

21-COA-0089
1473 St. James Ct.



Old Louisville Architectural Review Committee
Public Hearing

Bradley Fister, Historic Preservation Specialist
May 12, 2021

Request

Certificate of Appropriateness:

The applicant is seeking approval to construct a 3' brick wall that will be set back two feet from the left front corner of the home and extend approximately 26' to the toward the property line to the left of the front of the home where it will make a 90 degree turn and continue approximately 28' before making another 90 degree turn where it will stop at the rear corner of the home. The deck rail is proposed to be decorative iron. The applicant also seeks approval to remove the existing metal stairs and railing and replace it with a masonry deck that will be supported by brick walls to match those around the patio. The stairs to the back door will be poured concrete and faced with brick pavers to match. The applicant also seeks approval to remove an existing rear facing basement window and install a door along with a set of stairs to lead from the basement to the rear yard. The applicant also proposes to paint the exterior of the home, the masonry has been previously painted, along with a proposal to paint the existing unpainted masonry wall, and to paint all newly proposed brick elements as well.

Request

Certificate of Appropriateness:

The deck rail is proposed to be decorative iron. The applicant also seeks approval to remove the existing metal stairs and railing and replace it with a masonry deck that will be supported by brick walls to match those around the patio. The stairs to the back door will be poured concrete and faced with brick pavers to match. The applicant also seeks approval to remove an existing rear facing basement window and install a door along with a set of stairs to lead from the basement to the rear yard. The applicant also proposes to paint the exterior of the home, the masonry has been previously painted, along with a proposal to paint the existing unpainted masonry wall, and to paint all newly proposed brick elements as well.

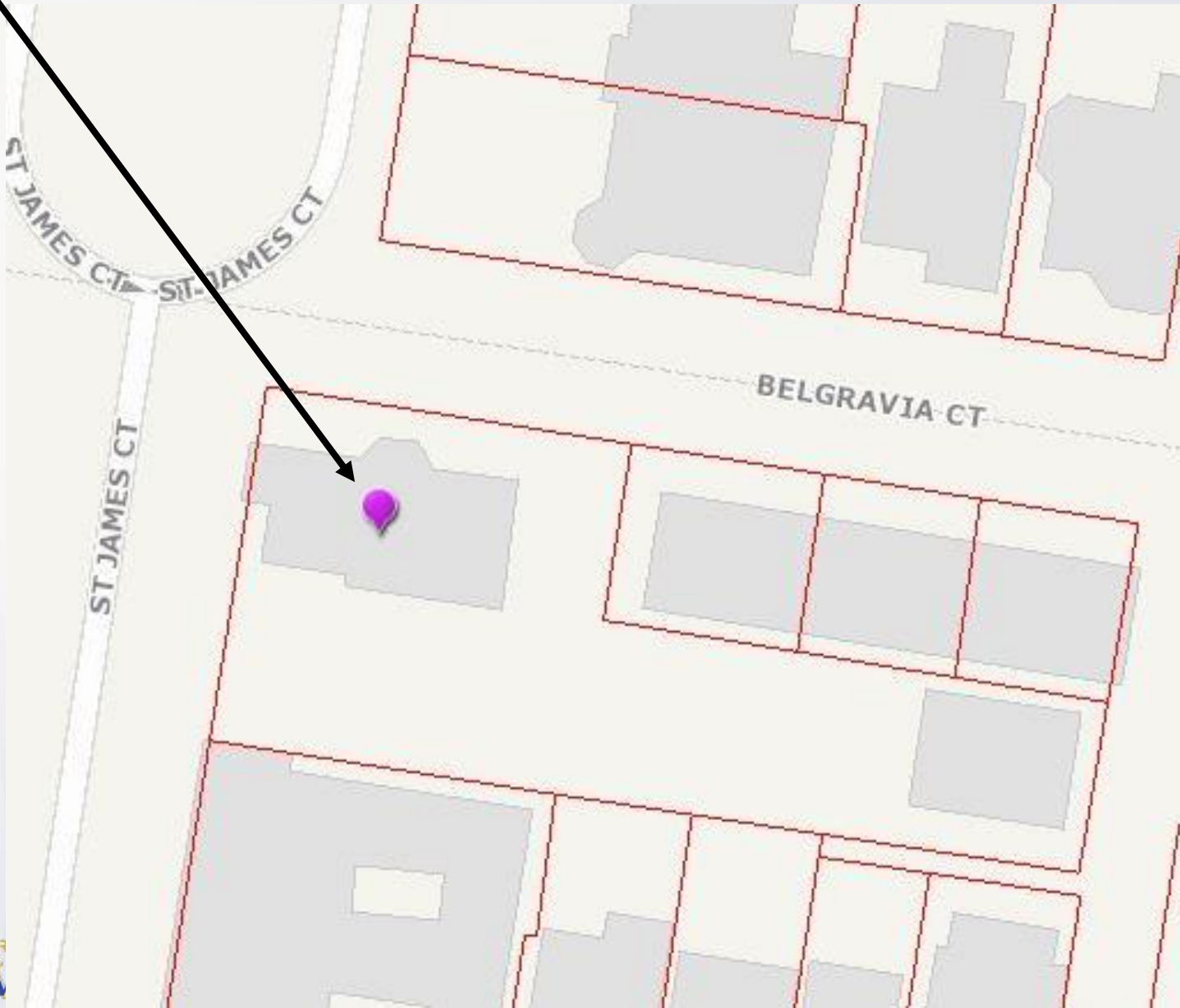
Request

Certificate of Appropriateness:

The applicant also seeks approval to remove an existing rear facing basement window and install a door along with a set of stairs to lead from the basement to the rear yard. The applicant also proposes to paint the exterior of the home, the masonry has been previously painted, along with a proposal to paint the existing unpainted masonry wall, and to paint all newly proposed brick elements as well.

1473 St. James Ct.

Site Map



1473 St. James Ct.

Aerial Image



Site Context / Background

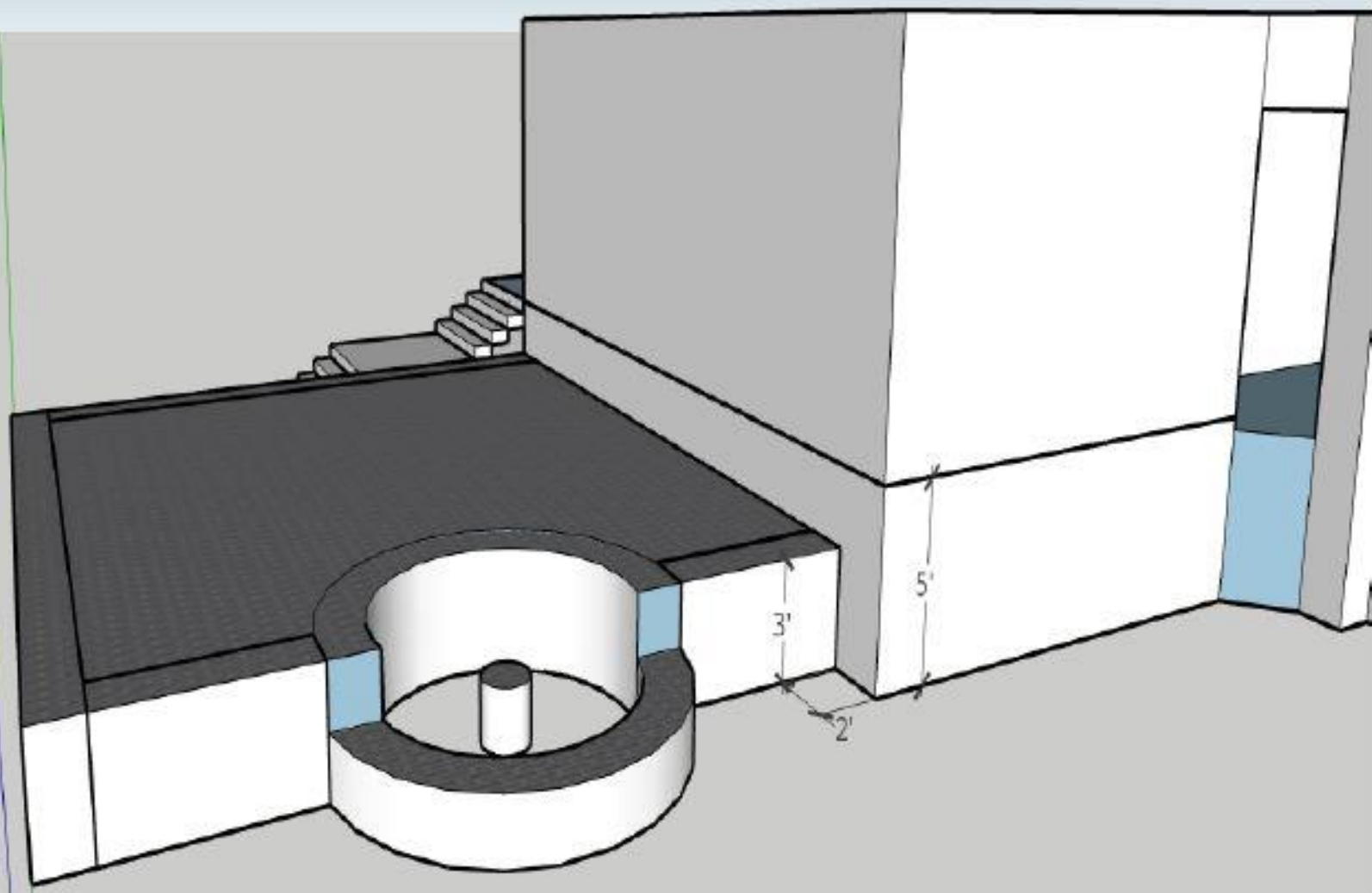
The site is located on the corner of St. James Ct. and Belgravia Ct. The property is zoned TNZD in a Traditional Neighborhood Form District. The turn-of-the-century Victorian structure (also known as the “Pink Palace”) constructed circa 1890 is a 2.5-story with a raised basement, wood framed, brick clad building with limestone details.

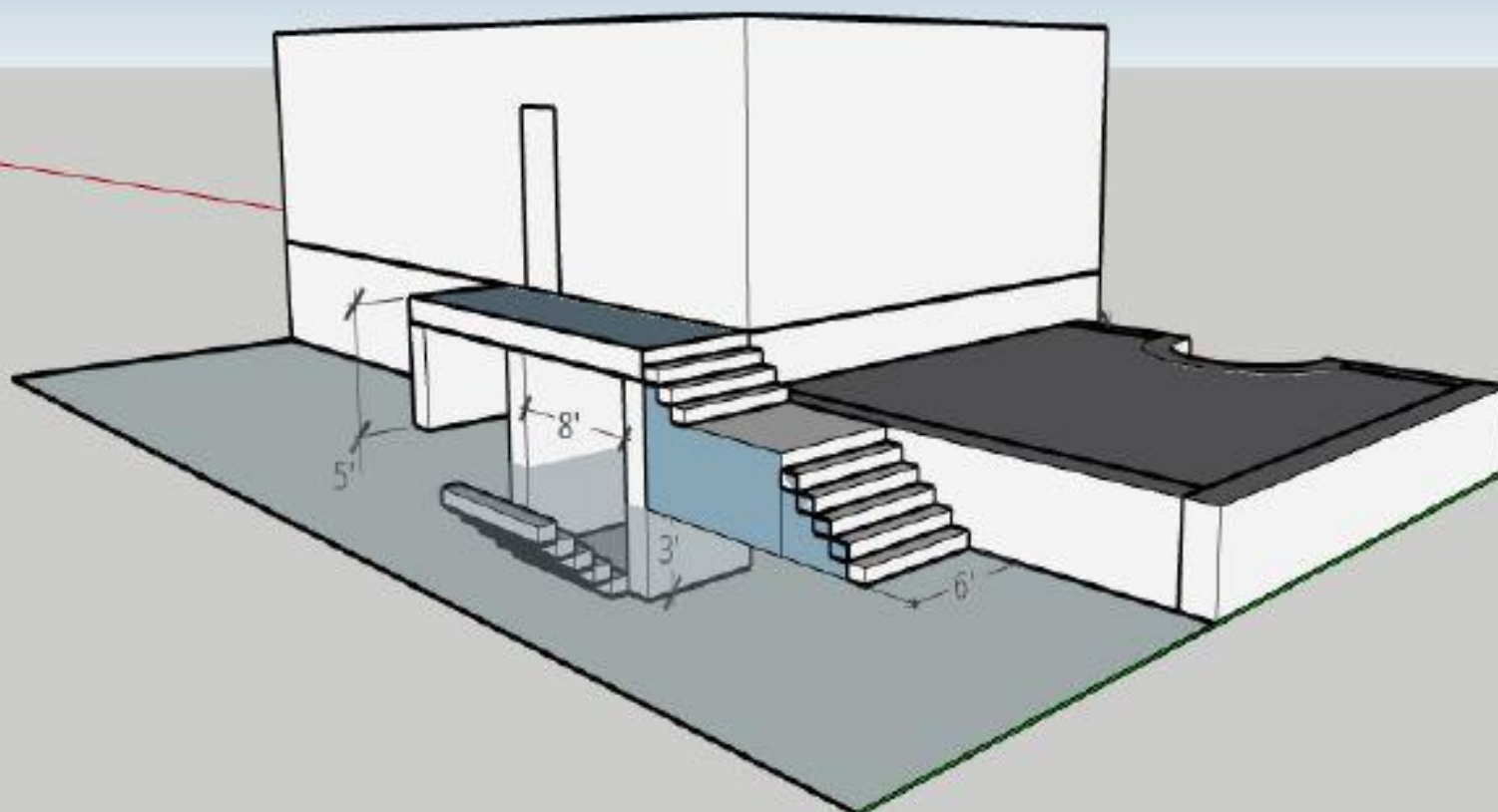
ST JAMES CT

Existing Wall

Proposed Patio

BELGRAVIA CT











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WHAT TO DO WHEN YOU RECEIVE YOUR COLOR SCHEME

There is no good way to show what a color scheme will look like before it is done. *Surprisingly, computer renderings are even more deceptive because there are so many variables which cannot be calibrated together with your new color scheme.*

It is important to realize that the chips of color you have received will look noticeably different in actual paint at the scale and volume of your building. The blend of colors you see is, however, pretty representative of what you will see when your home is painted.

Sampling is an essential part of our system. The only way to see what the colors are really going to look like is to paint a sample on the building. Color is totally relative; most colors will change at scale and may change in proximity to each other - so to see the colors accurately you must take this step. *Of the people who have a problem with their colors, 95% of them have refused to follow this process.*

Buy some quarts of the paint colors I have given you in the brand of paint specified. *Please do NOT match paints in another brand as this can alter the appearance significantly.* In an area about 4 or 5 feet square, where all the colors come together, put up your sample. A cornice area is usually good - or a porch or gable. Paint it as indicated on the photographs or plans. If you are painting it on the side of the building, like around a window - or if the existing siding is a particularly strong color - make sure to paint a large area of the body color because the old color will affect the look of the new color.

Just painting stripes of the colors will not help!

Once it is done stand as far away as possible to look at it. *Do not stand right in front of it! Get at least 100 feet away, preferably 100 yards away - No kidding!* The farther away you stand the easier it is to envision the building in your mind's eye as it will look in the new color scheme - and you will not be influenced by the old colors.

If after having sampled, you have any questions please call me and we'll get them worked out right away. Do not begin painting your home until the Sample is complete and provides you with positive results!

Have fun -- the painting process is always an adventure!

WHAT TO DO AFTER YOU HAVE FINISHED PAINTING!

I get very attached to "my" homes and can't wait to see them finished. Please send me some photos when it is done. Everyone says they will but too many never get around to it. So please remember us and send us some pics of your new colors.

Hopefully I can use them in an article or book featuring my work.

Thank you in advance!



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COLOR SCHEME FOR THE EVERS RESIDENCE

I love your impression and story of the Pink Palace. And we love that you know how important it is to your community to "stay Pink!" What we did was take this gorgeous architectural masterpiece and translate a new set of colors we believed would do a few things. First off, it would remain true to its true color. Next, it would gain a level of elegance and sophistication that would enhance the architecture and allow the details to shine. Lastly, we wanted to allow this home to reflect the historical prominence and character of this city. This new design shall come to life as the Pink Lady and grace the streetscape with beauty, charm and architectural preservation. It will absolutely glow!

**HAVE FUN SAMPLING & STAY SAFE
THANK YOU FOR YOUR BUSINESS!**

P-2 PUNCH COLOR

SW6223 STILL WATER



P-1 PUNCH COLOR

SW6214 UNDERSEAS



T-3 TRIM COLOR

SW0005 DEEPEST MAUVE



T-2 TRIM COLOR

SW6053 REDDENED EARTH



T-1 TRIM COLOR

SW6364 EGGWHITE



B-1 BODY COLOR

SW0026 RACHEL PINK



All Paint Colors by SHERWIN WILLIAMS
Recommend Using SATIN FINISH on ALL Exteriors except for
Doors and Metal which should be in High Gloss

*Be sure to Prime Metal as Recommended by SW Rep (dependent on surface finish)

Paint Chips

<p>SW 0026 Rachel Pink Interior / Exterior</p> <p>B-1</p>	<p>T-1 Eggwhite SW 6364</p>	<p>T-2 Reddened Earth SW 6053</p>	<p>T-3 Deepest Mauve SW 0005</p>	<p>P-1 Underseas SW 6214</p>	<p>P-2 Still Water SW 6223</p>
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SW 0026
Rachel Pink
 Interior / Exterior



B-1

T-1

Eggwhite SW 6364

T-2

Reddened Earth
 SW 6053

T-3

Deepest Mauve SW 0005

P-1

Underseas SW 6214

P-2

Still Water SW 6223



SW 0026

Rachel Pink

Interior / Exterior



B-1

T-1

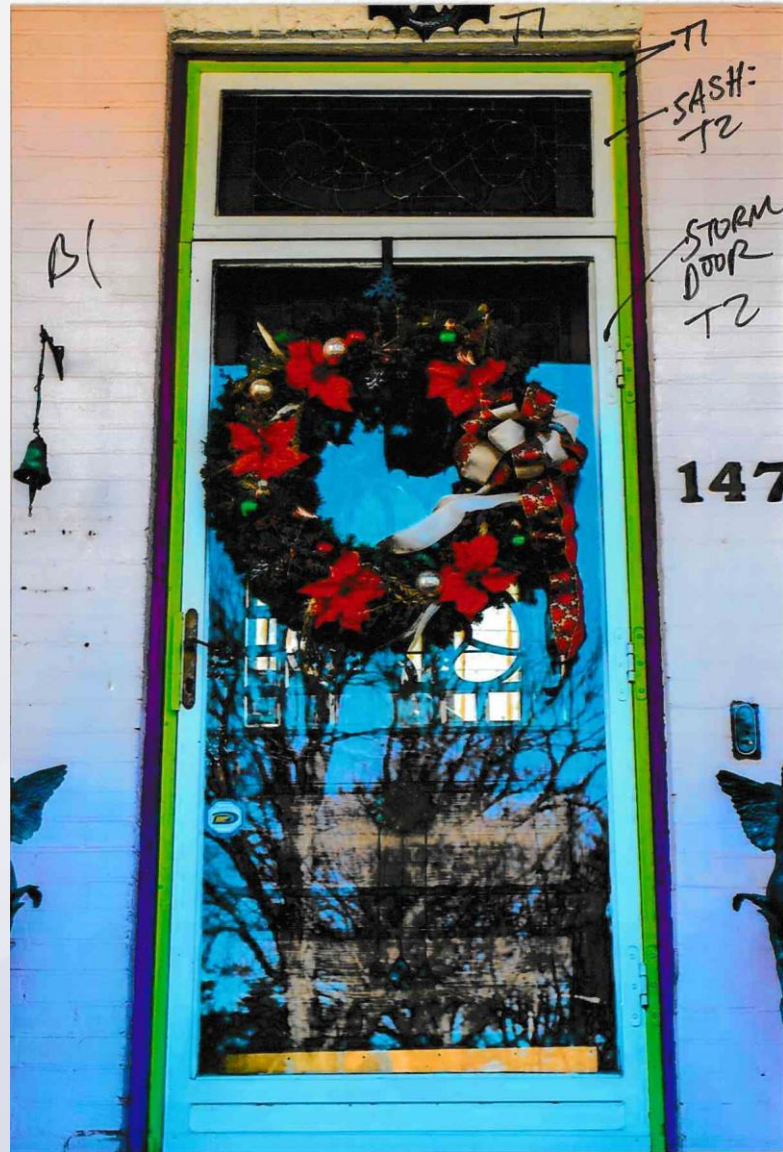
T-2

Reddened Earth

T-3

P-1

P-2



SW 0026
Rachel Pink
 Interior / Exterior



B-1

T-1

Eggwhite SW 6364

T-2
 Reddened Earth
 SW 6052

T-3
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P-1
 Underscas SW 6214

P-2
 Still Water SW 6223



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Interior / Exterior



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Reddened Earth

T-3

P-1

P-2





SW 0026

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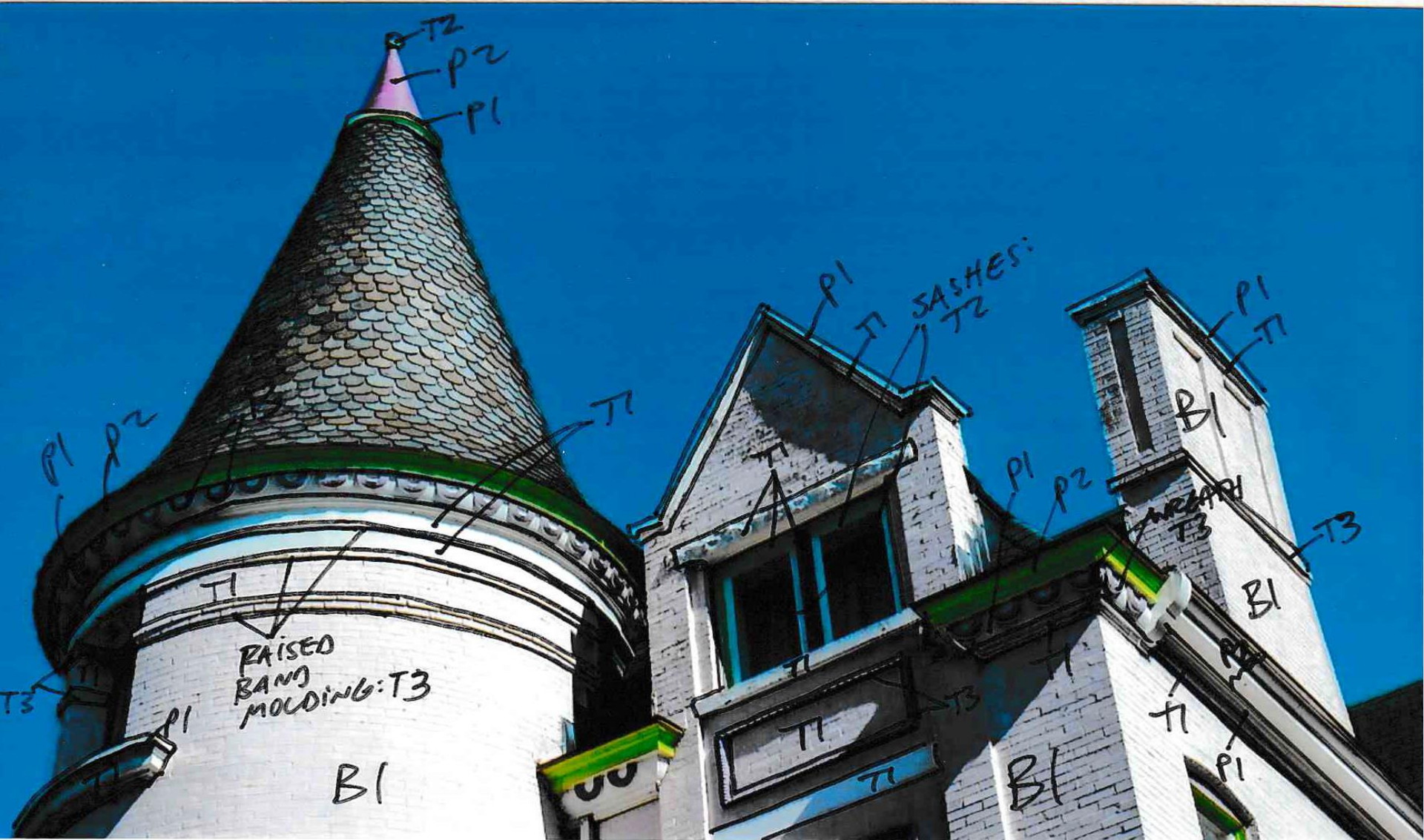
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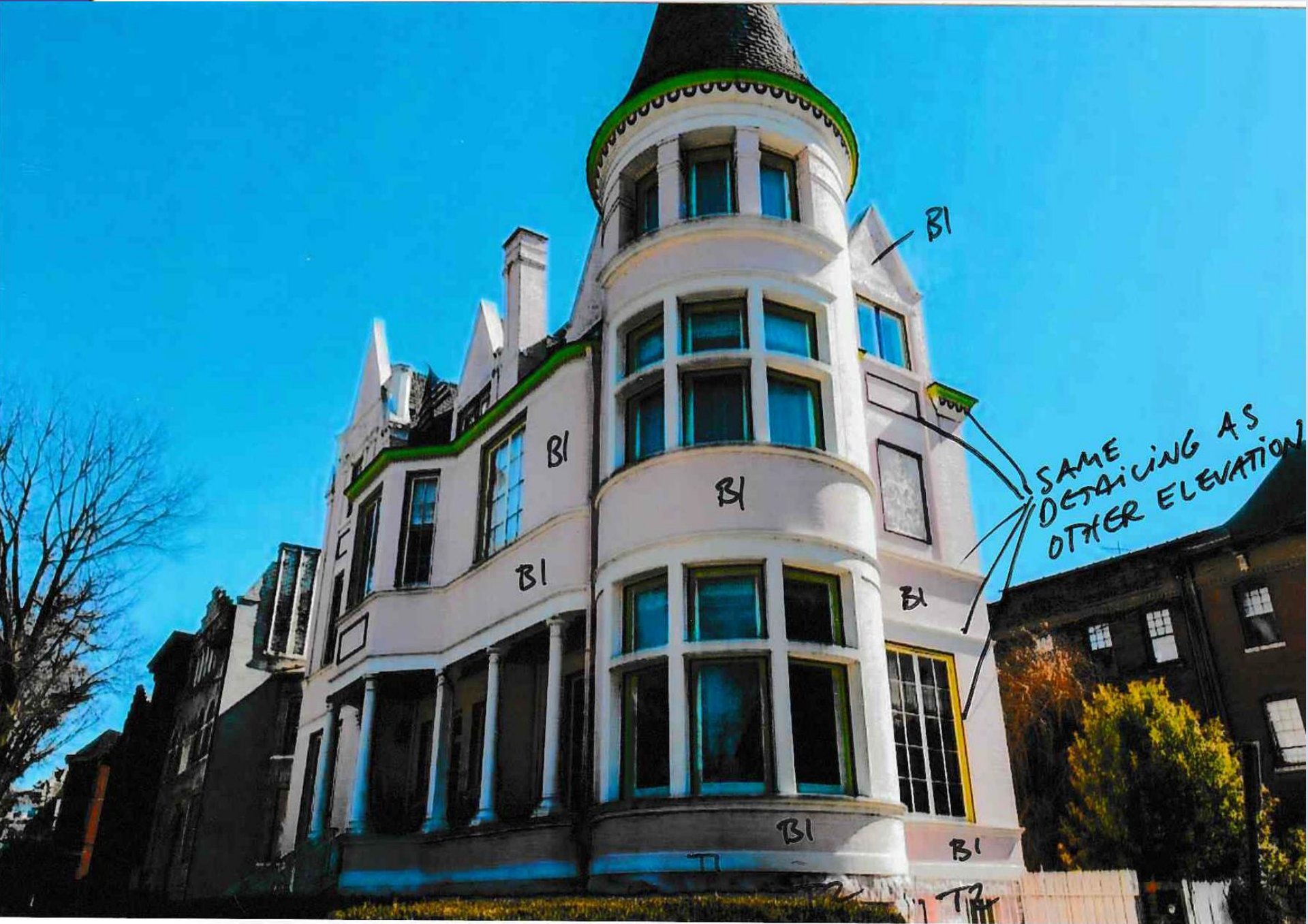
Deepest Mauve SW 0005

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CEILING:
T1



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Rachel Pink
Interior / Exterior



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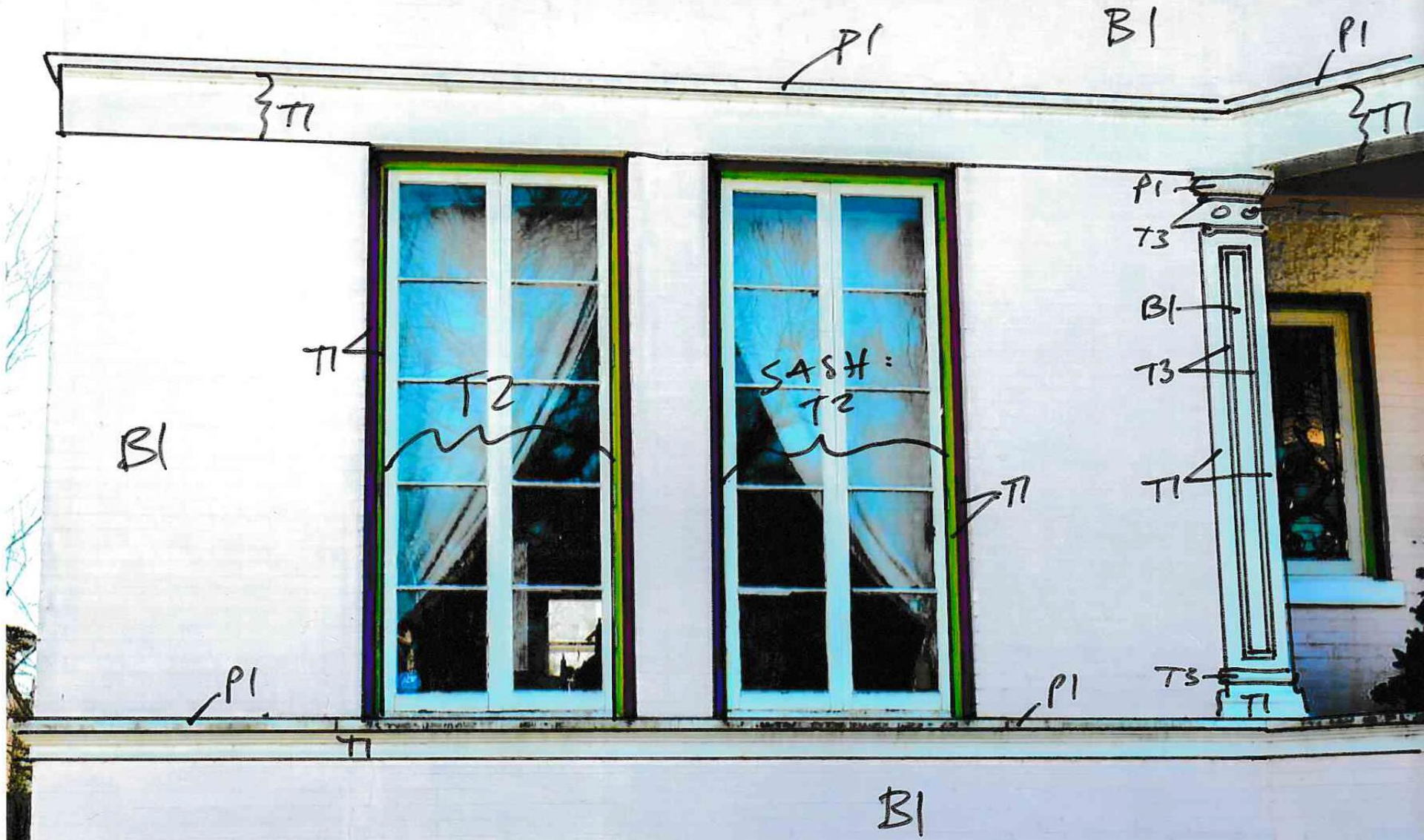
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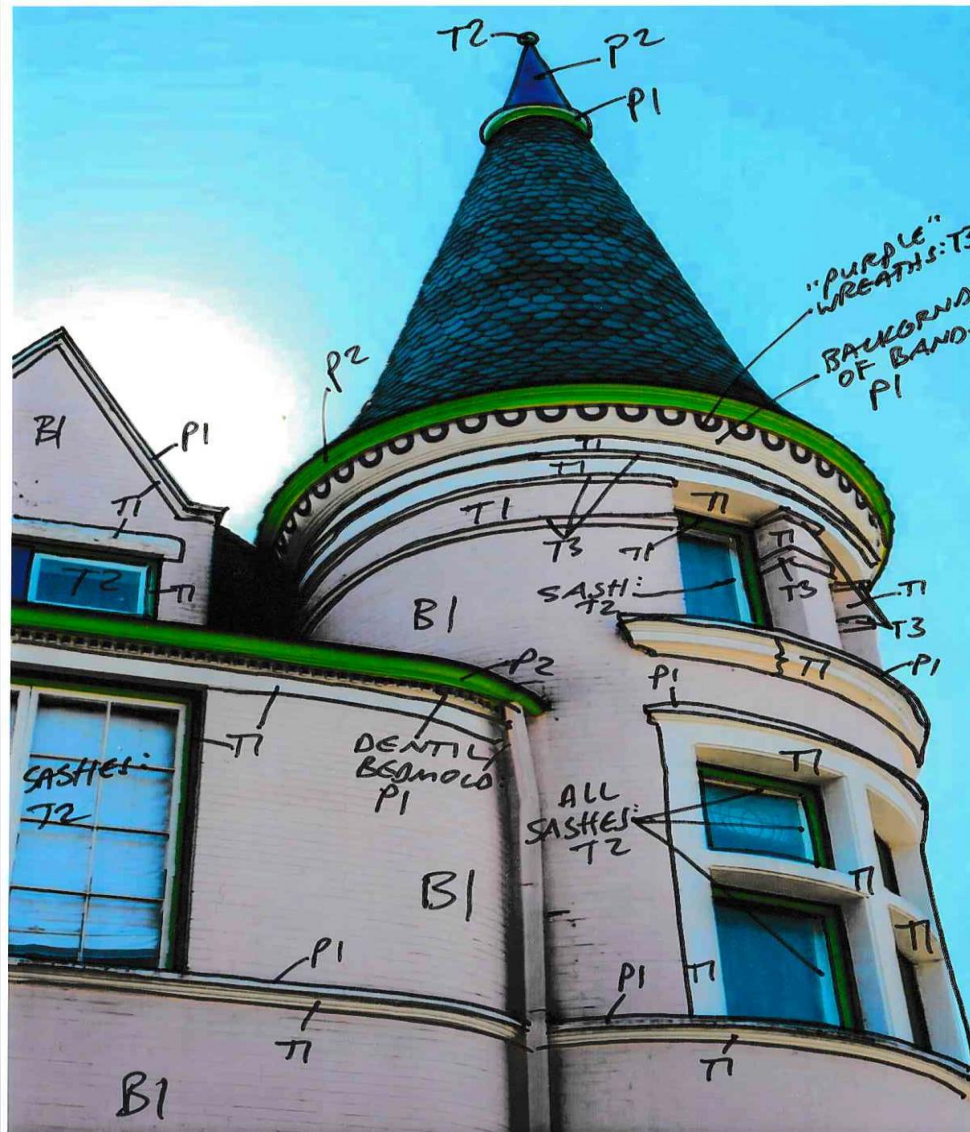
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Conclusion

The proposed changes do have some conflict with the Old Louisville Design Guidelines for **Addition** based on the location of the proposed new patio being located on the side facade according to **A3, A16 & A17**. However the design of the proposed patio is in keeping with the style and character of the existing structure including proportion, size, scale, and use of materials as stated in **A1, A2, A4, A5, & A10**. The proposed new rear stoop and stairs do generally meet the addition design guidelines based on their location not being visible from public view.

Conclusion

In terms of the **Site Guidelines**, the project generally meets the Old Louisville Design Guidelines with the exception of **ST10**, which states that new masonry structures shall not be visible from the street unless they are used for the retention of soil. The proposed work is complementary to the existing structure per **ST1**, and follows the existing property lines per **ST2**. In regard to **ST14**, which calls for historic precedent for fencing in the front of the home, there is currently an existing wood privacy fence, the material of the fence is what is being proposed to change. This existing fence is located adjacent to the house and not at the sidewalk, as well.

Conclusion

In regard to the proposal of the walls and fountain, though they generally do not meet the Old Louisville Design Guidelines for **Masonry**, they are in keeping with the style and character of the existing building. There is an existing masonry wall on the Saint James Ct. elevation. The proposed masonry structures are not falsely historic and shall be compatible with the building and district in size, scale, material and color.

Conclusion

In regard to the **Door Guidelines**, the proposed conversion of the rear basement window with a door, does meet **D11** which states not to place new entrances on primary facades.

Conclusion

In regard to the **Paint Guidelines**, the proposed painting of previously painted masonry, the primary surface is proposed to be in the same color family as the existing as stated in **P4**. The applicant has had the paint professionally analyzed per **P5** and the proposed colors are what is suggested as a color closer to the original color of the home. The proposal to paint the proposed new brick elements the color of the homes foundation generally meets **P1** since the brick will not be historic in nature the paint will adhere better. The proposal to paint the existing historic brick wall generally does not meet **P1**, as it is an unpainted masonry surface.

Conclusion

Though some of the proposed elements of the project do not specifically meet the Old Louisville Design Guidelines, the majority of the proposed changes are in keeping with both the Design Guidelines as well as the whimsical style of the home known as the “Pink Palace”.

Recommendations

On the basis of the information furnished by the applicant, Staff recommends the application for a Certificate of Appropriateness be approved with the following conditions.

1. The painting of the existing brick shall be done according to the color chart provided, any deviation shall be approved by the committee prior to painting.
2. The applicant shall take proper safety precautions in working with the existing paint due to possible exposure to toxins.
3. The applicant shall apply a breathable masonry paint.

Recommendations

4. The painting of the proposed new masonry construction shall not be the same color as the homes foundation in order to distinguish between what is historic and what is not, and the color shall be presented to staff prior to painting for approval.
5. The existing historic brick wall shall not be painted.
6. The proposed brick wall with patio above shall not exceed 7' in height at top of gallery rail.

Recommendations

7. Once selection of a basement door has been finalized applicant shall present to staff for approval.
8. If the design or material changes, the applicant shall contact staff for review and approval.
9. The applicant shall obtain all necessary permits and variances prior to work beginning.