



Louisville-Jefferson County Metro Government

PLANNING AND DESIGN SERVICES

METRO DEVELOPMENT CENTER 444 SOUTH 5th STREET SUITE 300

LOUISVILLE, KENTUCKY 40202

Phone: (502) 574-6230 Website: <https://louisvilleky.gov/government/planning-design>

Certificate of Appropriateness Application

Case Number: 21-COA-0005

Submittal Date: 01/14/2021

Intake Staff: Skyler Petty

Application Information

Primary Address: 1728 PAYNE ST, LOUISVILLE, KY 40206
Primary Parcel Id: 070B00360000
Project Description: A certificate of appropriateness for a multi unit condo on 0.30 acres in the R5 zoning district
Project Name: Clifton - Multi Unit Condo

GENERAL INFORMATION

Acres	0.2955
Dwelling Units	10
Historic Preservation District	CLIFTON
Land Use General	Residential
Land Use Specific	Multi-Family
New Building Square Feet	11552
Number of Meeting Notification Postcards	23
PVA Assessed Value	95000
Project Cost	1200000
Rooms	0

GIS INFORMATION

Council District	9
Current Subdivision Name	NONE
Fire Protection District	CITY OF LOUISVILLE
Form District	TRADITIONAL NEIGHBORHOOD
Historic Site	NO

Municipality	LOUISVILLE
National Register District	NONE
Overlay District	NONE
Plan Certain	NONE
Plat Book - Page	NONE
System Development District	NO
Zoning Code	R5

Owner Information

Name: DUFFY, PROPERTIES FRANCK LLC
Address: 1728 Payne Street, LOUISVILLE, KY 40206

Contact Information

Type: Applicant

Name: Jessica Murphy

Address:

Phone:

Email: jessie@rockpaperhammer.com

Type: Property Owner

Name: James Duffy

Address: 1728 Payne Street
Louisville KY 40206

Phone:

Email: james@beargrassdevelopment.com

Type: Attorney

Name: Jon Baker

Address: 400 West Market St., Suite 2000
Louisville KY 40202

Phone:

Email: jbak@wyattfirm.com

Owner Certification Statement

Application Submitted By: Jessica Murphy

I hereby certify that I am the owner of property subject of this application, or that I am authorized to submit this application on behalf of the owner(s) of the property. I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

Location

Parcel ID:	070B00360000
Parcel LRSN:	56518
Address:	NONE

Zoning

Zoning:	R5
Form District:	TRADITIONAL NEIGHBORHOOD
Plan Certain #:	NONE
Proposed Subdivision Name:	NONE
Proposed Subdivision Docket #:	NONE
Current Subdivision Name:	NONE
Plat Book - Page:	NONE
Related Cases:	NONE

Special Review Districts

Overlay District:	NO
Historic Preservation District:	CLIFTON
National Register District:	NONE
Urban Renewal:	NO
Enterprise Zone:	YES
System Development District:	NO
Historic Site:	NO

Environmental Constraints**Flood Prone Area**

FEMA Floodplain Review Zone:	NO
FEMA Floodway Review Zone:	NO
Local Regulatory Floodplain Zone or	
Combined Sewer Floodprone Area:	YES
Local Regulatory Conveyance Zone:	NO
FEMA FIRM Panel:	21111C0027E

Protected Waterways

Potential Wetland (Hydric Soil):	NO
Streams (Approximate):	NO
Surface Water (Approximate):	NO

Slopes & Soils

Potential Steep Slope:	NO
Unstable Soil:	NO

Geology

Karst Terrain:	YES
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Sewer & Drainage

MSD Property Service Connection:	NO
Sewer Recapture Fee Area:	NO

Services

Municipality:	LOUISVILLE
Council District:	9
Fire Protection District:	LOUISVILLE #4
Urban Service District:	YES



Landmarks Certificate of Appropriateness & Overlay District Permit

Louisville Metro Planning & Design Services

Case No.: _____ Intake Staff: _____

Date: _____ Fee: _____

Instructions:

For detailed definitions of *Certificate of Appropriateness* and *Overlay District Permit*, please see page 4 of this application. Applications for *Signage* are no longer submitted to Planning & Design Services. Applications for Signage are to be made directly to the Construction Review Division.

Project Information:

Certificate of Appropriateness: ☐ Butchertown ☒ Clifton ☐ Cherokee Triangle ☐ Individual Landmark
☐ Limerick ☐ Old Louisville ☐ Parkland Business ☐ West Main Street

Overlay Permit: ☐ Bardstown/Baxter Ave Overlay (BRO) ☐ Downtown Development Review Overlay (DDRO)
☐ Nulu Review Overlay District (NROD)

Project Name: 1728 Payne Street

Project Address / Parcel ID: 1728 Payne Street, Louisville, KY 40206 / 070B00360000

Deed Book(s) / Page Numbers²: Deed Book 11005 Pages 990-993

Total Acres: .2955

Project Cost: \$1,200,000.00 PVA Assessed Value: \$95,000.00

Existing Square Feet: 700 New Construction Square Feet: 11,552 Height (ft.) 36'-8" Stories: 3

Project Description (*use additional sheets if needed*):

See attached

Contact Information:

Owner: ☐ *Check if primary contact*

Applicant: ☒ *Check if primary contact*

Name: Duffy Properties Franck, LLC

Name: Jessica Murphy

Company: Duffy Properties Franck, LLC

Company: RPH Studio, LLC

Address: 1728 Payne Street

Address: 2016R New Main Street

City: Louisville State: KY Zip: 40206

City: Louisville State: KY Zip: 40206

Primary Phone: 502-432-9355

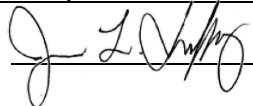
Primary Phone: 502-794-0784

Alternate Phone: _____

Alternate Phone: _____

Email: james@beargrassdevelopment.com

Email: jessie@rockpaperhammer.com

Owner Signature (required): 

Attorney: ☐ *Check if primary contact*

Plan prepared by: ☒ *Check if primary contact*

Name: Jon Baker

Name: Jessica Murphy

Company: Wyatt, Tarrant & Combs, LLP

Company: RPH Studio, LLC

Address: 400 West Market St., Suite 2000

Address: 2016R New Main Street

City: Louisville State: KY Zip: 40202

City: Louisville State: KY Zip: 40206

Primary Phone: 502-562-7316

Primary Phone: 502-794-0784

Alternate Phone: _____

Alternate Phone: _____

Email: jbaker@wyattfirm.com

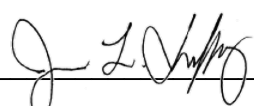
Email: jessie@rockpaperhammer.com

Certification Statement: A certification statement **must be submitted** with any application in which the owner(s) of the subject property is (are) a limited liability company, corporation, partnership, association, trustee, etc., or if someone other than the owner(s) of record sign(s) the application.

I, James L. Duffy, in my capacity as Member, hereby
representative/authorized agent/other

certify that Duffy Properties Frank, LLC is (are) the owner(s) of the property which
name of LLC / corporation / partnership / association / etc.

is the subject of this application and that I am authorized to sign this application on behalf of the owner(s).

Signature:  Date: 01/13/2021

I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false

Contact Information:

Information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

Please submit the completed application along with the following items:

Project information

- x Land Development Report¹
- x Current photographs showing building front, specific project area, and surrounding buildings
- ☐ Pictures, samples, brochures, or other technical data describing materials, such as windows, doors, roofing, fencing, etc. to be used in the renovation or replacement
- x One map of the project area and surrounding properties (may be obtained from <http://www.lojic.org/> using the *LOJIC Online Map*)

Site plan (see site plan example on next page)

- x Two sets of site plans drawn to scale with dimensions, as applies to the project, indicating property lines, structures, landscaping, fencing, and parking
- x Two copies of floor plans drawn to scale with dimensions and each room labeled
- x Two copies of elevation drawings (a drawing showing exterior walls) *drawn to scale* with dimensions. For fencing, only photos/drawings of the proposed fence are required.

Committee Review Only

Committee reviews may be required due to the complexity of the case. The necessity of these items will be determined by staff upon review. Projects requiring committee level review include construction of new buildings, demolition, and projects that vary widely from design guidelines.

- x Two sets of 11"x17" format site plans drawn to scale with dimensions
- x Two sets of 11"x17" elevation drawings to scale with dimensions
- ☐ Two sets of 11"x17" landscaping drawings to scale with dimensions
- x One set of mailing label sheets for: 1st tier Adjoining Property Owners (APOs)³, owners, applicants, contacts, and Case Manager. Applicant is responsible for mailing.
- x One copy of the mailing label sheets

Resources:

1. Detailed instructions to obtain a Land Development Report are available online at: <http://ags2.lojic.org/lojiconline/>
2. Deeds and plats can be found at the Jefferson County Clerk's Office, located at the 2nd floor of Metro Hall (527 West Jefferson Street, telephone: 502-574-6220). Many deeds, plats and other records are available online at: <http://www.landrecords.jcc.ky.gov/records/S0Search.html>
3. Adjoining property ownership information can be found at the Property Valuation Administrator (PVA) office at 531 Court Place, Suite 504 or via their website: <https://jeffersonpva.ky.gov/>
4. View agency comments at: <http://portal.louisvilleky.gov/codesandregs/mainsearch>. Enter your case number in the 'Permit/Case/Docket Number' search bar and then select your case under the 'Application Number' tab.

Submittal Instructions:

Applications are due on Fridays at 5:00 p.m. Once complete, please bring the application and supporting documentation to: Planning and Design Services, located at 444 South 5th Street, Suite 300. For more information, call (502) 574-6230 or visit <http://www.louisvilleky.gov/PlanningDesign>.

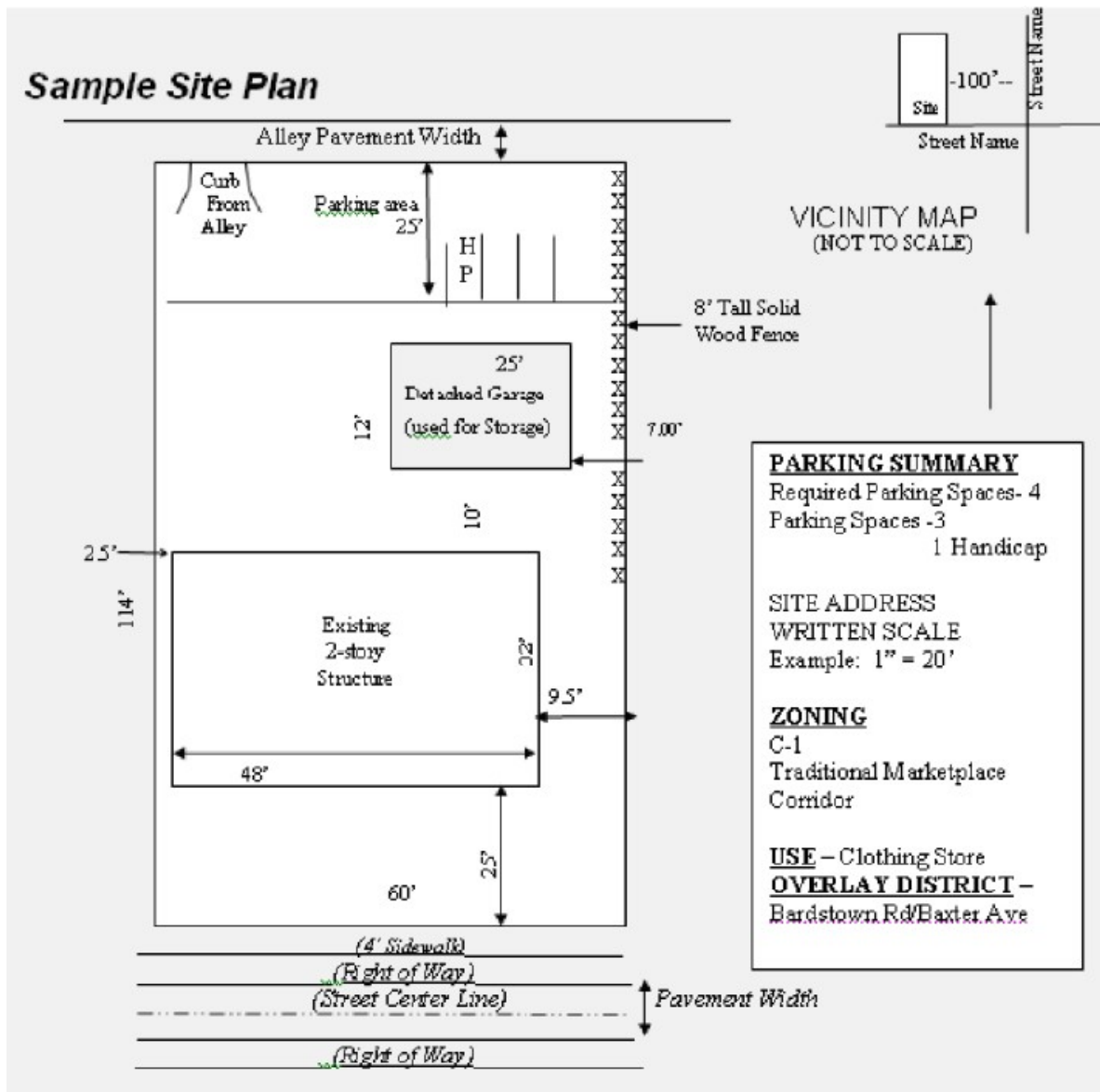
Definitions:

Certificate of Appropriateness: A project involving physical changes to the exterior of a building, structure, or property designated as a local landmark or located within a local preservation district shall require prior approval in the form of a Certificate of Appropriateness. An approval requires substantial conformance to design guidelines established for each landmark and district. The design guidelines, along with other information regarding local preservation districts, may be found at the website of the Landmarks and Preservation Districts Commission:

<http://www.louisvilleky.gov/PlanningDesign/Historic+Landmarks+and+Preservation+Districts+Commission.htm>

Overlay District Permit: A project involving physical changes to the exterior of a building, structure, or property within an overlay district shall require prior approval in the form of an Overlay Permit. An approval requires substantial conformance to design guidelines established for each overlay district. The design guidelines, along with other information regarding overlay districts, may be found at the following website:

<http://www.louisvilleky.gov/PlanningDesign/Overlay+Districts.htm>





January 12, 2021

Proposed Work

20-005_1728 Payne Street

1728 Payne Street

Louisville, KY 40206

The proposed work for this project includes the demolition of an existing structure at the rear of the property. It is a painted CMU building that is currently vacant. See attached photos of site and structure:



Site with existing accessory structure at rear of property



Existing Residence

The proposed new work consists of a 10 unit multi-family condo building that is two stories at the front of the building and three stories at the rear. This emulated camel back form is meant to relate to the neighboring shotgun homes that are typical along Payne Street. The new structure would be of a more contemporary design consisting of corrugated metal panels, IPE wood siding and stone. The property would take advantage of four on street parking spaces directly in front of the property as well as a bicycle (interior and exterior) and vehicle parking lot in the rear of the property with alley access.

The North façade facing Payne street is partially set back to provide more variety from the street. The varied front façade setback is designed to align with the adjacent buildings along the South side of Payne street which are oriented at an angle. The intent of partially setting back the façade is so that it appears more like two separate facades that would be more in scale with the neighboring residences than a massive, large wall. In addition to physically setting the façade back, there are also a variety of materials to break up the façade and help keep the building in scale with the neighboring buildings.

The front, two story portion of the building would have partial parapet walls and railing with a roof terrace above, while the rear roof would be flat with slightly varying heights and partial parapet walls. While the roof would be a departure from the neighboring buildings, this stretch of Payne Street has a wide variety of designs, materials and roof lines.



Images showing proposed structure and the variety of architectural styles along this stretch of Payne Street

The front, two story portion of the building is 25'-4", while the rear portion is 36'-8" tall. Though this building would be taller than the adjacent buildings at its highest point (towards the rear), we have designed it to minimize the height difference as much as possible. The emulated camel back form will keep the proposed building in scale with the neighboring homes from the Payne Street perspective. The North side of Payne street is elevated a couple feet from the South side of Payne street, so that would also help to minimize the height difference between the proposed structure and the two story buildings across the street.

We have included some of the multi-family structures in the vicinity. There are a variety of designs, some of which are not oriented to Payne Street. We wanted to try to

engage more with Payne Street and the pedestrian scale with the street facing façade of the proposed building. The proposed building would be somewhat similar in width (approximately 3-4 feet wider) and height at the front facade to 1900-1902 Payne Street.



1729 Payne Street
Estimated 32'-2" from Sidewalk to top of roof



1733 Payne Street
Estimated 30'-0" from Sidewalk to top of roof



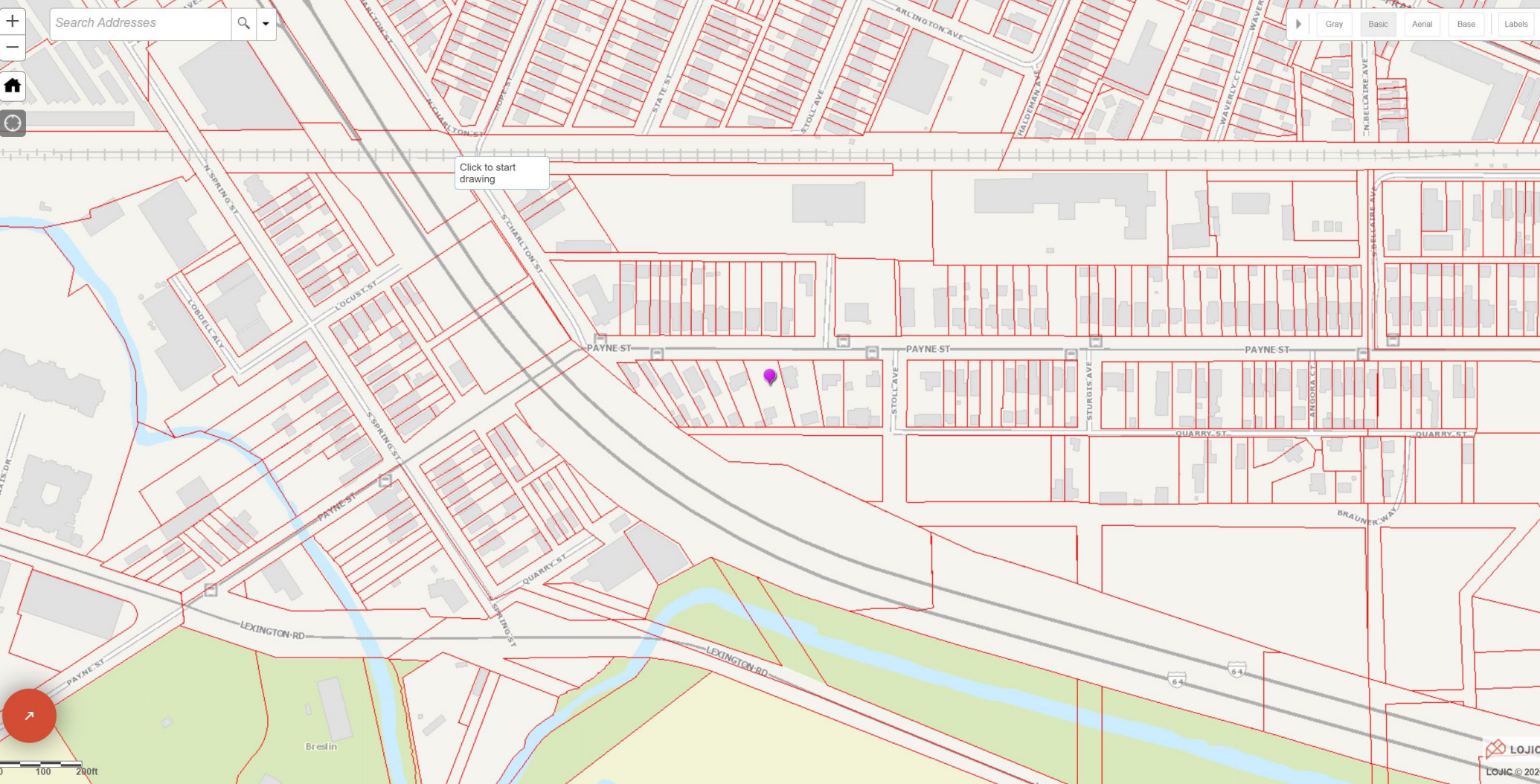
1827-1829 Payne Street

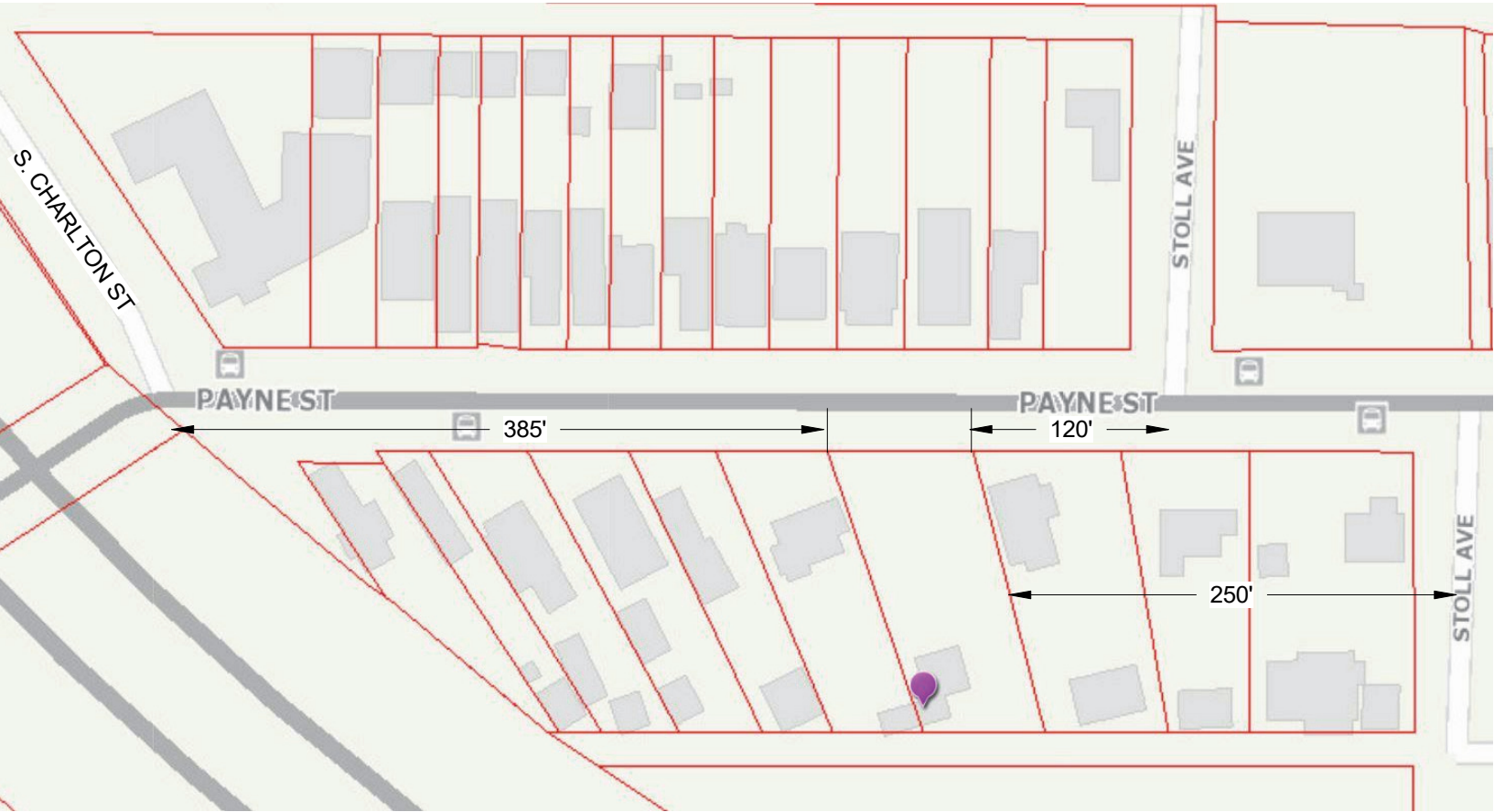
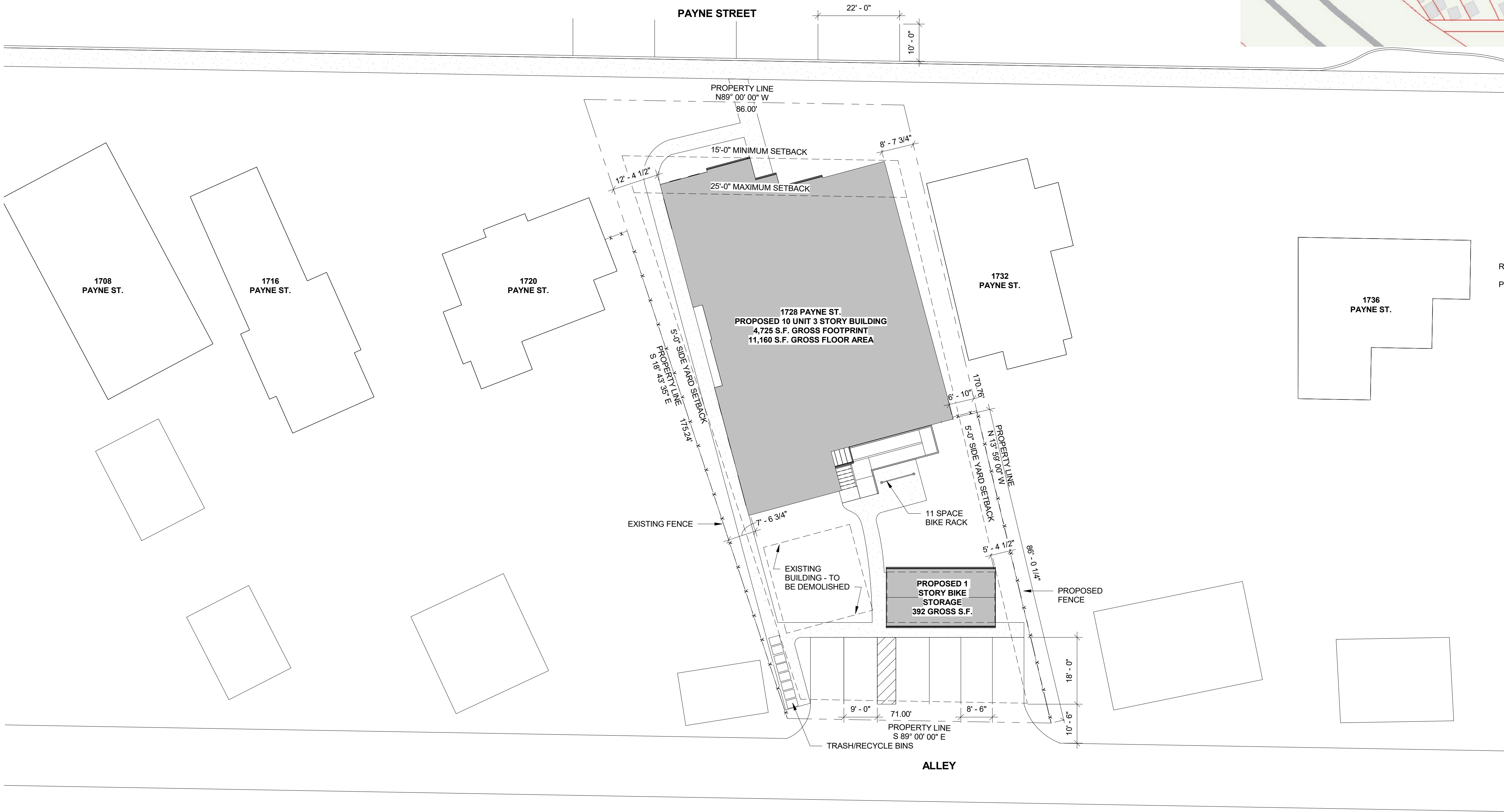


1916 Payne Street



1900-1902 Payne Street





VICINITY MAP (NOT TO SCALE)

ZONING

- CURRENT ZONING = R-5
- DESIRED ZONING = R-7
- TRADITIONAL NEIGHBORHOOD
- CLIFTON PRESERVATION DISTRICT

PARKING SUMMARY

- REQUIRED PARKING = 0 PARKING MIN., 20 MAX
- PROVIDED PARKING = 10 PARKING SPACES
- 4 PARKING SPACES PROVIDED ALONG PAYNE STREET
- 6 PARKING SPACES PROVIDED IN THE REAR PARKING AREA (1 HC SPACE)
- 11 EXTERIOR BIKE PARKING SPACES
- 20 INTERIOR BIKE STORAGE SPACES

SITE

- ARES: 29550 (12,872 S.F.)
- PARCEL ID: 070B00360000



1 Site Plan
1/16" = 1'-0"



2016R New Main Street
Louisville, KY 40206
Emily Fisher Paprocki, AIA
502.235.8086
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Jessica Ellison Murphy, AIA
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- 10 Residential Units -
1728 Payne Street
Louisville, KY 40206

Architectural Site Plan

Description	Date
Preliminary Design Not For Construction	
Project number	20-005
Date	1/12/2021
Drawn by	JEM
Checked by	JEM
A0.1	
Scale	1/16" = 1'-0"



1 First Floor
1/4" = 1'-0"



2016R New Main Street
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- 10 Residential Units -
1728 Payne Street
Louisville, KY 40206

First Floor Plan

Description	Date

Preliminary Design Not For Construction	
Project number	20-005
Date	1/12/2021
Drawn by	JEM
Checked by	JEM

A1.1

Scale 1/4" = 1'-0"

1/12/2021 1:49:37 PM



① North Elevation
1/4" = 1'-0"



2016R New Main Street
Louisville, KY 40206

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- 10 Residential Units -
1728 Payne Street
Louisville, KY 40206

Exterior Elevation

Description	Date
Preliminary Design Not For Construction	
Project number	20-005
Date	1/12/2021
Drawn by	JEM
Checked by	JEM

A4.0

Scale 1/4" = 1'-0"



① South Elevation
1/4" = 1'-0"



2016R New Main Street
Louisville, KY 40206

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- 10 Residential Units -
1728 Payne Street
Louisville, KY 40206

Exterior Elevation

Description	Date

Preliminary Design Not For Construction	
Project number	20-005
Date	1/12/2021
Drawn by	JEM
Checked by	JEM

A4.2

Scale 1/4" = 1'-0"

① West Elevation
1/4" = 1'-0"



rph
studio
architecture + design

RENDERING FOR CONCEPTUAL PURPOSES ONLY

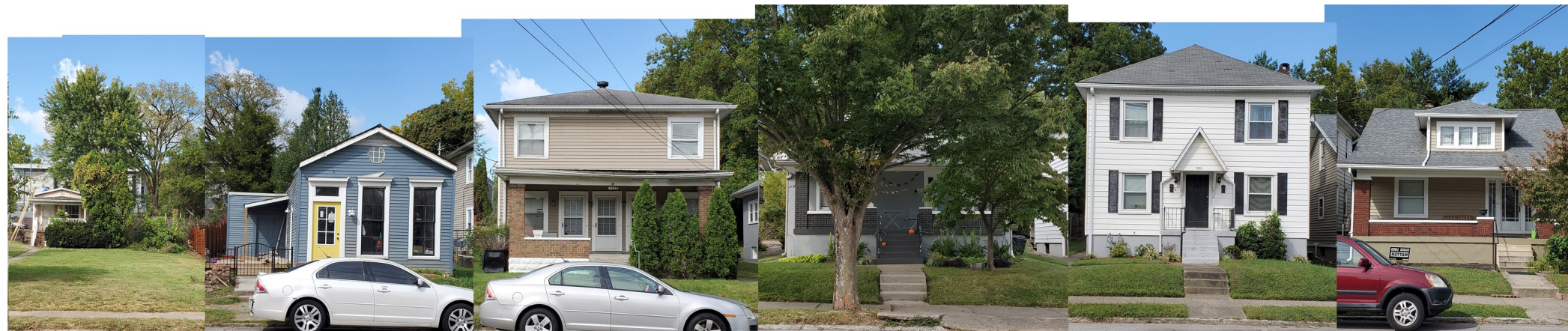




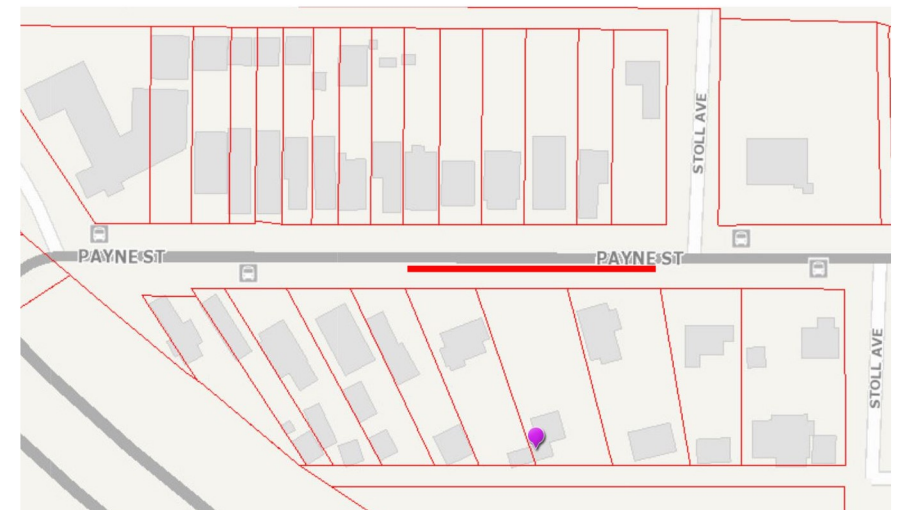
North Side of Payne Street



South Side of Payne Street



Enlarged view of the proposed building and the buildings across Payne Street



Clifton COA Application
1728 Payne Street
Louisville, KY 40206

Subject Property -----▶

070B-0036-0000
Duffy Properties Franck, LLC
1728 Payne Street
Louisville, KY 40206

1st Tier APOs -----▶

070B-0035-0000
Russell Property Consultants LLC
221 Smithfields Drive
Louisville, KY 40207

070B-0038-0000
Betty and Theodore Satori
1732 Payne Street
Louisville, KY 40206

070B-0029-0000
Commonwealth of Kentucky
c/o Kentucky Dept. of Transportation
200 Mero Street
Frankfort, KY 40622

070A-0027-0000
Karen Reed
529 Barbee Avenue
Louisville, KY 40217

070A-0026-0000
Veena Chejerla Reddy
1731 Payne Street
Louisville, KY 40206

070A-0025-0000
Gary and Carolyn Murphy
8804 Denington Drive
Louisville, KY 40222

070A-0024-0000
Joe Fairleigh
455 Swing Lane
Louisville, KY 40207

2nd Tier APOs -----▶

070A-0042-0000
RWSS Properties LLC
1745 Payne Street
Louisville, KY 40206

070A-0028-0000
Debbie Berry and Paige Shank
1723 Payne Street
Louisville, KY 40206

070A-0023-0000
Pink Hammer Homes LLC
3044 Bardstown Road, PMB 1154
Louisville, KY 40205

070A-0022-0000
Rogers Street Firehouse LLC
1122 Rogers Street
Louisville, KY 40204

070B-0044-0000
Edward Elkins Jr. and Wende Elkins
1822 Payne Street
Louisville, KY 40206

070B-0028
Commonwealth of Kentucky
c/o Kentucky Dept. of Transportation
200 Mero Street
Frankfort, KY 40622

070B-0040-0000
Raymond Graf
1742 Payne Street
Louisville, KY 40206

070B-0039-0000
Randal and Teresa Phillips
1736 Payne Street
Louisville, KY 40206

070B-0034-0000
William and Paula Brauner
1716 Payne Street
Louisville, KY 40206

Others -----▶

Jon Baker, Esq.
Wyatt, Tarrant & Combs, LLP
400 West Market Street, Suite 2000
Louisville, KY 40202

James L. Duffy
Duffy Properties Franck, LLC
1815 Casselberry Road
Louisville, KY 40205

Jessica Murphy, AIA
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2016R New Main Street
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Terri Woolfolk, Paralegal
Wyatt, Tarrant & Combs, LLP
400 West Market Street, Suite 2000
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Bill Hollander
Council District 9
601 W. Jefferson Street
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Planning & Design Services
444 S. 5th Street, Suite 300
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1/12/2021