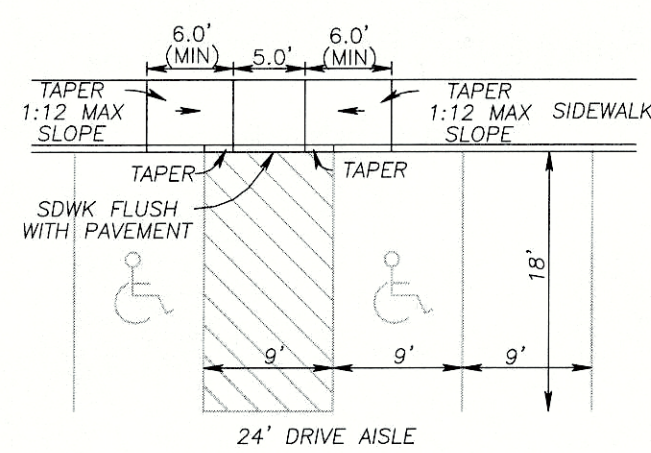




Typical Parking Layout

Legend

	Property Line
	Existing Fence
	Existing Sewerline
	Proposed Sewerline
	Wood/Vinyl Fence
	Ditch Line
	Flow Arrow
	Existing Storm Line
	Proposed Storm Line

MSD NOTES WM# 8851

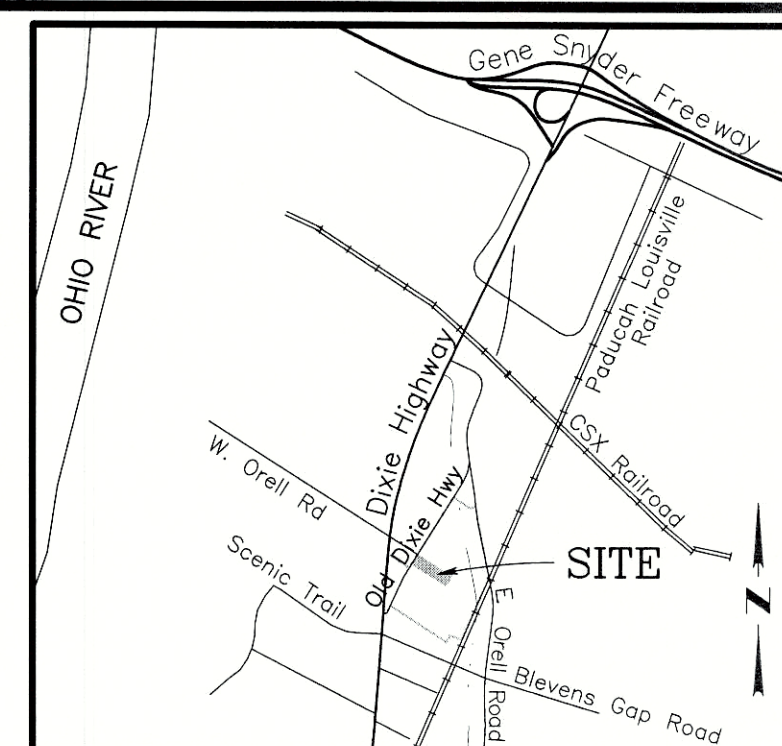
1. CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS.
2. SANITARY SEWER FLOW FROM THIS PROJECT WILL BE TREATED AT THE DEREK R. GUTHRIE WATER QUALITY TREATMENT CENTER. SANITARY SEWER CAPACITY AND FEES TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
3. THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCREMENTAL AREA OF DISTURBANCE SUMS EQUAL TO OR GREATER THAN 1. ACRES. PER THIS PRELIMINARY PLAN, THE AREA OF DISTURBANCE IS 38,763 S.F.
4. DETENTION WILL BE PROVIDED ON THE ADJACENT DETENTION BASIN APPROVED IN WATER MANAGEMENT # 9358
5. AN EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE APPROVED BY MSD.
6. U.S. CORP OF ENGINEERS WETLAND EVALUATION PROVIDED FOR CHURCH PROPERTY IN WATER MANAGEMENT # 9358.
7. ACOE APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
8. SANITARY SEWER SERVICE PROVIDED BY PROPERTY SERVICE CONNECTION, SUBJECT TO FEES AND APPLICABLE CHARGES.

PUBLIC WORKS NOTES

1. FORTY EIGHT (48) HOURS PRIOR TO CONSTRUCTION, NOTICE SHALL BE GIVEN BY THE CONTRACTOR TO LOUISVILLE METRO PUBLIC WORKS DEPARTMENT FOR INSPECTIONS OF BASE, PAVEMENT AND SIDEWALKS.
2. ALL CONSTRUCTION METHODS, MATERIALS AND WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH THE KENTUCKY TRANSPORTATION CABINET DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS AND SUPPLEMENT FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION UNLESS OTHERWISE SPECIFIED, THE CURRENT KENTUCKY STANDARD DRAWINGS WILL ALSO APPLY UNLESS OTHERWISE NOTED ON THE PLANS.
3. CONSTRUCTION PLANS, BOND AND ENCROACHMENT PERMIT IS REQUIRED BY LOUISVILLE METRO PUBLIC WORKS DEPARTMENT, FOR ANY WORK IN PUBLIC RIGHT OF WAYS.
4. ALL SIDEWALK RAMPS SHALL CONFORM TO A.D.A. STANDARD SPECIFICATIONS, THE SPECIAL NOTE FOR DETECTABLE WARNING FOR "STREET" PER KTC STANDARD DRAWINGS FOR SIDEWALKS AND PER "KY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.
5. ALL SIDEWALKS, PEDESTRIAN RAMPS, LANDINGS, AND CROSSWALKS, ALONG THE ACCESSIBLE ROUTE SHALL CONFORM TO THE AMERICAN DISABILITIES ACT (A.D.A.).
6. ALL TRAFFIC SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, CURRENT EDITION.

DEVELOPMENT NOTES

1. PROPERTY IS IN PLEASURE RIDGE PARK FIRE DISTRICT AND SUBJECT TO APPROVAL.
2. ALL LUMINAIRE'S SHALL BE AIMED, DIRECTED, OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARD RESIDENTIAL USES OR PROTECTED OPEN SPACES ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE TO PERSONS OPERATING MOTOR VEHICLES ON PUBLIC STREETS AND RIGHT-OF-WAY.
3. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
4. THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT "BUD" TOLL FREE 1-800-752-6007 FOR LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.
5. CAMPABLE UTILITIES SHALL BE PLACE IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
6. ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH LAND DEVELOPMENT CODE CHAPTER 10, SECTION 10.2.6 AND 10.4.9.
7. CONSTRUCTION PLANS, BOND AND ENCROACHMENT PERMIT IS REQUIRED BY METRO PUBLIC WORKS DEPARTMENT, PRIOR TO ANY WORK BEGINNING IN PUBLIC RIGHT OF WAY.
8. MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO GOVERNMENT ORDINANCES.
9. A TREE PROTECTION PLAN SHALL BE APPROVED BY PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT PRIOR TO BEGINNING ANY CONSTRUCTION OR CLEARING ACTIVITIES ON SITE.



Vicinity Map
NO SCALE

Site Development Data

Location:	12491 OLD DIXIE HWY
Inst. No.	D.B. 4767 PG. 610
Tax Block, Lot, Sublot:	1052 0022 0000
Area:	1.94
	84,621.69
Zoning:	R4
Form District:	NEIGHBORHOOD
Existing Use:	CHURCH

Building Summary

Site Area:	84,621.69 S.F.
Ex. Building Area:	7,590.00 S.F.
New Building	5,400.00 S.F.

Dimensional Standards

Building Setbacks	Min	Perimeter Buffering
Front:	10'	15' VUA LBA
Side:	30'	15' LBA
Street Side:	n/a	n/a/
Rear:	30'	15' LBA
Max. Height of Building:	40'	

Parking Summary

Church 160 seats	Min 1SP/3 seats 160 53	Max 125% Seats 67
Total Spaces Required	53	67
Spaces Provided	51 3 54	spaces ADA spaces Total
Bicycle Parking	2 Long-Term	2 Short-Term

Tree Canopy

Gross Site Area	84,622 S.F.
Existing Tree Canopy	23,940 S.F.
Ex. Tree Canopy %	28.3 %
Preserved Tree Canopy Coverage Area	5,866 S.F.
Preserved Tree Canopy Coverage %	6.9 %
Tree Canopy Area Required	29,617.6 S.F.
Tree Canopy Area Required %	35.0 %
New Tree Canopy Required %	28.1 %
New Tree Canopy Area Required	23,752 S.F.

Tree Canopy Preserved	5,866 S.F
New Tree Canopy Provided	24,000 S.F
Tree Canopy Provided	29,866 S.F
% Tree Canopy Provided	35.3 %

ILA Requirements

Vehicle Use Area:	31,980 S.F.
ILA Required:	(7.5%) 2,399 S.F.
ILA Provided:	(8.45%) 2,704 S.F.
ILA Trees Required: (1/4000 S.F.)	8 trees
ILA Trees Provided:	8 trees

Impervious Areas

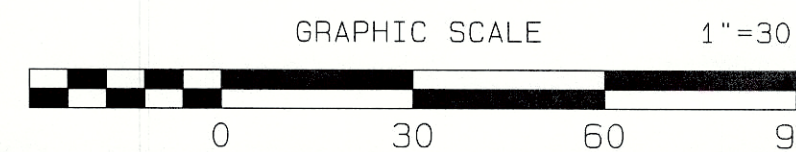
Total Site Area	84,622 S.F.
Existing Conditions	
Impervious	23,875 S.F.
Pervious	60,747 S.F.
Proposed Conditions	
Impervious	47,762 S.F.
Pervious	36,859 S.F.
Area of Disturbance	38,763 S.F.

RECEIVED

MAR 24 2021

PLANNING &
DESIGN SERVICES

21-CUP-0012

WM# 8851

REVISION	DATE
1	
2	
3	
4	
5	

AL ENGINEERING INC.
Civil Engineering & Land Development Services
3000 Middletown Industrial Blvd. Ste A (502) 254-2245 Off.
Louisville, Ky. 40223 (502) 817-4444 Cell.

ACCOUNT:	2020-563
DATE:	03-24-21
DESIGNED BY:	AMR
DRAWN BY:	AMR
CHECKED BY:	AMR
APPROVED BY:	AMR

**12491 Old Dixie Hwy
Louisville, KY 40258**

**VALLEY STATION
CHURCH OF GOD**

CONDITIONAL USE PERMIT PLAN

DRAWING
1
SHEET

\\alei-ws1\alei_network\ALEI Projects\2020-563 VSC06\507VSC06 DDP_000 3/24/2021 8:28:46AM AMR

21-CYP-0012