



# Landmarks Certificate of Appropriateness & Overlay District Permit

Louisville Metro Planning & Design Services

Case No.: 21-COA-0089 Intake Staff: ABrooks

Date: 5/5/2021 Fee: No Fee

**Instructions:**

For detailed definitions of *Certificate of Appropriateness* and *Overlay District Permit*, please see page 4 of this application.

**Project Information:**

Certificate of Appropriateness:  Butchertown  Clifton  Cherokee Triangle  Individual Landmark  
 Limerick  Old Louisville  Parkland Business  West Main Street

Overlay Permit:  Bardstown/Baxter Ave Overlay (BRO)  Downtown Development Review Overlay (DDRO)  
 Nulu Review Overlay District (NROD)

Project Name: 1473 Saint James Court

Project Address / Parcel ID: 1473 Saint James Ct

Total Acres: \_\_\_\_\_

Project Cost (exterior only): 50K PVA Assessed Value: \_\_\_\_\_

Existing Sq Ft: \_\_\_\_\_ New Construction Sq Ft: \_\_\_\_\_ Height (Ft): \_\_\_\_\_ Stories: \_\_\_\_\_

Project Description (use additional sheets if needed):

Click or tap here to enter text.

In addition to the items presented previously, I'm planning for a revised patio plan, new paint for the home and a perimeter wall, and new basement door added under the decks.

**Contact Information:**

Owner:  Check if primary contact

Applicant:  Check if primary contact

Name: Thomas Evers

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Company: \_\_\_\_\_

Address: 1473 Saint James Ct

Address: \_\_\_\_\_

City: Louisville State: KY Zip: 40208

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Primary Phone: 502 472 7536

Primary Phone: \_\_\_\_\_

Alternate Phone: \_\_\_\_\_

Alternate Phone: \_\_\_\_\_

Email: tevers@thorpegroup.io

Email: \_\_\_\_\_

Owner Signature (required): 

Attorney:  Check if primary contact

Plan prepared by:  Check if primary contact

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Primary Phone: \_\_\_\_\_

Primary Phone: \_\_\_\_\_

Alternate Phone: \_\_\_\_\_

Alternate Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Email: \_\_\_\_\_

**Certification Statement:** A certification statement **must be submitted** with any application in which the owner(s) of the subject property is (are) a limited liability company, corporation, partnership, association, trustee, etc., or if someone other than the owner(s) of record sign(s) the application.

I, \_\_\_\_\_, in my capacity as \_\_\_\_\_, hereby  
*representative/authorized agent/other*

certify that \_\_\_\_\_ is (are) the owner(s) of the property which  
*name of LLC / corporation / partnership / association / etc.*

is the subject of this application and that I am authorized to sign this application on behalf of the owner(s).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

**Please submit the completed application along with the following items:**

**Required for every application:**

- Land Development Report<sup>1</sup>
- Current photographs showing building front, specific project area, and surrounding buildings
- Elevations, pictures, samples, brochures, or other technical data describing materials, such as windows, doors, roofing, fencing, etc. to be used in the renovation or replacement

**Site and Project plan:** *(required for building additions, new structures and fencing)*

- Site plan drawn to scale with dimensions, as applies to the project, indicating property lines, structures, landscaping, fencing, and parking
- Floor plans drawn to scale with dimensions and each room labeled
- Elevation drawings (a drawing showing exterior walls) drawn to scale with dimensions. For fencing, only photos/drawings of the proposed fence are required.

**Committee Review Only**

*Committee reviews may be required due to the complexity of the case. The necessity of these items will be determined by staff upon review. Projects requiring committee level review include construction of new buildings, demolition, and projects that vary widely from design guidelines.*

- Two sets of 11"x17" format site plans drawn to scale with dimensions
- Two sets of 11"x17" elevation drawings to scale with dimensions
- Two sets of 11"x17" landscaping drawings to scale with dimensions
- One set of mailing label sheets for: 1<sup>st</sup> tier Adjoining Property Owners (APOs)<sup>3</sup>, owners, applicants, contacts, and Case Manager. Applicant is responsible for mailing.
- One copy of the mailing label sheets

**Resources:**

1. For a Land Development Report, go to the following website and enter address in the search bar. After the map zooms to the location, click on the icon that looks like the letter "d" in a green circle. Print report.  
<https://www.lojic.org/lojic-online>
2. Deeds and plats can be found at the Jefferson County Clerk's Office (527 West Jefferson Street, 2<sup>nd</sup> fl, 502-574-6220. Many deeds, plats and other records are available online at:  
<https://search.jeffersondeeds.com/>
3. Adjoining property ownership information can be found at the Property Valuation Administrator (PVA) office at 531 Court Place, Suite 504 or via their website: <https://jeffersonpva.ky.gov/property-search/>

**Submittal Instructions:**

Applications are due on Fridays at 5:00 p.m. Once complete, please bring the application and supporting documentation to: Planning and Design Services, located at 444 South 5<sup>th</sup> Street, Suite 300. For more information, call (502) 574-6230 or visit <https://louisvilleky.gov/government/planning-design/>

**Definitions:**

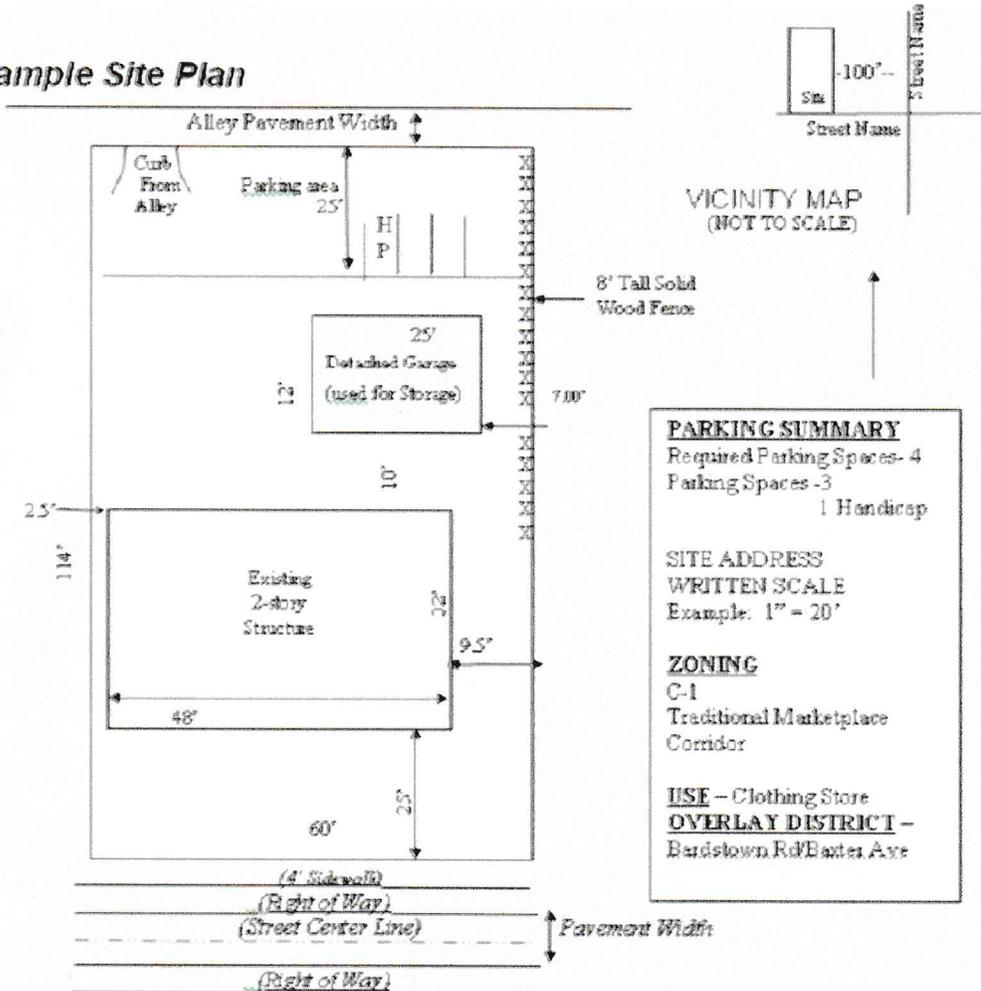
**Certificate of Appropriateness:** A project involving physical changes to the exterior of a building, structure, or property designated as a local landmark or located within a local preservation district shall require prior approval in the form of a Certificate of Appropriateness. An approval requires substantial conformance to design guidelines established for each landmark and district. The design guidelines, along with other information regarding local preservation districts, may be found at the website of the Landmarks and Preservation Districts Commission:

<https://louisvilleky.gov/government/planning-design/historic-preservation-landmarks-and-overlay-districts>

**Overlay District Permit:** A project involving physical changes to the exterior of a building, structure, or property within an overlay district shall require prior approval in the form of an Overlay Permit. An approval requires substantial conformance to design guidelines established for each overlay district. The design guidelines, along with other information regarding overlay districts, may be found at the following website:

<https://louisvilleky.gov/government/planning-design/historic-preservation-landmarks-and-overlay-districts>

**Sample Site Plan**





# Land Development Report

May 3, 2021 5:23 PM

[About LDC](#)

## Location

**Parcel ID:** 033A00770000  
**Parcel LRSN:** 103882  
**Address:** MULTIPLE ADDRESSES

## Zoning

**Zoning:** TNZD  
**Form District:** TRADITIONAL NEIGHBORHOOD  
**Plan Certain #:** NONE  
**Proposed Subdivision Name:** NONE  
**Proposed Subdivision Docket #:** NONE  
**Current Subdivision Name:** NONE  
**Plat Book - Page:** NONE  
**Related Cases:** NONE

## Special Review Districts

**Overlay District:** NO  
**Historic Preservation District:** OLD LOUISVILLE  
**National Register District:** OLD LOUISVILLE, OLD LOUISVILLE  
**Urban Renewal:** NO  
**Enterprise Zone:** NO  
**System Development District:** NO  
**Historic Site:** YES

## Environmental Constraints

### Flood Prone Area

**FEMA Floodplain Review Zone:** NO  
**FEMA Floodway Review Zone:** NO  
**Local Regulatory Floodplain Zone or Combined Sewer Floodprone Area:** NO  
**Local Regulatory Conveyance Zone:** NO  
**FEMA FIRM Panel:** 21111C0041F

### Protected Waterways

**Potential Wetland (Hydric Soil):** NO  
**Streams (Approximate):** NO  
**Surface Water (Approximate):** NO

### Slopes & Soils

**Potential Steep Slope:** NO  
**Unstable Soil:** NO

### Geology

**Karst Terrain:** NO

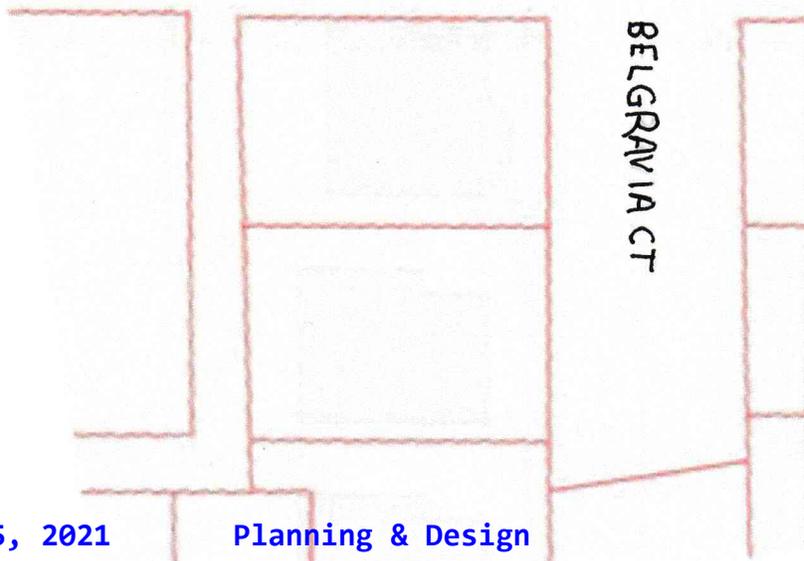
## Sewer & Drainage

**MSD Property Service Connection:** YES  
**Sewer Recapture Fee Area:** NO

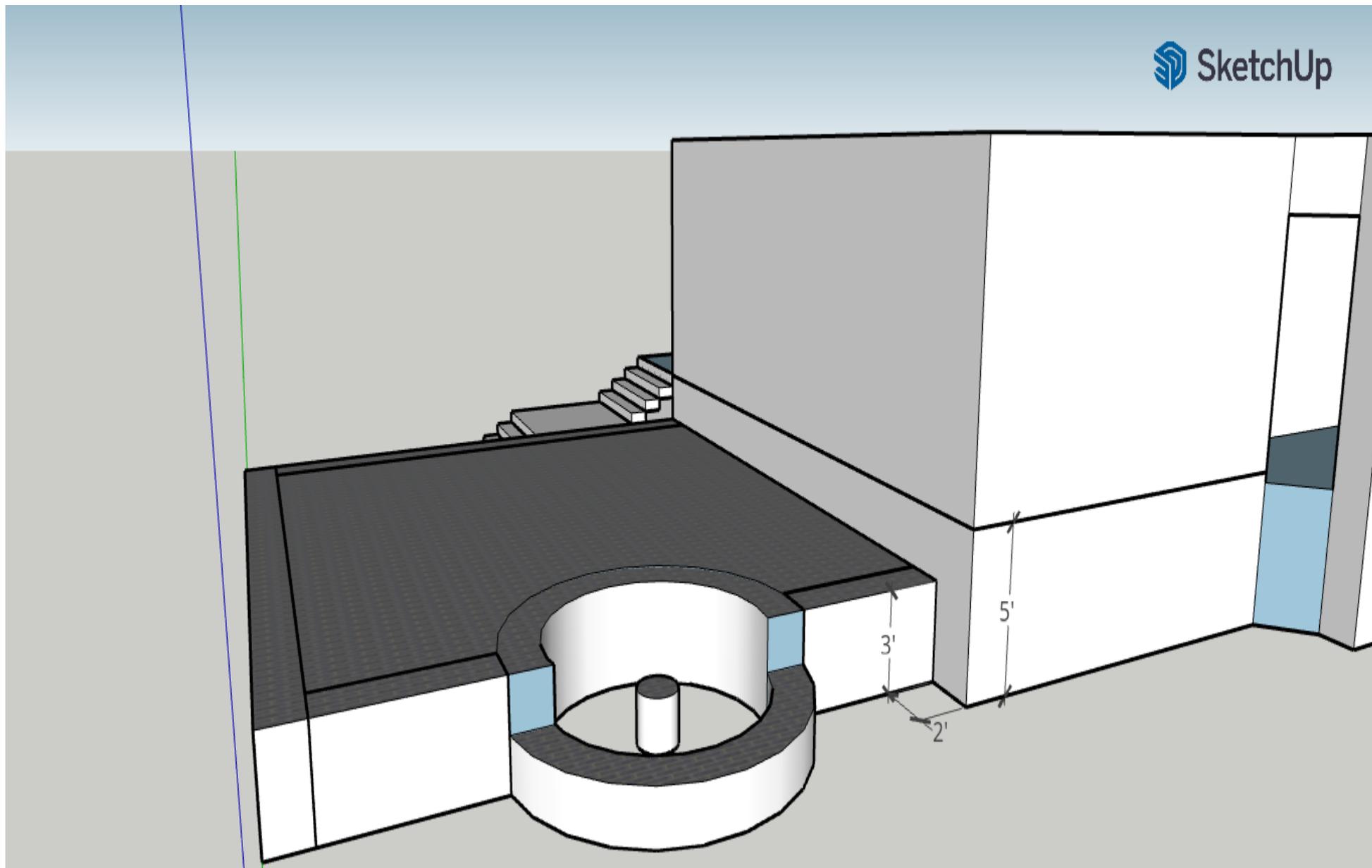
## Services

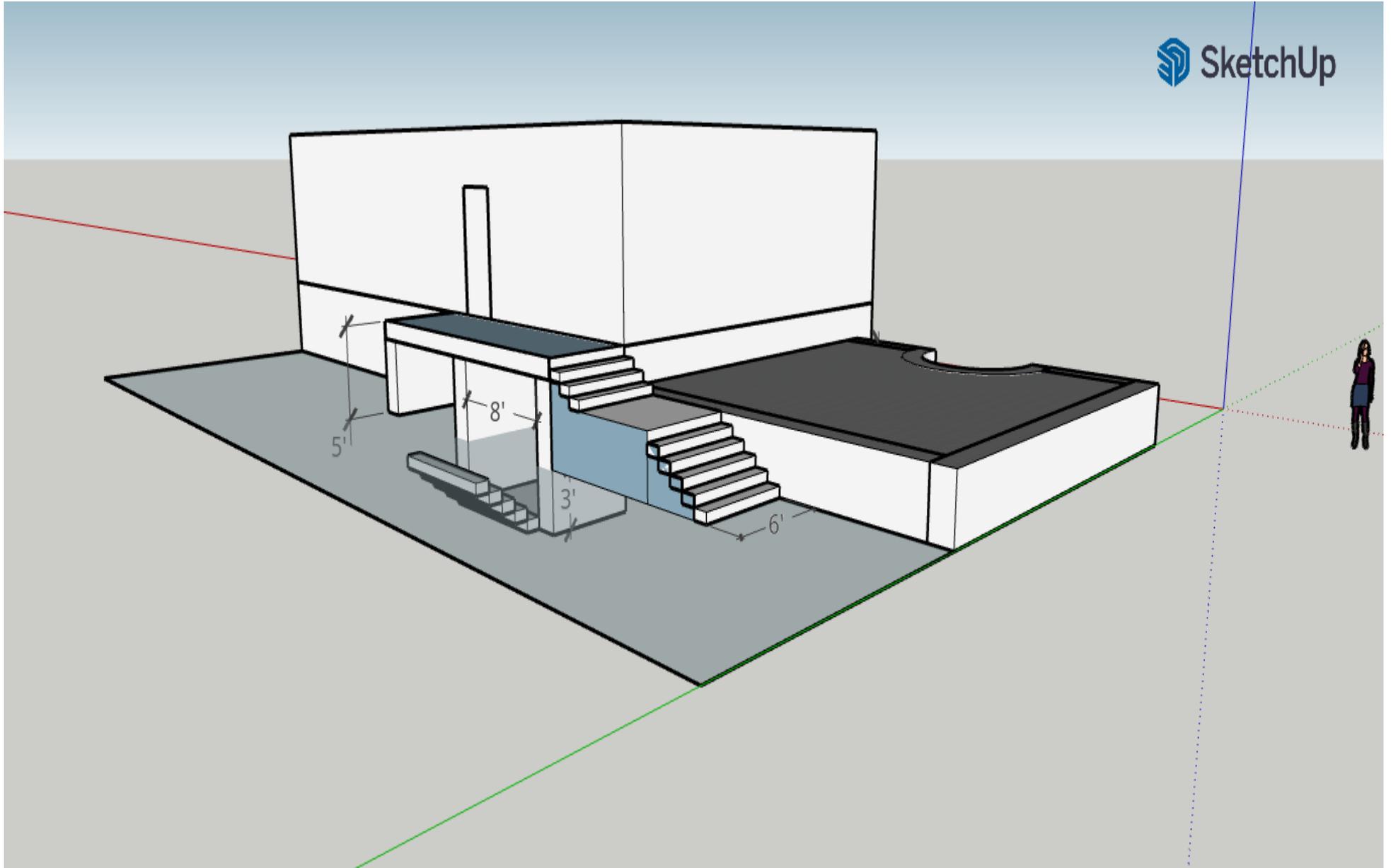
**Municipality:** LOUISVILLE  
**Council District:** 6  
**Fire Protection District:** LOUISVILLE #2  
**Urban Service District:** YES

ST JAMES CT

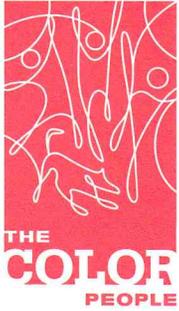


BELGRAVIA CT









architectural  
color consultants

## WHAT TO DO WHEN YOU RECEIVE YOUR COLOR SCHEME

There is no good way to show what a color scheme will look like before it is done. *Surprisingly, computer renderings are even more deceptive because there are so many variables which cannot be calibrated together with your new color scheme.*

It is important to realize that the chips of color you have received will look noticeably different in actual paint at the scale and volume of your building. The blend of colors you see is, however, pretty representative of what you will see when your home is painted.

**Sampling is an essential part of our system.** The only way to see what the colors are really going to look like is to paint a sample on the building. Color is totally relative; most colors will change at scale and may change in proximity to each other - so to see the colors accurately you must take this step. *Of the people who have a problem with their colors, 95% of them have refused to follow this process.*

Buy some quarts of the paint colors I have given you in the brand of paint specified. *Please do NOT match paints in another brand as this can alter the appearance significantly.* In an area about 4 or 5 feet square, where all the colors come together, put up your sample. A cornice area is usually good - or a porch or gable. Paint it as indicated on the photographs or plans. If you are painting it on the side of the building, like around a window - or if the existing siding is a particularly strong color - make sure to paint a large area of the body color because the old color will affect the look of the new color.

*Just painting stripes of the colors will not help!*

Once it is done stand as far away as possible to look at it. *Do not stand right in front of it! Get at least 100 feet away, preferably 100 yards away - No kidding!* The farther away you stand the easier it is to envision the building in your mind's eye as it will look in the new color scheme - and you will not be influenced by the old colors.

If after having sampled, you have any questions please call me and we'll get them worked out right away. Do not begin painting your home until the Sample is complete and provides you with positive results!

**Have fun -- the painting process is always an adventure!**

## WHAT TO DO AFTER YOU HAVE FINISHED PAINTING!

I get very attached to "my" homes and can't wait to see them finished. Please send me some photos when it is done. Everyone says they will but too many never get around to it. So please remember us and send us some pics of your new colors.

Hopefully I can use them in an article or book featuring my work.

Thank you in advance!



architectural  
color consultants

## COLOR SCHEME FOR THE EVERS RESIDENCE

I love your impression and story of the Pink Palace. And we love that you know how important it is to your community to “stay Pink!” What we did was take this gorgeous architectural masterpiece and translate a new set of colors we believed would do a few things. First off, it would remain true to its true color. Next, it would gain a level of elegance and sophistication that would enhance the architecture and allow the details to shine. Lastly, we wanted to allow this home to reflect the historical prominence and character of this city. This new design shall come to life as the Pink Lady and grace the streetscape with beauty, charm and architectural preservation. It will absolutely glow!

**HAVE FUN SAMPLING & STAY SAFE  
THANK YOU FOR YOUR BUSINESS!**

### P-2 PUNCH COLOR

SW6223 STILL WATER

### P-1 PUNCH COLOR

SW6214 UNDERSEAS

### T-3 TRIM COLOR

SW0005 DEEPEST MAUVE

### T-2 TRIM COLOR

SW6053 REDDENED EARTH

### T-1 TRIM COLOR

SW6364 EGGWHITE

### B-1 BODY COLOR

SW0026 RACHEL PINK

*All Paint Colors by SHERWIN WILLIAMS*

*Recommend Using SATIN FINISH on ALL Exteriors except for  
Doors and Metal which should be in High Gloss*

*\*Be sure to Prime Metal as Recommended by SW Rep (dependent on surface finish)*





