

20-COA-0177
2111 Cherokee Pkwy.



Cherokee Triangle Architectural Review Committee
Public Hearing

Bradley Fister, Historic Preservation Specialist
October 07, 2020

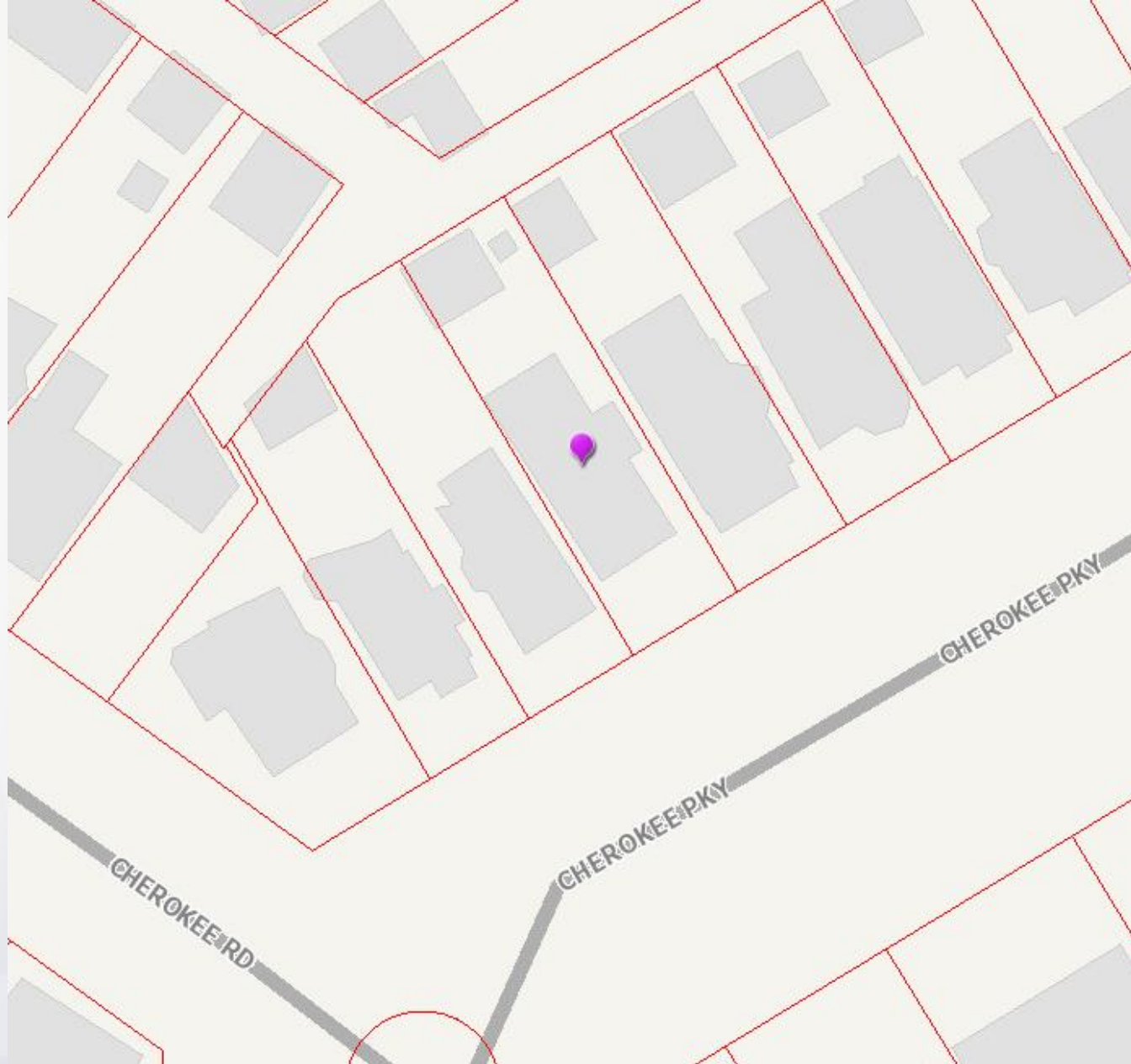
Request

- Certificate of Appropriateness:

The applicant is seeking approval to construct a 38' limestone retaining wall at the front of the property. The proposed wall would be a maximum height of 14" at the left corner of the front property line and rise to approximately 31" in height at the right corner of the property line in order to follow the natural grade along Cherokee Pkwy.

Site Context / Background

The subject property is zoned R5B in the Traditional Neighborhood Form District. The house is located four lots north of the intersection of Cherokee Rd. and Cherokee Pkwy. The home is a circa 1905, two-and-a-half-story, Victorian style wood frame home, clad with brick.

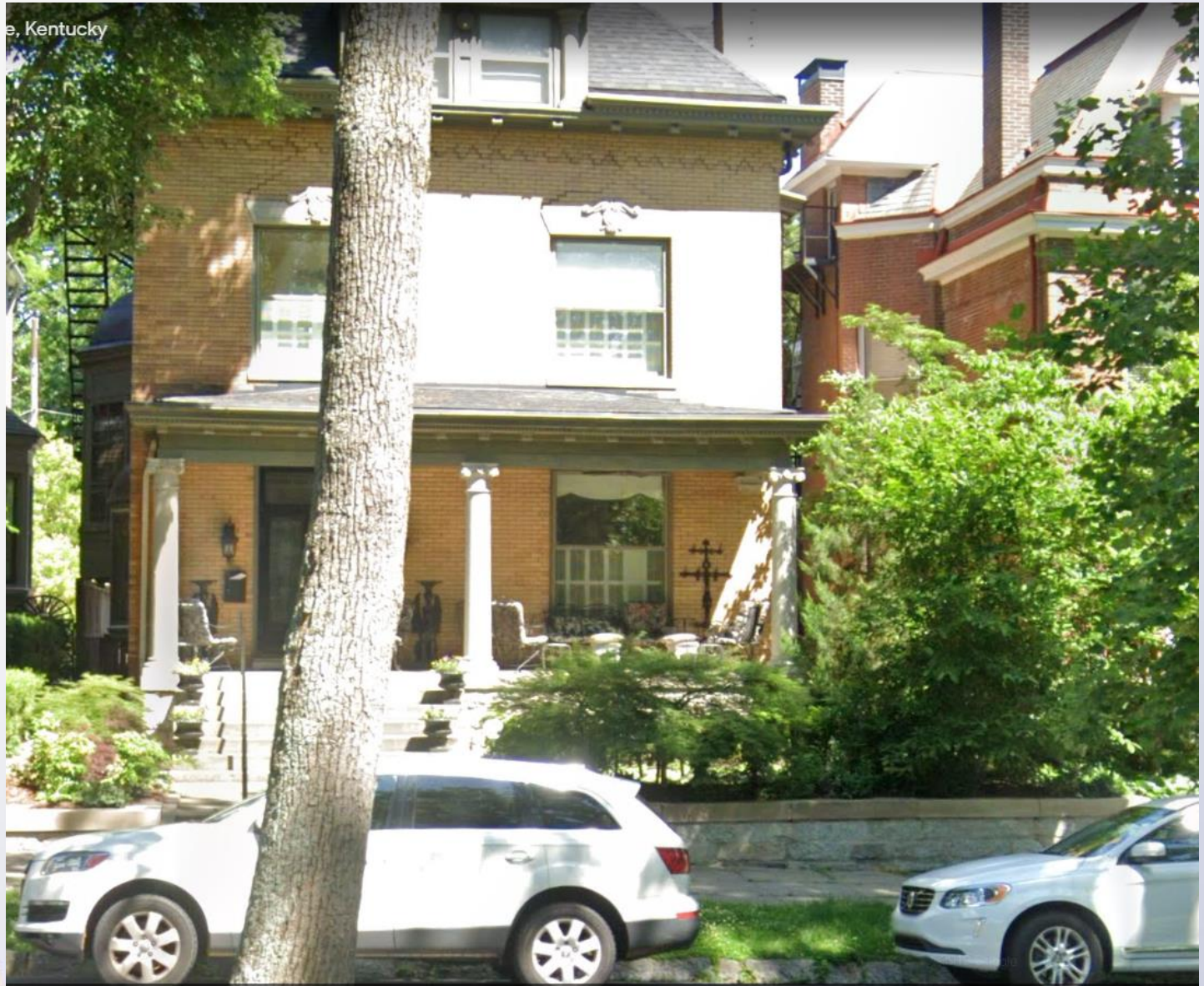




Site Photos



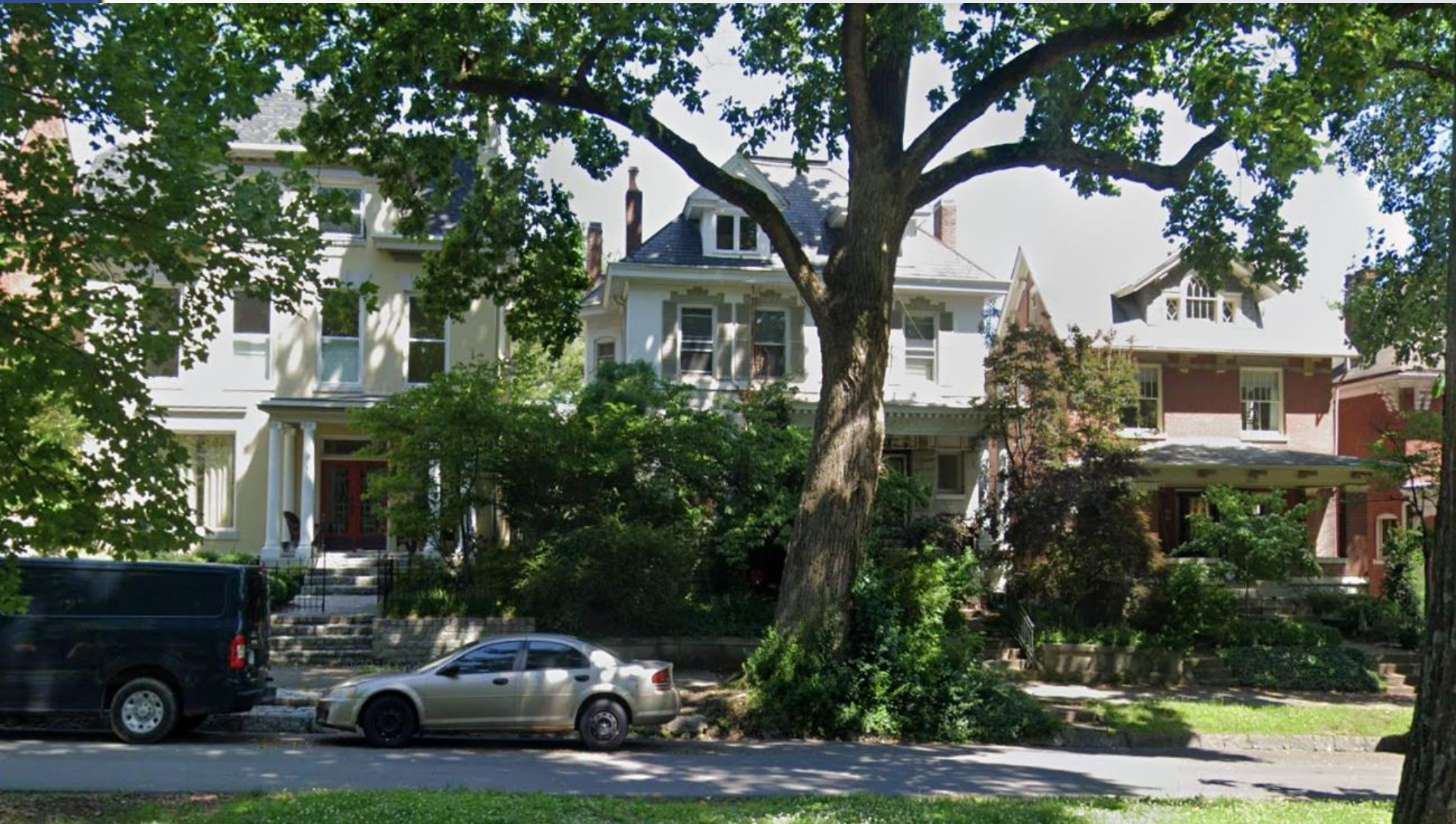
Site Photos



Site Photos



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Conclusion

The proposed changes to the property generally meet the **Site Design Guidelines** for the Cherokee Triangle Preservation District. There are examples of historic and modern retaining walls along this section of Cherokee Parkway, however there has not been a retaining wall at this property historically. The low height of this wall will preserve most of the topography of the front yard while helping to stabilize the slope.

Recommendations

On the basis of the information furnished by the applicant, the application for a Certificate of Appropriateness is **recommended with the following conditions:**

- 1. The retaining wall shall not exceed 31” in height.**
- 2. If the design or material changes, the applicant shall contact staff for review and approval.**