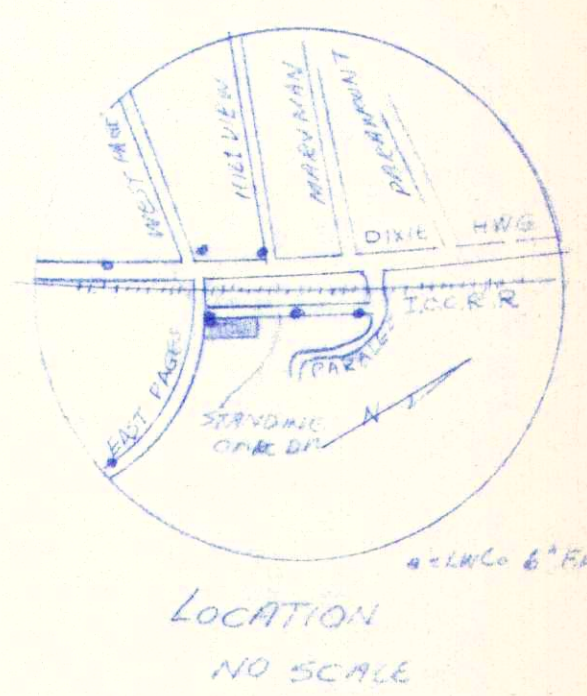
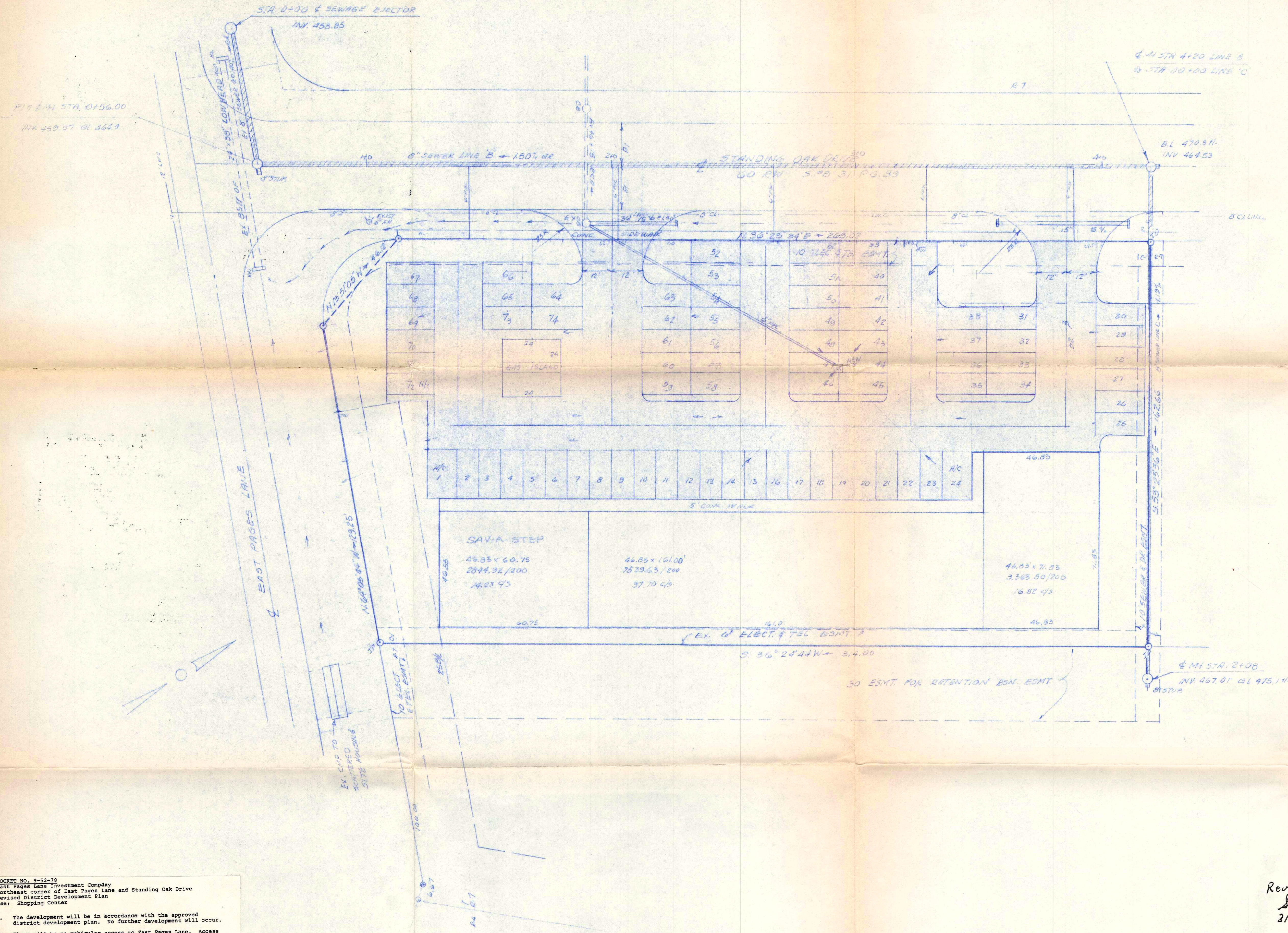




NOTICE
 PERMITS SHALL BE ISSUED
 ONLY IN CONFORMANCE WITH THE
 BINDING ELEMENTS OF THIS DISTRICT
 DEVELOPMENT PLAN

LOUISVILLE AND JEFFERSON COUNTY
 Revised
 APPROVED DISTRICT
 DEVELOPMENT PLAN
 DOCKET NO. 9-52-78
 APPROVAL DATE March 22, 1984
 EXPIRATION DATE 1 yr. - March 22, 1985
 SIGNATURE OF PLANNING COMMISSION SECRETARY
 Kathy Mulvey
 Sec. Binding
 Elements
 PLANNING COMMISSION

PRELIMINARY REVIEW
 DEVELOPMENT PLAN

MUST MEET ORDINANCE 28
 MARCH 15 84
 JEFF. CO. FIRE DEPT. CHIEF
 Dan W. Kelly

Review without approval
 Steve Insler
 3/15/84
 O.K. for docket - reviewed
 w/o approval Water Management
 Mr. Evans
 3/15/84

Approval Rescinded on
 April 26, 1984

RECEIVED
 MAR 1 5 1984

LOUISVILLE & JEFFERSON COUNTY
 PLANNING COMMISSION



REVISIONS	DATE	DESCRIPTION
1		EAST PAGES LANE SHOPPING CENTER
2		MASTER DEVELOPMENT PLAN
3		FOR JAMES HALL BLDG. 70.6311 HUNTER'S TRACE
4		100. KY 20258
5		DRAWN BY W.G.K.
6		DATE 3-16-84
7		SCALE 1/4" = 20'

- DOCKET NO. 9-52-78
 East Pages Lane Investment Company
 Northeast corner of East Pages Lane and Standing Oak Drive
 Revised District Development Plan
 Use: Shopping Center
- The development will be in accordance with the approved district development plan. No further development will occur.
 - There will be no vehicular access to East Pages Lane. Access will be as shown on the approved district development plan.
 - The development shall not exceed 13,750 square feet of gross floor area.
 - The sale of alcoholic beverages for carry-out or for consumption on the premises will not be permitted on the site.
 - Any lighting on the site will be directed away from adjoining residentially zoned property.
 - Before building permits are issued:
 - the development plan must be reapproved by the Transportation Engineering, Water Management and Fire Safety Sections of the Jefferson County Public Works and Transportation Cabinet.
 - the size and location of any proposed signs must be approved by the Planning Commission. The Planning Commission may require that signs be smaller than otherwise would be permitted by the Zoning District Regulations.
 - If certificates of occupancy are not issued within one year of the date of approval of the plan the property shall not be used in any manner unless a revised district development plan is approved or an extension is granted by the Planning Commission.
 - A certificate of occupancy must be received from the appropriate code enforcement office prior to occupancy of the structure or land for the proposed use.
 - The above binding elements may be amended as provided for in the Zoning District Regulations.

68.75 4/5 REQD. VS 74 SHOWN

9-52-78