

BOARD OF ZONING ADJUSTMENT
Conditional Use Permit
WELDERS SUPPLY

CASE # 20-CUP-0136

APPLICANT

LARRY SIMPSON - WELDERS SUPPLY

REPRESENTATIVE

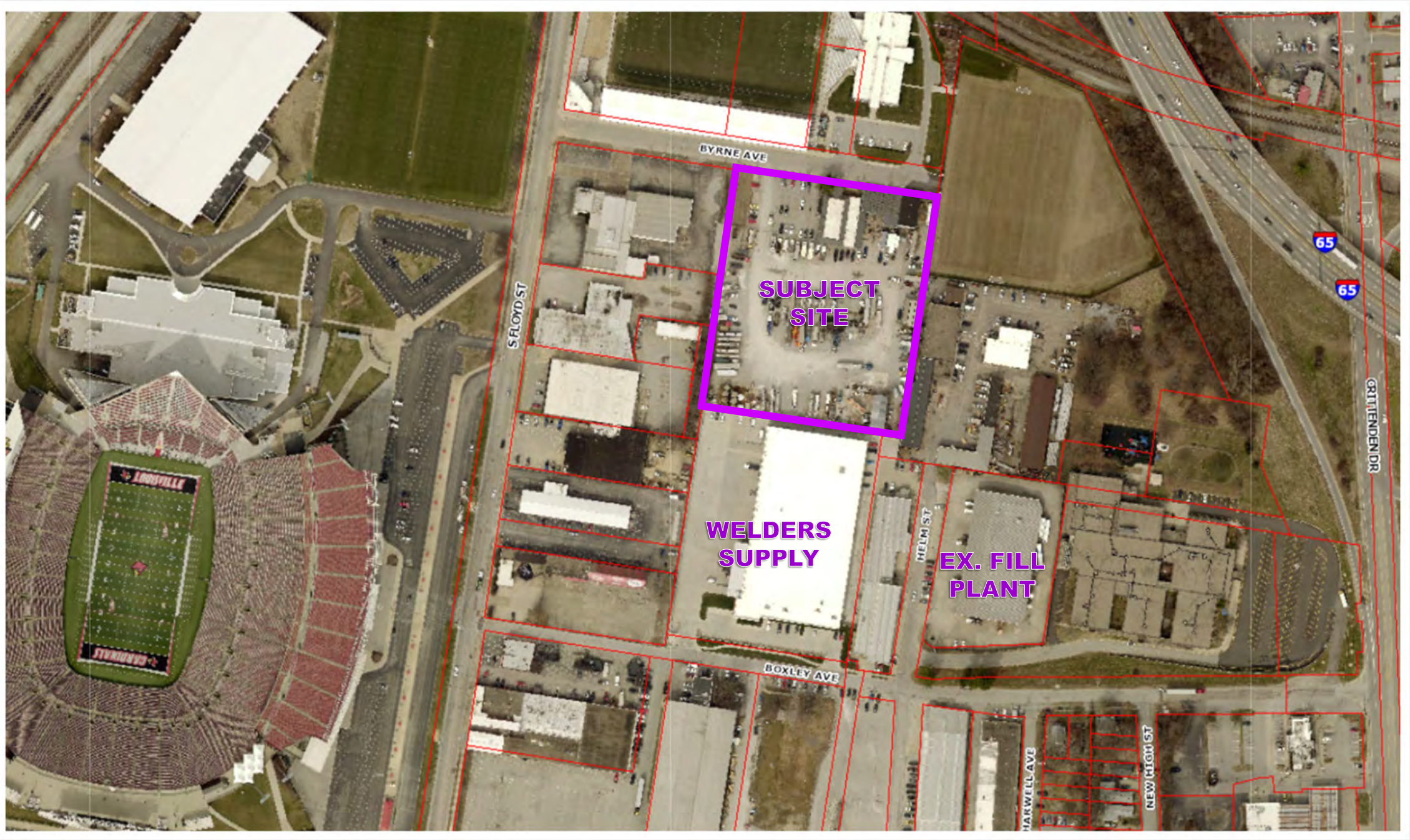
KELLI JONES - SABAK, WILSON & LINGO, INC.



ZONING MAP



AERIAL MAP - Context



AERIAL MAP - Site



SITE IMAGES – Welders Supply



SITE IMAGES – Ex. Fill Plant



SITE IMAGES – Subject Site



SITE IMAGES – Across Byrne



SITE IMAGES – Parks Property



DEVELOPMENT PLAN

K:_005\005\1240-006-24306_461.dwg 12/8/2023

GENERAL NOTES

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- EROSION & SILT CONTROL, X-SOL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND APPROVED IN A COORDINATE WITH THE DESIGN MANUAL STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA (FEMA MAP 21103002N, DECEMBER 5, 2006).
- SANITARY SEWER SERVICE PROVIDED BY EXISTING P&S. SUBJECT TO FEES AND ANY APPLICABLE CHARGES.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.G.A." REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
- CONSTRUCTION PLANS, BOND & PERMIT REQUIRED FOR ALL WORK DONE WITHIN THE RIGHT-OF-WAY.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT EXCESSIVE PARTICULATE EMISSION FROM TRAILING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- THE DEVELOPMENT LIES IN THE LOUISVILLE #3 FIRE DISTRICT.
- ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH CHAPTER 15 OF THE LAND DEVELOPMENT CODE. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: PROGRAM TANKS, DAMPERS, VALVE BOXES, ELECTRIC TRANSFORMERS AND TELECOM BOXES.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH & WELFARE IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- ALL EXISTING STRUCTURES ON SITE TO BE REMOVED.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSD WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LANDS MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SLOPE OR OTHER BEST MANAGEMENT PRACTICES.
- SITE DISCHARGES INTO THE EXISTING SANITARY SEWER SYSTEM AND SHALL LIMIT THE 100-YEAR FLOOD DEVELOPED DISCHARGE TO THE 10-YEAR PRE-DEVELOPED DISCHARGE PER SECTION 10.3.1.2 OF THE MSD DESIGN MANUAL.

EPSC NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DEVELOPING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC IMPV SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTROLLING CHARGE AREAS ARE SEEDS AND STABILIZED.

ACTIONS MUST BE TAKEN TO MAINTAIN THE TRACKING OF W&S AND SOL FROM CONSTRUCTION AREAS DATED PUBLIC ROADWAYS. SOLS TRACKED DURING THE ROADWAY SHALL BE REMOVED DAILY.

SOL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, WALES AND CATCH BASINS. STOCKPILES SHALL BE SEDED, WALED, AND ABSOLUTELY CONTAINED THROUGH THE USE OF SILT FENCING.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING 00-10.

WHERE CONSTRUCTION OR LAND DEVELOPMENT ACTIVITY WILL OR HAS TEMPORARILY EXCEEDED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NOT LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, DRAINAGE OR CATCH BASIN.

EPSC PHASING

- INSTALL TEMP CONSTRUCTION ENTRANCE, SILENT PROTECTION & SILT FENCE.
- BEGIN CONSTRUCTION.
- REMOVE SILT FENCES AND SILENT PROTECTION ONCE SITE IS STABILIZED & VEGETATION IS ESTABLISHED.

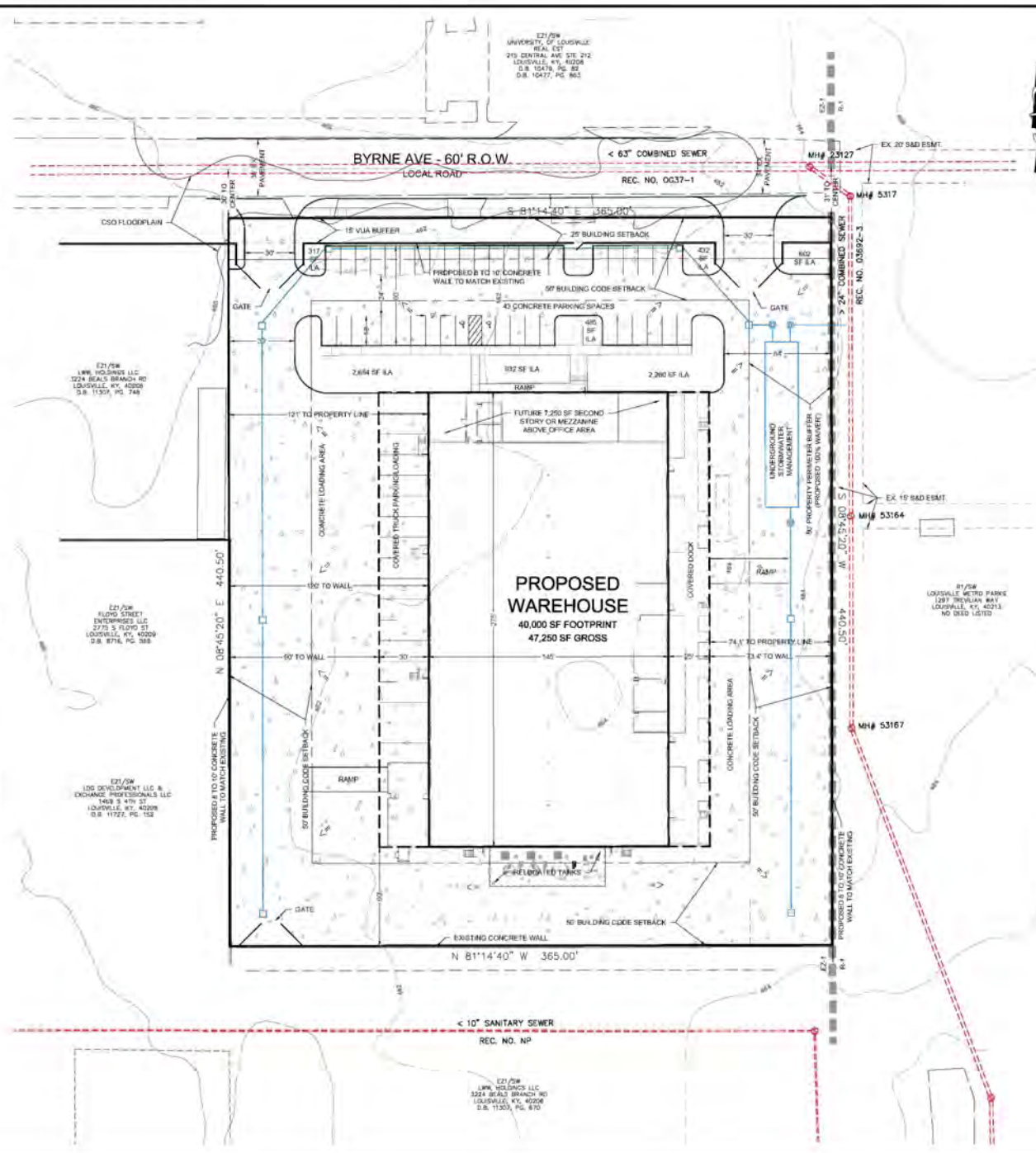
UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR OR SUBCONTRACTOR SHALL VERIFY THE UTILITY PROTECTION CENTER (ULC) (TOLL FREE PHONE NO. 1-800-361-2844) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (E.G. CANALS, ELECTRIC, WATER, GAS AND WATER MAINS). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE FEDERAL SPECIFICATIONS AND SPECIAL PROVISIONS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, NATURE, AND STATUS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN ON THE PLANS OR NOT AND SHALL EXTEND ADJUST OF RECONSTRUCT TO THE SIZE AND LOCATION AS SHOWN ON THE ARCHITECT'S PLANS.

LEGEND

- EX. SANITARY SEWER
- PROP. STORM SEWER
- DRAINAGE FLOW ARROWS
- EX. Easement
- EX. ZONING BOUNDARY



SITE DATA

EXISTING ZONING DISTRICT:	U2
FORM DISTRICT:	2ND
EXISTING USE:	INDUSTRIAL
PROPOSED USE:	INDUSTRIAL
SITE AREA:	1.69 AC (180,385 SF)
BUILDING FOOTPRINT:	40,000 SF
GRASS BUILDING AREA:	47,250 SF
BUILDING HEIGHT:	10'
MAX. PERMITTED HEIGHT:	10'
FAIR:	0.29

TREE CANOPY REQUIREMENTS

SITE AREA:	180,385 SF
EXISTING TREE CANOPY:	0 SF (0%)
TREE CANOPY REQUIRED:	40,196 SF (22%)

* ASSUMING USE OF COOL PAVEMENT OR COOL AGG.

ILA CALCULATIONS

PROPOSED VLA:	58,078 SF
LA REQUIRED (7.5%):	7,259 SF
LA PROVIDED:	7,259 SF
REQUIRE TREES:	21 TREES*

* ALL REQUIRED LA TREES WILL NOT FIT ON THE SUBJECT SITE SO THE FEE-IN-USE OPTION WILL BE PURSUED.

IMPERVIOUS AREA CALCULATIONS

SITE AREA:	180,385 SF
EXISTING IMPERVIOUS:	183,794 SF
PROPOSED IMPERVIOUS:	183,794 SF
DIFFERENCE:	-5,000 SF

PARKING CALCULATIONS

PROPOSED EMPLOYEES:	25 (EMPLOYEES PER SHIFT)
PARKING REQUIRED:	33 SPACES
(1 SPACE PER 1.5 EMPLOYEES MAIN +2ND SHIFT)	
FARKING ALLOWED:	30 SPACES
(1 SPACE PER EMPLOYEE MAIN +2ND SHIFT)	
FARKING PROVIDED:	43 SPACES

BIKE PARKING
BIKE SPACES REQUIRED: 2 LONG TERM
BIKE SPACES PROVIDED: 2 LONG TERM (INSIDE BUILDING)

ADDITIONAL REQUESTS

- WALKWAY OF LOC 10.2.4 TO NOT PROVIDE THE REQUIRED LANDSCAPE BUFFER ALONG THE EAST PROPERTY LINE.
- INSTALL TREE FEE-IN-USE TO MEET TREE CANOPY AND LA TREE REQUIREMENTS.

LOCATION MAP

NOT TO SCALE

SABAK, WILSON & LINGO, INC
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
THE KEMP CLAY
808 S. THIRD STREET, SUITE 200
LOUISVILLE, KY 40203
(502) 584-1821

SHEET TITLE:	CONDITIONAL USE PERMIT PLAN
PROJECT TITLE:	WELDERS SUPPLY FILL PLANT
TAX BLOCK SEC. LOT 5	340 BYRNE AVENUE, LOUISVILLE, KY 40209
DEVELOPER:	WELDERS SUPPLY 331 BOXLEY AVENUE, LOUISVILLE, KY 40209

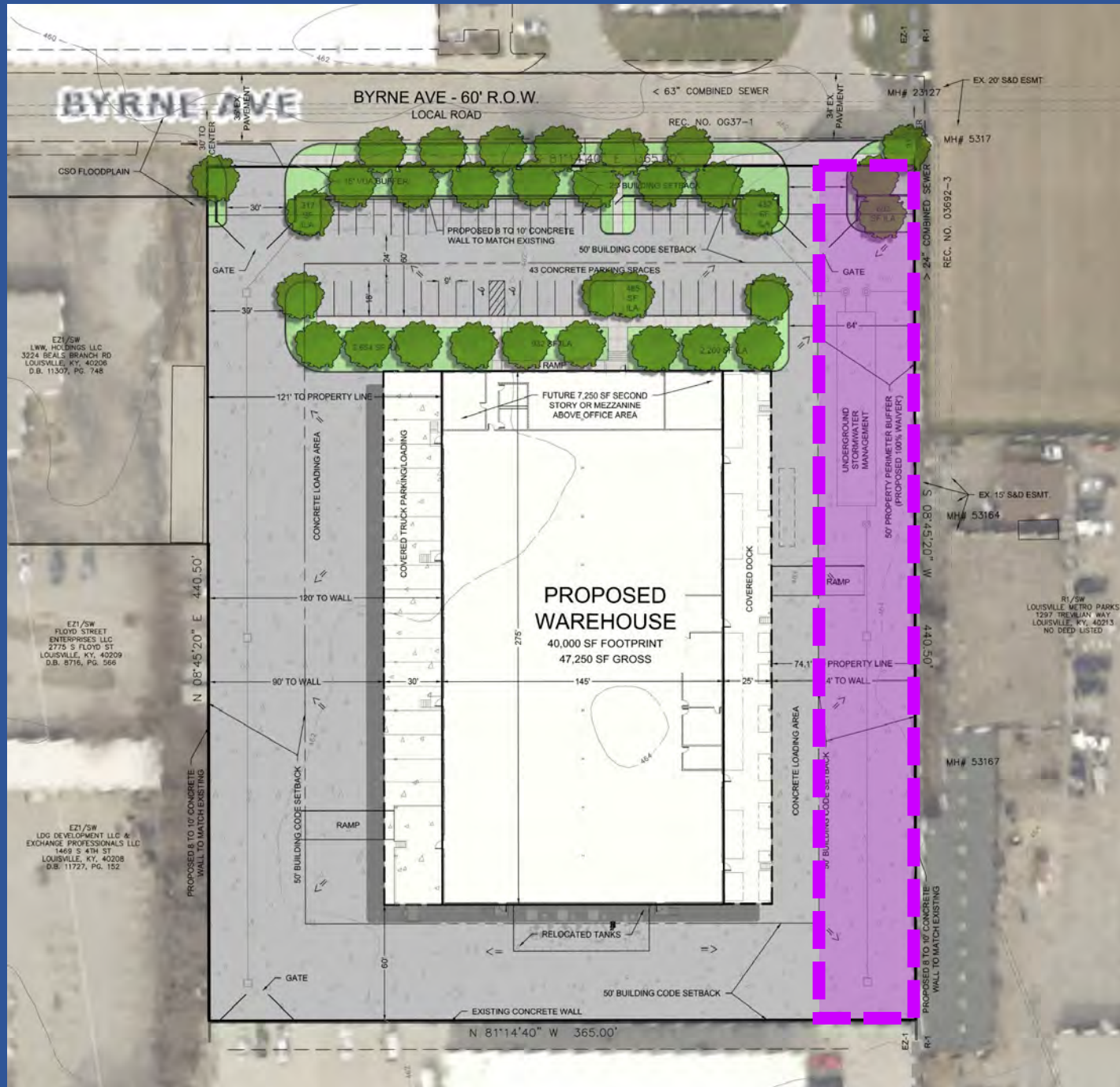
DATE: 08/05/2023
DRAWING NO: CUP
SHEET: 1 OF 1

PROPOSED PLAN



- 40,000 SF Footprint
- 43 Parking Spaces
- Concrete Wall Along Perimeter
- 2 Sided Loading
- Connection to existing Welder's Supply Facility

PROPOSED PLAN

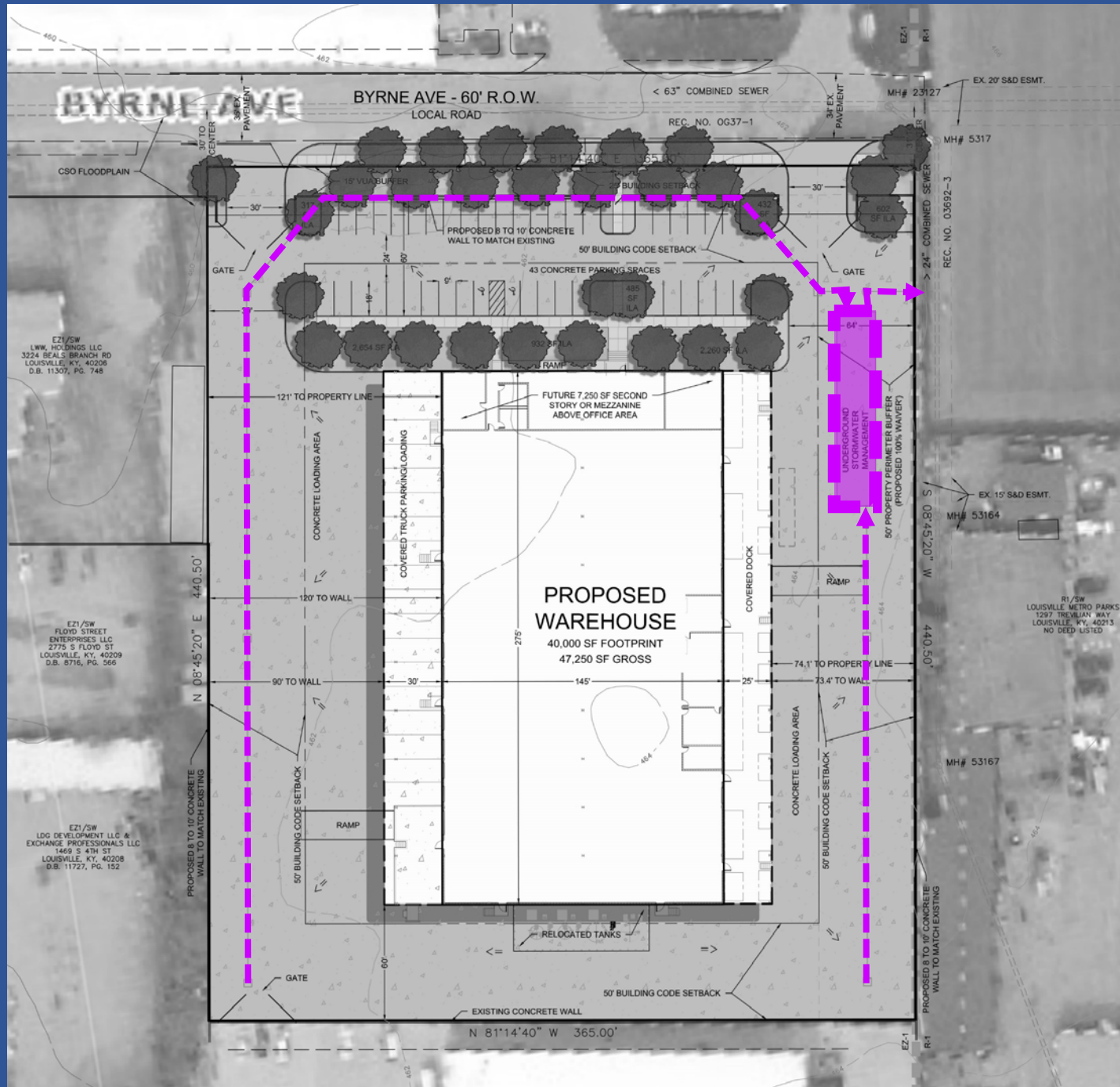


- Area Of Landscape Buffer Waiver
- Fee-In-Lieu For A Portion Of The Tree Canopy And To Fulfill ILA Tree Quantity Requirements.

Note: the proposed concrete wall is owner preference and not a requirement of any regulation.

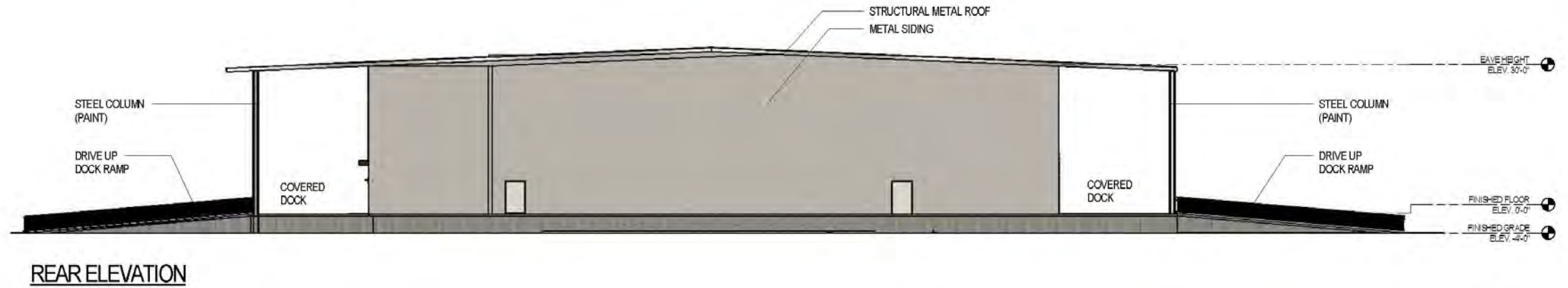
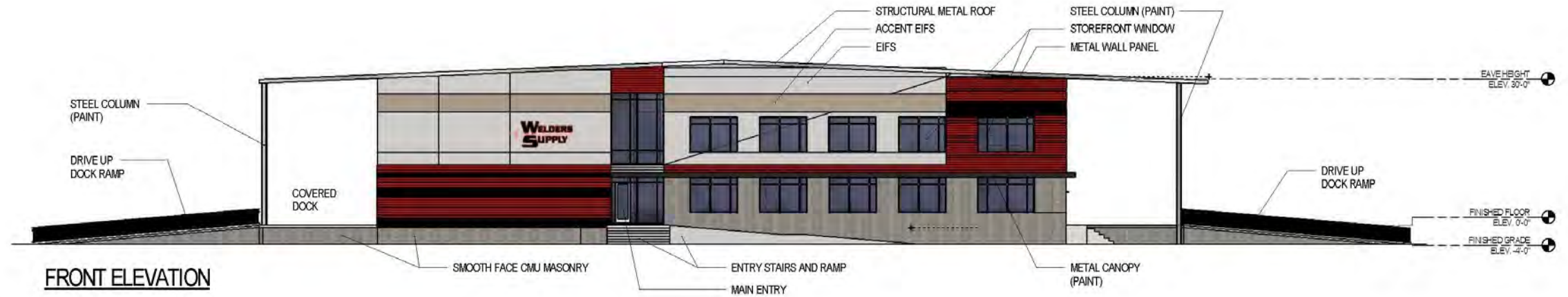
- Wall Location
- Gate

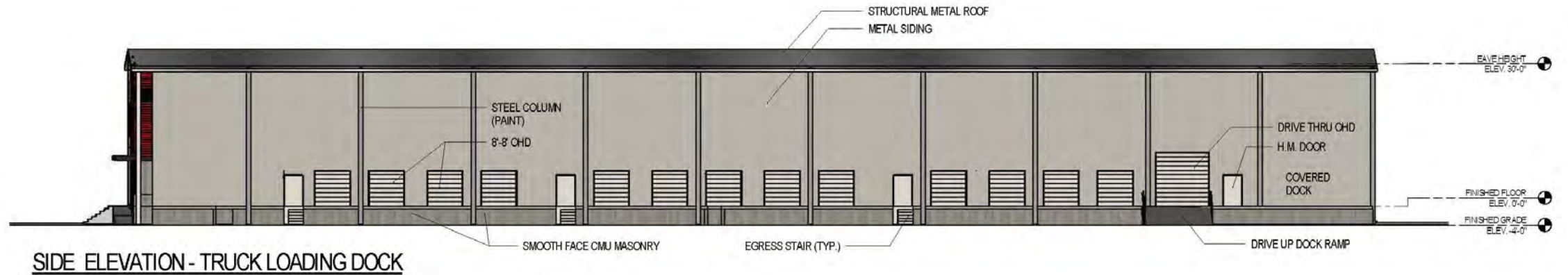
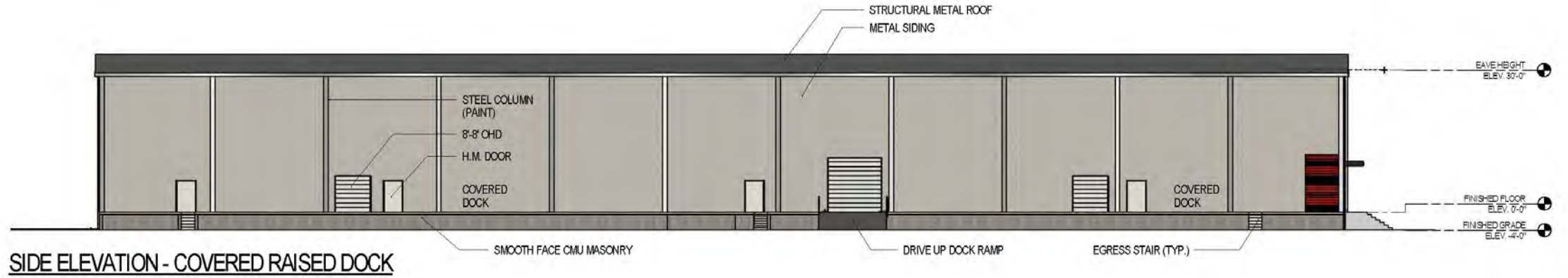
PROPOSED PLAN



- Stormwater Management

BUILDING ELEVATIONS





- Questions?