

**20-COA-0158**  
**1607 Frankfort Ave.**



**Butchertown Architectural Review Committee**  
**Public Hearing**

**Kat Groskreutz, Historic Preservation Specialist**  
**October 7, 2020**

# Request

- Certificate of Appropriateness:
- A new, 3-space, two-story, semi-enclosed carport over existing parking pad
  - wood siding, metal roofing, four fixed windows facing Blue Horse Ave. - meant to mimic the look of a carriage house
- A new concrete driveway with entry from the front side yard with access from Blue Horse Avenue
- A new circular brick patio in the side yard
- Concrete turn around, retaining walls, ramps, and stairs in side and rear yard of site to allow for ADA parking and accessibility from the home to the carport, decks, and patio
- A two-tiered wooden deck, stairs, and landing with steel railings located on the rear façade

# Case Summary / Background

- The subject site is located in the R7 zoning district and Traditional Neighborhood Form district
- The primary home is a two-story, Federal style masonry home built circa 1802 - currently B&B
- Site is unusual for the general residential area but characteristic of early riverside development
- House is sited upon a steep hill with most of useable yard located in the front and southeast side yard
- Existing retaining wall/four-car parking pad in rear side yard off of Blue Horse Ave.

# Case Summary / Background

- The most recently approved COA was in 2016 for somewhat similar site work which included:
  - new patio area east of the house to include a wood pergola, a brick paver surface, and retaining walls screened with landscaping, plantings, and a trellis wall system
  - an existing railroad retaining wall by the parking pad to be replaced with concrete and screened with a trellis wall and stairs widened
  - new iron fencing around the perimeter and existing parking area
- None of the projects appear to be implemented



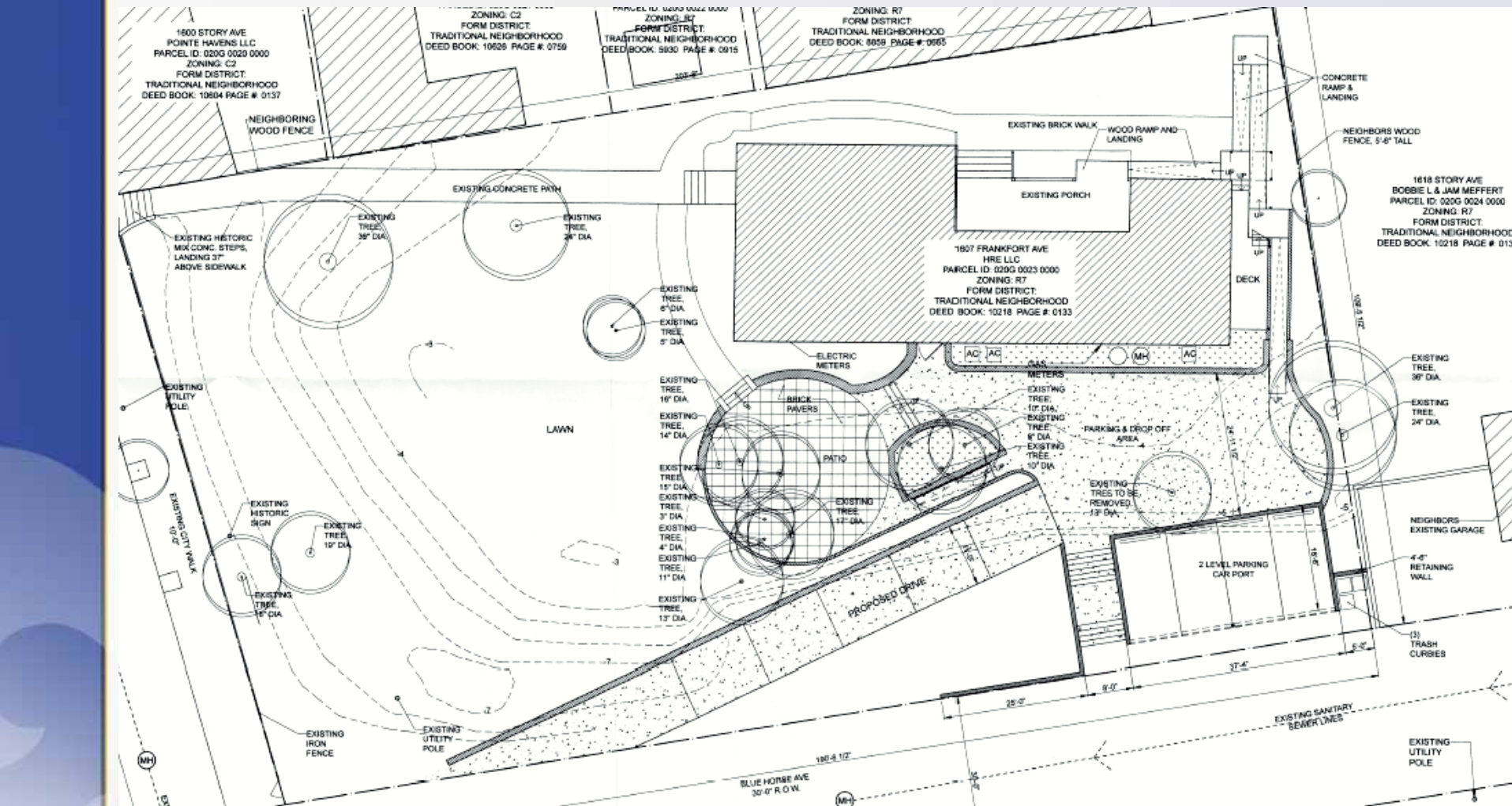
# Site Aerial



# Site Aerial



## Site Photos

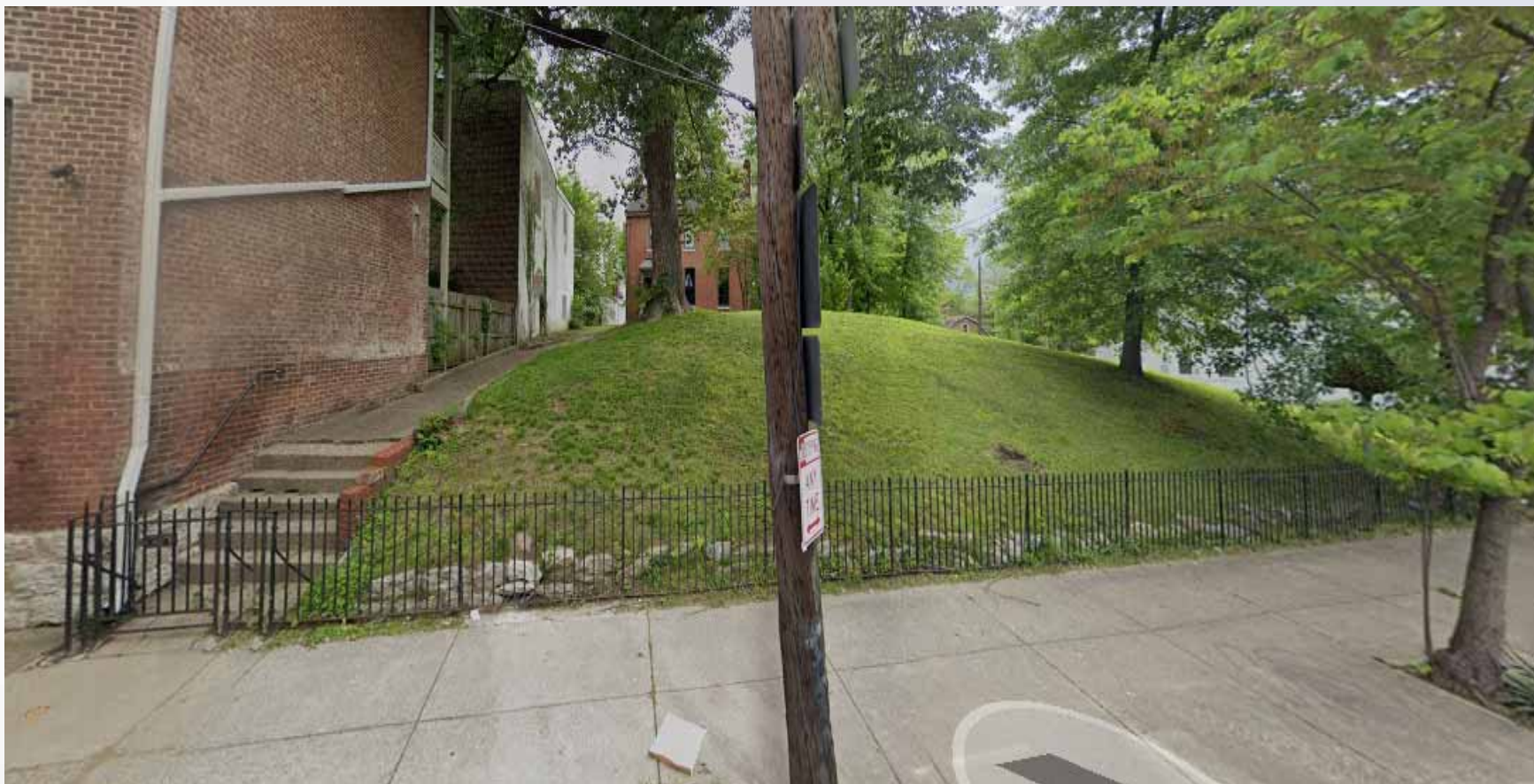




# Site Photos



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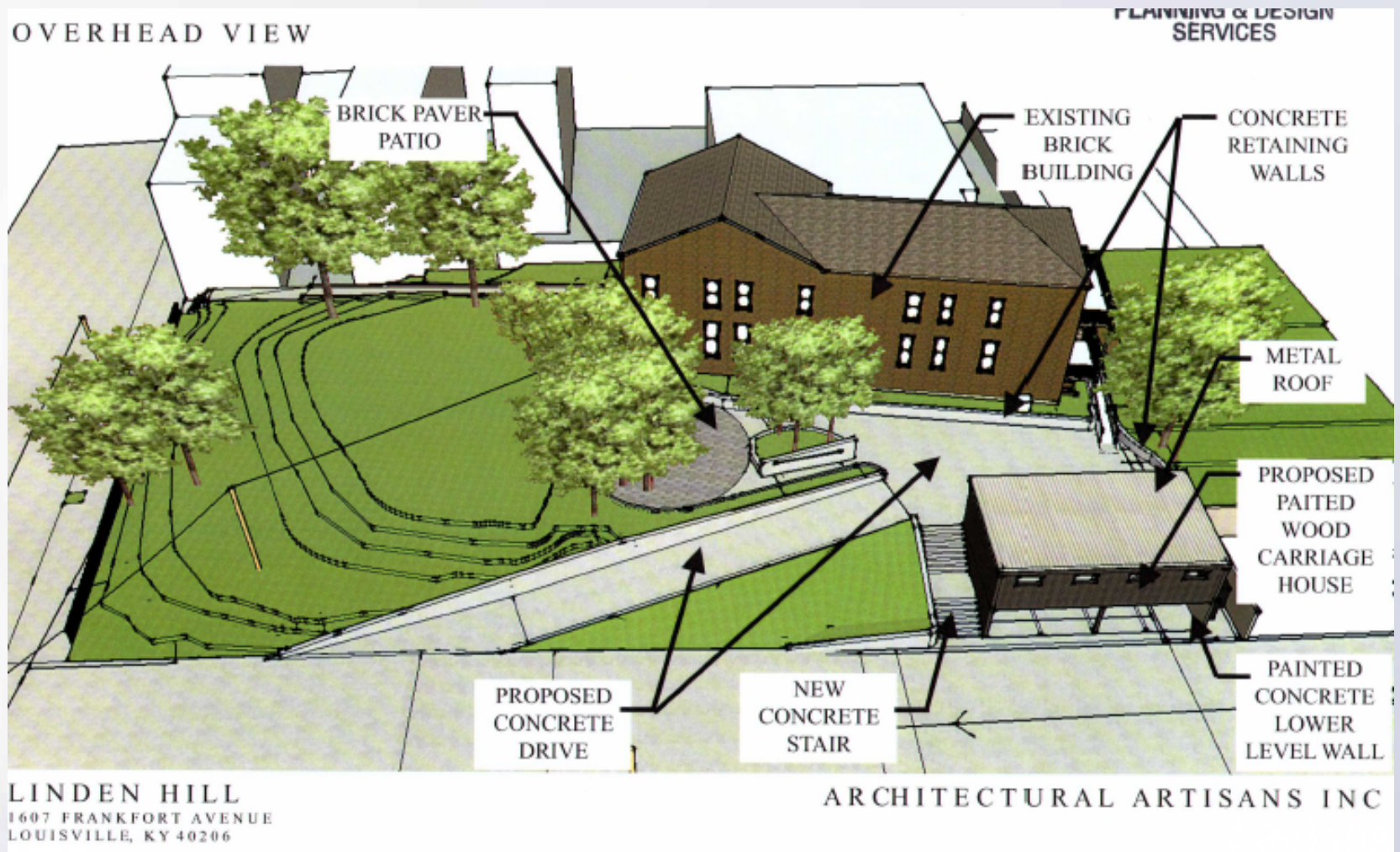


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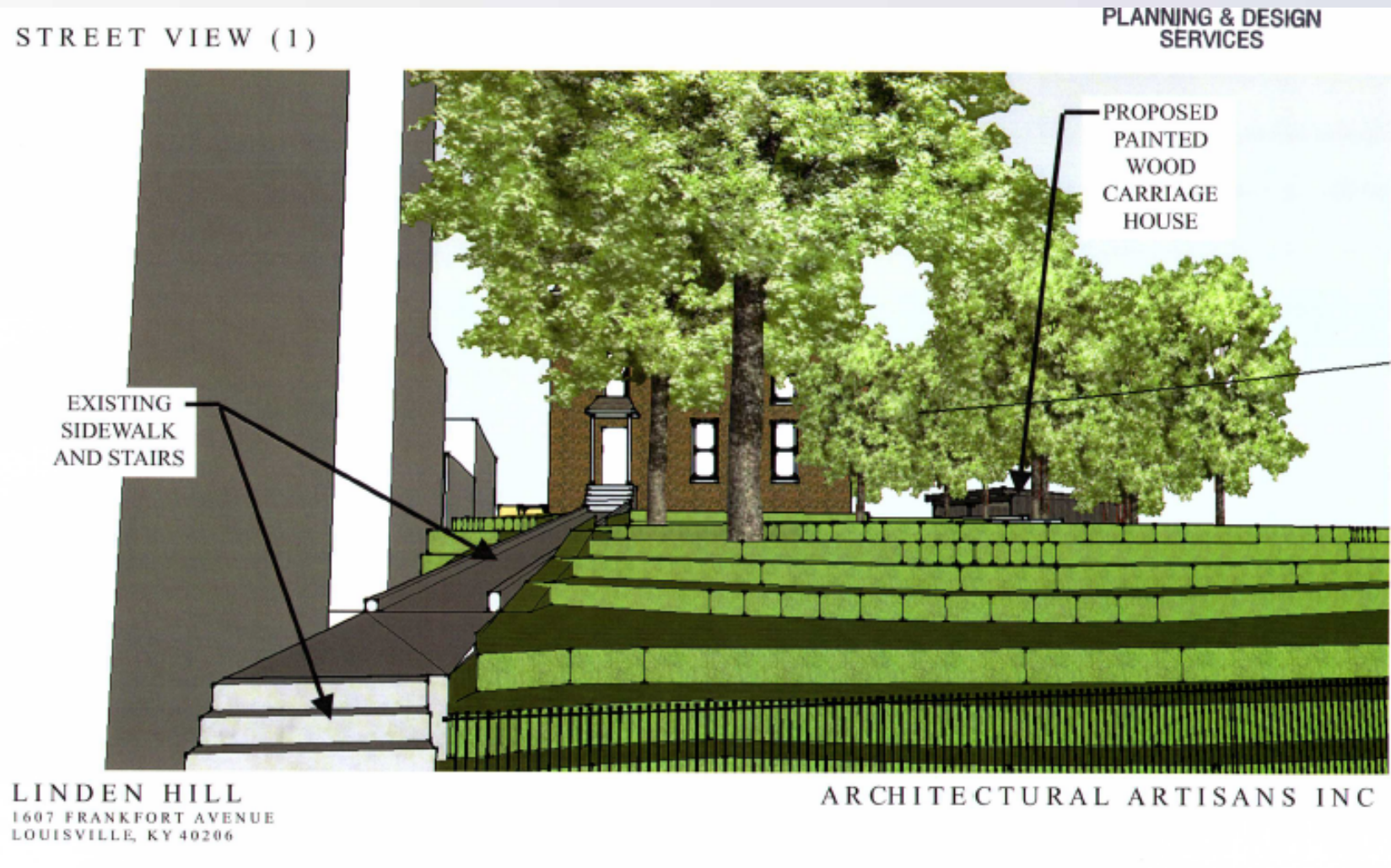




# Site Renderings

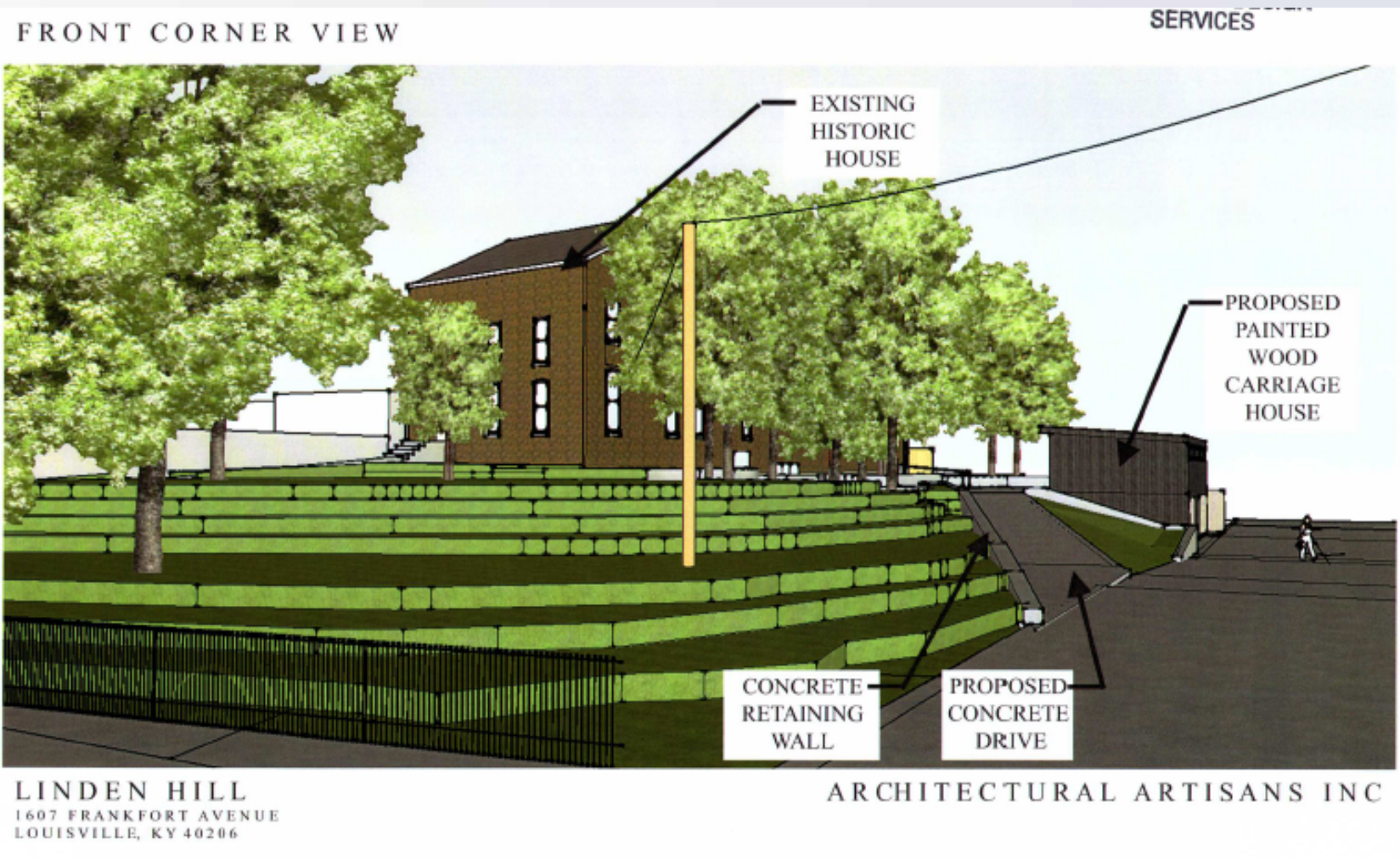


# Site Renderings





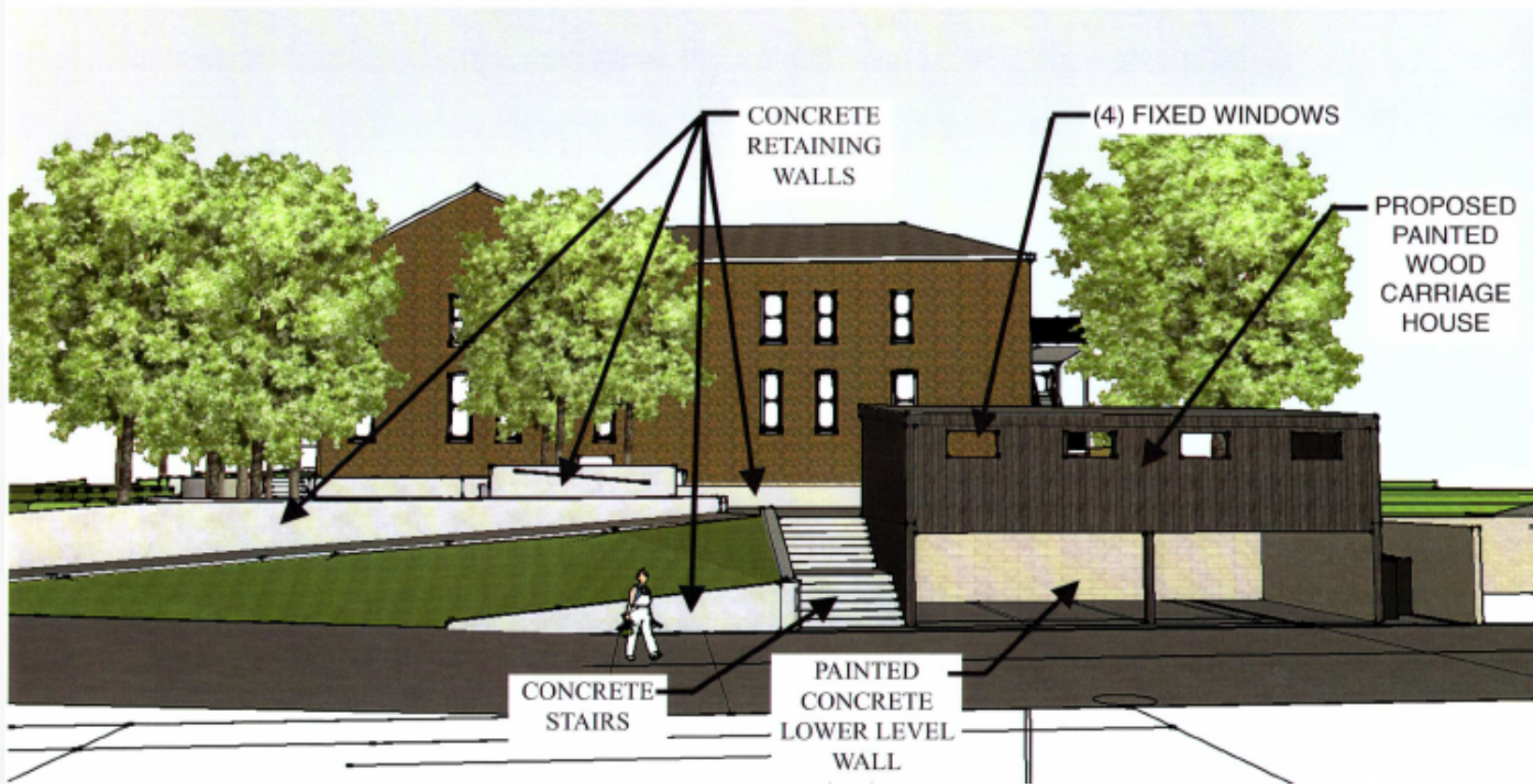
# Site Photos



# Site Rendering

SIDE VIEW

PLANNING & DESIGN  
SERVICES



LINDEN HILL  
1607 FRANKFORT AVENUE  
LOUISVILLE, KY 40206

ARCHITECTURAL ARTISANS INC



# Site Rendering

REAR CORNER VIEW

SERVICES

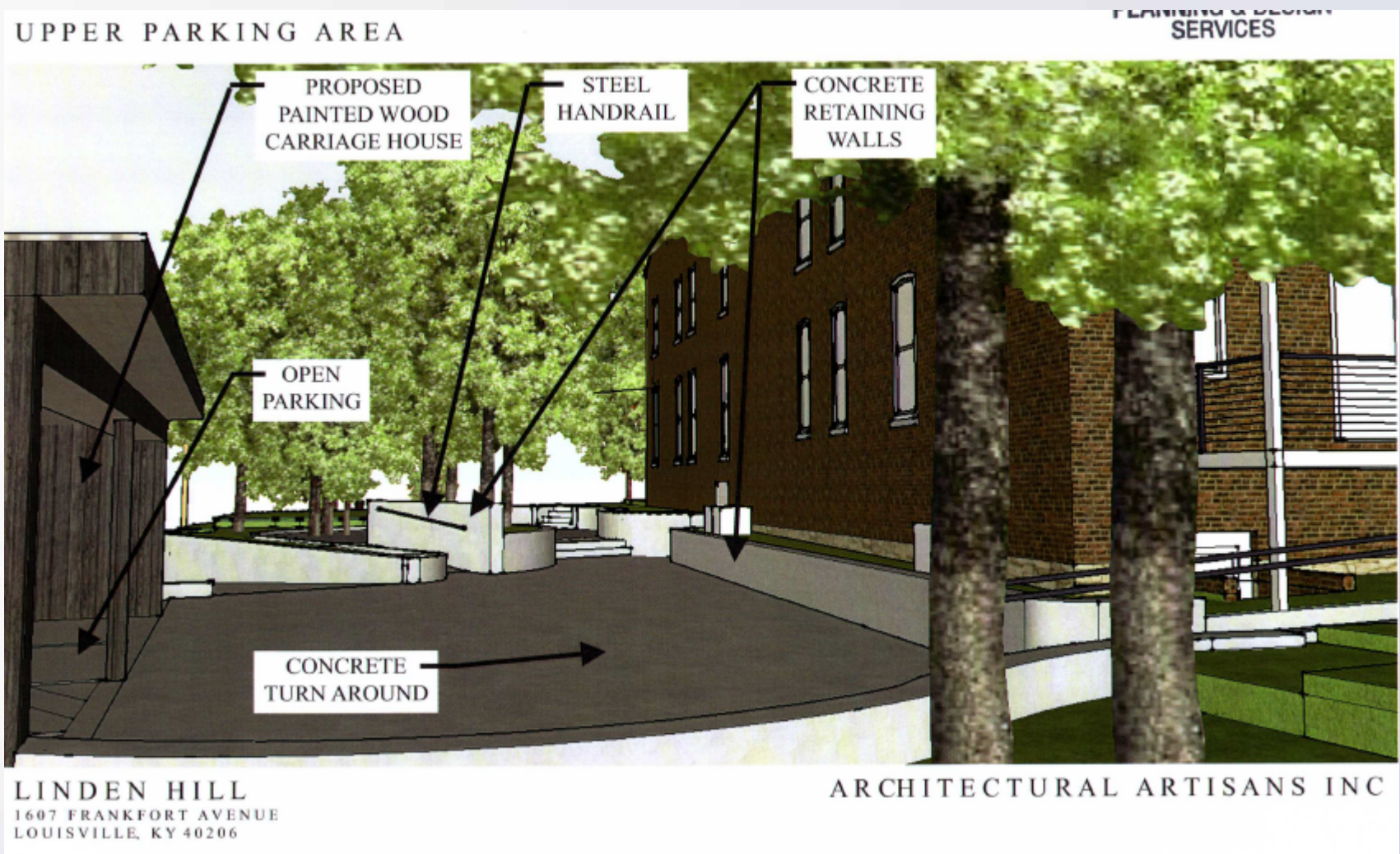


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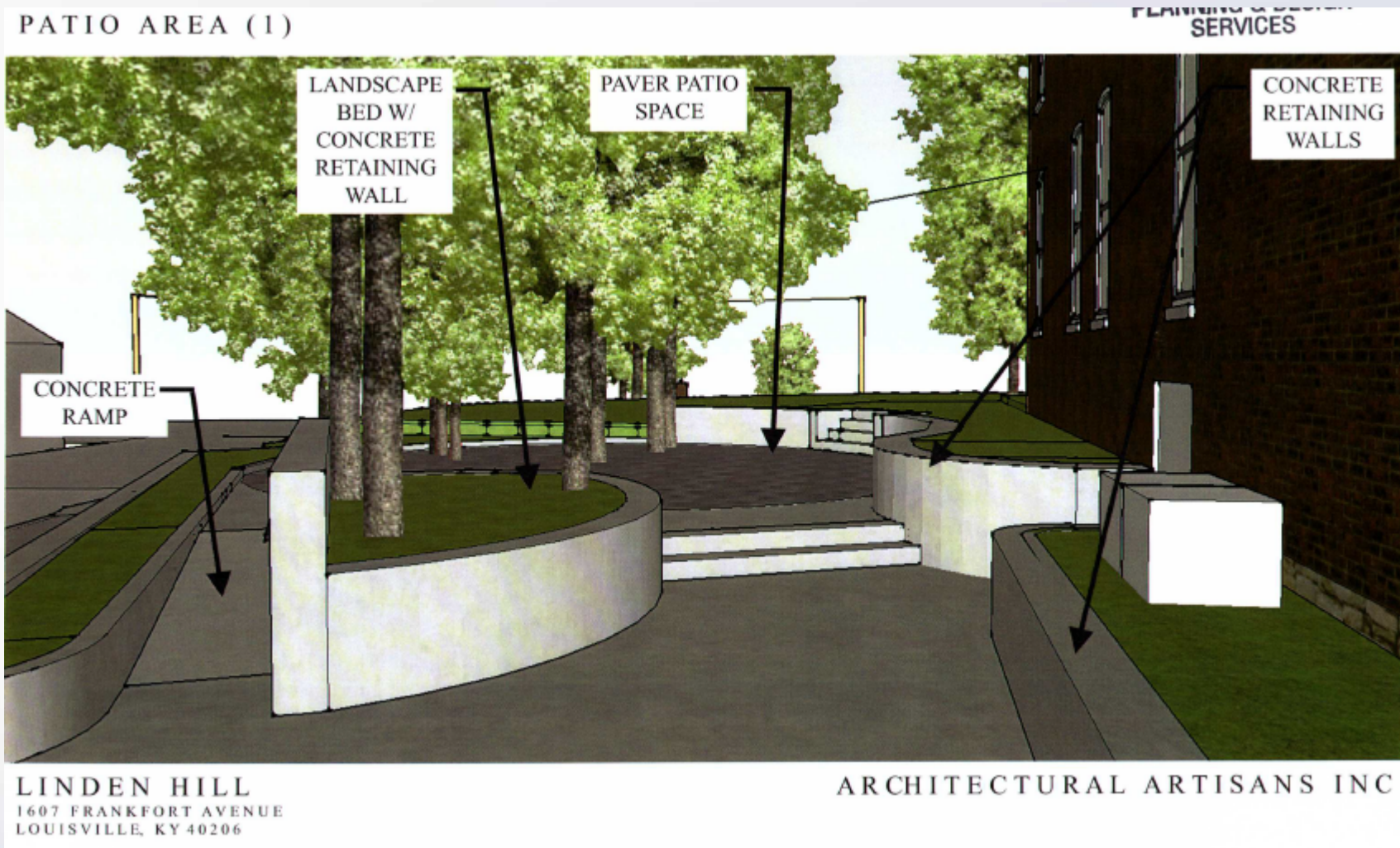


# Site Rendering





# Site Rendering



# Site Rendering



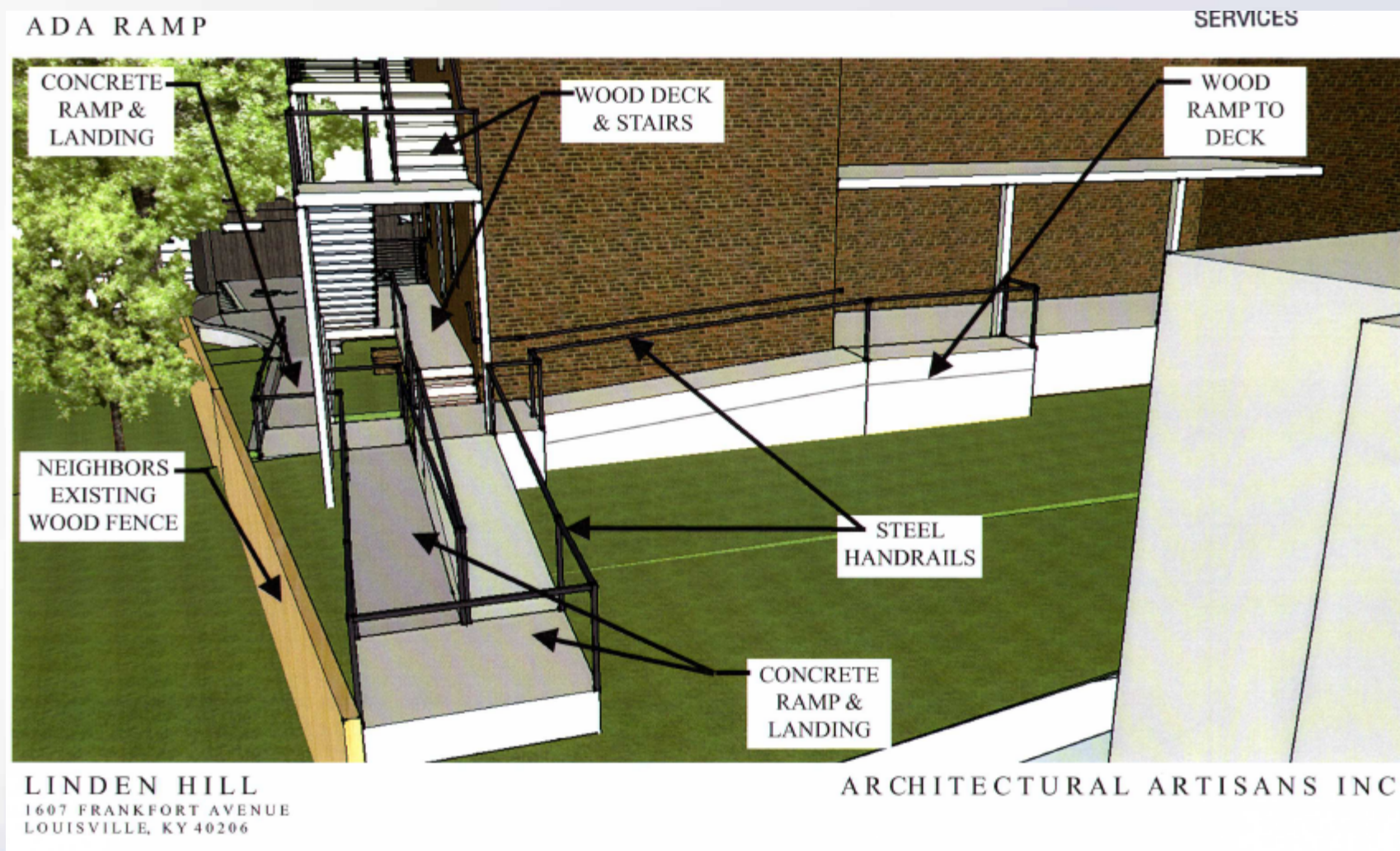


# Site Rendering





# Site Rendering



# Conclusion

- The decks generally meets the BT design guidelines for **Addition**:
  - They are on the rear of the building to accommodate fire egress for guest rooms
  - They do not extend beyond the front side facades of the building
  - They are of wood with simple metal railings which delineate new from existing without competing with the historic elements



# Conclusion

- The carport generally meets the BT design guidelines for **Garage**:
  - The parking area and footprint already exist onsite
  - Located within the side yard with Blue Horse Avenue access
  - Siding is of wood with a metal roof, with four fixed windows on the wall facing Blue Horse Avenue to break up massing
  - Carport will help define and enclose the side yard for private use
  - Height is subordinate in size to the primary structure
  - The lower edge of the shed roof is facing Blue Horse Avenue to minimize visual impact

# Conclusion

- The patio generally meets the BT design guidelines for Site:
  - The steep hill does not allow for comfortable use of the expansive yard and little rear yard exists
  - Patio provides usable flat space for guests
  - Proposed to be brick pavers
  - Located in side yard

# Conclusion

- The concrete work generally meets the BT design guidelines for Site:
  - The carport, drive, and ramps allow ADA accessibility access for parking spaces and to and from the building and patio
  - Front yard topography is not being changed
  - Existing trees will have a visual blending effect; only one tree in side yard proposed to be removed
  - Historic concrete mix is an acceptable material for projects



# Conclusion

- Staff has concerns regarding amount of new concrete, and that during the winter season the retaining walls will be more visible
- Staff would like the minimal height for the retaining walls without sacrificing safety
- Staff suggests a stone veneer for the wall system and additional plantings to aid with screening

# Recommendation

- On the basis of the information furnished by the applicant, staff recommends that the request be approved with the following conditions:
  1. The wood deck and stairs shall be opaque painted or stained within 6 months of construction.
  2. The wood siding of the carport shall be either 3" or 4" reveal horizontal style or board and batten vertical style and shall be opaque painted or stained within 6 months of construction.
  3. Gutters shall be installed on the carport and shall be half round or ogee style.



# Recommendations

4. There shall be no flush eaves on the carport. Eaves shall project a minimum of 4" from the facades.
5. Cornerboards and trim around the windows shall be added in at least 4" depth boards.
6. All concrete work shall be of historic concrete mix.
7. Any proposed lighting shall be reviewed and approved by staff prior to installation.
8. Excavations or regrading within or adjacent to a historic building shall not be done which could cause the foundation to shift or destroy significant archeological resources.

# Recommendations

9. Any archeological resources shall be reported to Landmarks staff.
10. Construction drawings or elevations that include material information and dimensions for the carport and the decks, and the heights of all retaining walls shall be provided to staff.
11. All other required building and zoning permits and approvals shall be obtained prior to construction.