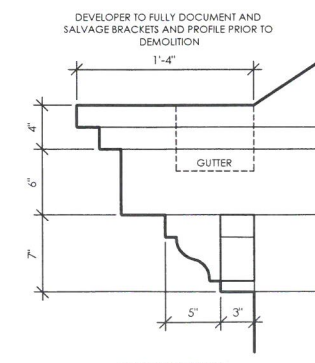
- ALL DIMENSIONS TAKEN TO FACE OF FINISHED WALL.
- DEVELOPER TO SALVAGE AND REINSTALL WOOD WINDOW AND DOOR EXTERIOR MOLDINGS.
- DEVELOPER TO SALVAGE BRICK TO BE REINSTALLED AT PORCH PIERS AND BELOW CONCRETE SLAB OF PORCH.
- DEVELOPER TO SALVAGE AND REINSTALL WOOD WINDOW AND DOOR INTERIOR MOLDINGS.
- DEVELOPER TO SALVAGE AND REINSTALL WOOD CORNICE AND BRACKETS.
- ALL EXTERIOR WALLS ARE 2" x 4" NOMINAL WOOD STUD FRAMING AT 1'-4" O.C. MAXIMUM SPACING.
- ALL INTERIOR PARTITION WALLS ARE 1/2" GYPSUM BOARD EACH SIDE OVER 2 x 4 NOMINAL WOOD STUD FRAMING AT 1'-4" O.C. MAXIMUM SPACING UNLESS OTHERWISE INDICATED.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.

ELEVATION NOTES

- DASHED LINE INDICATES LINE OF FOUNDATION AND FOOTING SYSTEM BELOW GRADE.
- CAST IN PLACE CONCRETE PORCH AND STEPS.
- EXPOSED SPLIT FACE CONCRETE BLOCK FOUNDATION WALL.
- 4" REVEAL LAP CEMENT BOARD SIDING. (HARDIE PLANK OR APPROVED EQUAL).
- METAL LOUVERED ATTIC VENT.
- SALVAGED BRICK BELOW CONCRETE PORCH SLAB.
- DIMENSIONAL ASPHALT SHINGLES.
- SALVAGED BRICK PIER.
- WOOD CLAD PORCH POST, TAPERED AS INDICATED.
- CONCRETE OR CAST-STONE PIER CAP.
- SALVAGED WOOD TRIM.
- 6" WATER TABLE BOARD AND CEMENT BOARD STARTER TRACK.
- 4" WIDE CEMENT BOARD TRIM.
- METAL FASCIA.
- HALF ROUND METAL GUTTER WITH DEBRIS SCREEN.
- ROUND METAL DOWNSPOUT AND PRECAST CONCRETE SPLASH STONE.
- RESIDENTIAL GRADE EXTERIOR DOOR.
- 6 x 6 NOMINAL PRESSURE TREATED WOOD DECK POST.
- 2 x 12 NOMINAL PRESSURE TREATED WOOD RIM JOIST AND JOISTS.
- DASHED LINE INDICATED LINE OF CAST-IN-PLACE CONCRETE PIER BELOW GRADE.
- 2 x 2 NOMINAL PRESSURE TREATED WOOD PICKETS, 4" MAX OPENING.
- SALVAGED WOOD CORNICE AND BRACKETS.

WINDOW SCHEDULE

	DESCRIPTION	NOMINAL SIZE	SILL HEIGHT	HEAD HEIGHT
A	WOOD CLAD DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 5'-6" HIGH	2'-6" A.F.F.	8'-0" A.F.F.
B	WOOD CLAD DOUBLE HUNG DOUBLE PANE	2'-4" WIDE 7'-0" HIGH	2'-6" A.F.F.	9'-6" A.F.F.
C	WOOD CLAD DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 6'-8" HIGH	2'-6" A.F.F.	9'-2" A.F.F.
D	WOOD CLAD DOUBLE HUNG DOUBLE PANE	2'-4" WIDE 6'-8" HIGH	2'-6" A.F.F.	9'-2" A.F.F.
E	WOOD CLAD PICTURE DOUBLE PANE	1'-8" WIDE 2'-2" HIGH	1'-3"	3'-5"
F	WOOD CLAD TRANSOM DOUBLE PANE	3'-0" WIDE 1'-0" HIGH	7'-0" A.F.F.	8'-0" A.F.F.
G	VINYL DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 7'-0" HIGH	2'-6" A.F.F.	9'-6" A.F.F.
H	VINYL DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 6'-8" HIGH	2'-6" A.F.F.	9'-2" A.F.F.
J	VINYL DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 5'-6" HIGH	4'-0" A.F.F.	9'-6" A.F.F.
K	VINYL DOUBLE HUNG DOUBLE PANE	3'-0" WIDE 5'-0" HIGH	4'-2" A.F.F.	9'-0" A.F.F.

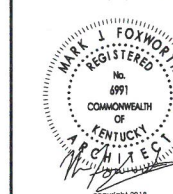


00 CORNICE PROFILE
ELEVATION
SCALE: 1-1/2"=1'-0"

**FOXWORTH
ARCHITECTURE
PLLC**

903 LYDIA STREET
LOUISVILLE, KY 40217
Phone: 502.418.4270
Email: mfoxworth@foxworth-arch.com

MARK J. FOXWORTH, AIA, LEED AP, ARCHITECT



ALLTRADE PROPERTY MANAGEMENT
NEW RESIDENCE

1310 SOUTH FLOYD STREET
LOUISVILLE, KENTUCKY 40208

PROPOSED
EXTERIOR ELEVATIONS
CORNICE PROFILE
WINDOW SCHEDULE

drawn by: MF
24 SEPTEMBER 2018

A4.0

17P10

DEMOLITION DRAWINGS

RECEIVED

SEP 24 2018

PLANNING &
DESIGN SERVICES

18MA192