

# LAND DEVELOPMENT & TRANSPORTATION COMMITTEE

*May 13, 2021*

## FORDHAM PARK

CASE # 21-RSUB-0003

### Revised Major Preliminary Subdivision Plan

DEVELOPER

PULTE HOMES

REPRESENTATIVES

KELLI JONES

SABAK, WILSON & LINGO, INC.



# AERIAL MAP





# EXISTING APPROVED PLAN

## GENERAL

- No site shown herein may be subdivided or redeveloped resulting in the creation of a greater number of lots than originally approved by the planning commission.
- This development is located in the Anchorage Middleboro Fire Protection District and approval shall be obtained prior to construction approval.
- Construction fencing shall be erected at the edge of the limits of disturbance area prior to any grading or construction activities. The fencing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
- A soil erosion and sedimentation control plan shall be developed and implemented in accordance with the Metropolitan Sewer District and USDA Soil Conservation Service recommendations.
- All open space lots are non-buildable and will be reserved as open space and utility easements.
- There shall be no access to any lot within proposed subdivision from Factory Lane.
- Boundary and topographical information shown herein were derived from L&P data. Boundary information was taken from deeds.
- Regarding benchmark data, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
- Compatible on-site utilities, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
- Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
- Street trees shall be planted in a manner that does not affect public safety or harbor sight distance. Final location will be determined during construction approval process.
- A KARS survey was conducted by Kevin Young on July 25th, 2018 and no KARS features were found.

## SEWER & DRAINAGE

- Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District Design Manual and Standard Specifications and other local state and federal ordinances.
- Runoff from this development must be conveyed to an adequate public outlet.
- On-site retention will be provided. First-developed storm flows will be limited to pre-developed peak flows for 2, 10, 25, and 100 year storms or to the capacity of the sewer system, whichever is more restrictive.
- No portion of the site is located in a floodplain per FIRM map 21111 C 0021 E dated December 5, 2006.
- Sewers by L. E. and subject to all applicable fees.
- Extension of MSD storm water boundaries may be required.
- A "Request for Sanitary Sewer Capacity" has been approved by MSD on July 23, 2018.
- All proposed sewer and drain easements shall be 15' unless otherwise indicated.
- The Louisville Water Company will determine the width of their easement prior to construction plan approval.
- All drainage, EPSC and Water Quality practices shown on this plan are for conceptual purposes only. Final design of these elements will be determined prior to construction plan approval and shall comply with all applicable MSD Design Manual requirements.
- MSD drainage bond required prior to construction plan approval.

## STREETS & SIDEWALKS

- All roads within the development shall have curb and gutters. Curbside shall have a pavement width of 20 feet with a radius of 30 feet at Curbside. All other roads shall be 24 feet in width with a 30 foot radius at intersections.
- Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
- Street grades shall not be less than 1% (Min.) or 10% (Max.).
- A Bond & Encumbrance Permit is required by Metro Public Works for all work within the Factory Lane Right-of-Way and for roadway approaches on all surrounding access roads to the subdivision site due to damages caused by construction traffic.
- Verge shall be provided as required by Metro Public Works.
- All streets, intersections, loop roads, full-deck roads, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
- All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the appropriate subdivision plat or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
- The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
- Should any existing drainage structures and/or utilities located within off-site rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
- A Bond and Encumbrance Permit will be required by Metro Public Works for roadway repairs within the site due to damage caused by construction traffic activities.
- All roadway intersections shall meet the requirements for loading zones as set by Metro Public Works.

## VARIANCE REQUESTED

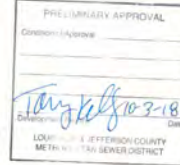
- A Variance is requested from Section 5.2.1.C.2 of the Louisville Metro Development Code to vary the front and street-side setback to 15 feet and Factory Lane front setback to 30 feet.

## PROJECT DATA

TOTAL SITE AREA = 8.24 Ac. (356,698 SF)  
R/W DEDICATION AREA = 0.12 Ac. (2,900 SF)  
TOTAL AREA OF ROW = 1.65 Ac. (68,636 SF)  
NET SITE AREA = 6.59 Ac. (285,162 SF)  
EXISTING ZONING = R-4  
FORM DISTRICT = NEIGHBORHOOD  
PROPOSED ZONING = R-5  
EXISTING USE = SINGLE FAMILY RESIDENTIAL  
PROPOSED USE = SINGLE FAMILY RESIDENTIAL  
TOTAL # OF LOTS = 34 LOTS  
TOTAL AREA OF LOTS = 253,774 SF  
DENSITY = 5.23 DU/AC. (7.28 DU/AC. MAX. ALLOWED)  
TOTAL # OF OPEN SPACE LOTS = 2  
TOTAL OPEN SPACE PROVIDED = 30,593 SF  
EXISTING IMPERVIOUS AREA = 5,938 SF  
PROPOSED IMPERVIOUS AREA = 40,990 SF (590% INCREASE)



LOCATION MAP  
NOT TO SCALE



## PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS:

BY: [Signature]  
DATE: 10/3/18  
LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

RECEIVED  
SEP 28 2018  
PLANNING & DESIGN SERVICES

## BENCHMARK DESCRIPTIONS

TBM #1: STATION IS 0.8 MILES SE OF THE GENE SNYDER FWY/LAGRANGE RD INTERCHANGE, NE OF THE NORTHERMOST LANES OF GENE SNYDER FWY.  
SOURCE OF BENCH MARK: GPS CONTROL MONUMENT GPS-4742 IS 0.8 MILES SE OF THE GENE SNYDER FWY/LAGRANGE RD INTERCHANGE, NE OF THE NORTHERMOST LANES OF GENE SNYDER FWY. THE MARK IS 5' NE OF THE SHOULDER OF THE 2 LANES BOUND FOR LAGRANGE RD FROM THE SOUTH AND 26' SW OF AN ORANGE STATION MARKER AT THE FENCE LINE BETWEEN THE INTERSTATE AND A "PAR THREE" GOLF COURSE. THE STATION IS ADJACENT TO THE NORTHERN EDGE OF THE GREEN ON HOLE #3. ELEVATION=744.84 (NAVD 83).

## TREE CANOPY CALCULATIONS

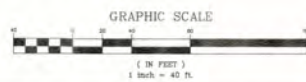
TOTAL SITE AREA = 271,566 S.F.  
TOTAL TREE CANOPY AREA REQUIRED = 20% (54,313 S.F.)  
EXISTING TREE CANOPY TO BE PRESERVED = 0% (0 S.F.)  
PROPOSED TREE CANOPY TO BE PLANTED = 20% (54,720 S.F.)

## LEGEND

- PROPOSED STORM SEWER, CATCH BASIN AND CRESTSTONE HEADWALL
- PROPOSED SEWER AND MANHOLE
- PROPOSED SALT FENCE
- PROPOSED DRAINAGE SWALE

## DETENTION BASIN CALCULATIONS

X = 4 CRA/12  
AC = 0.50-0.53-0.27  
X = 7.8 ACRES  
R = 2.8 INCHES  
X = (7.8)(0.27)(2.8)/12 = 0.50 AC-FT.  
REQUIRED X = 21,880 CU.FT.  
PROVIDED BASIN = 17,029 SQ.FT.  
TOTAL = 17,029 SQ.FT. @ APPROX. 2 FT. DEPTH = 34,058 CU.FT. > 21,880 CU.FT.



PRELIMINARY  
NOT FOR CONSTRUCTION



## 13501 & 13505 FACTORY LANE PRELIMINARY SUBDIVISION PLAN

OWNER/DEVELOPER: JOE KROLL BUILDER LLC  
13501 & 13505 FACTORY LANE  
LOUISVILLE, KY 40245  
TAX BLOCK: 0010, LOT 0024, 0142  
D.B. 11002, PG. 0487

PREPARED BY: LAND DESIGN & DEVELOPMENT, INC.  
500 WASHINGTON AVENUE, SUITE 101  
SANDYSPRING, KENTUCKY 40086  
PHONE: (502) 426-0974  
FAX: (502) 426-0974  
JOB: 16166  
MET: WM #11617  
DATE: 08/27/18  
DOCKET: 1620NE1061

COUNCIL DISTRICT - 17  
FIRE PROTECTION DISTRICT - ANCHORAGE MIDDLEBORO  
MUNICIPALITY - LOUISVILLE



PROPOSED PLAN

GENERAL

1. NO LOTS SHOWN HEREON MAY BE SUBDIVIDED OR RESUBDIVIDED RESULTING IN THE CREATION OF A GREATER NUMBER OF LOTS THAN ORIGINALLY APPROVED BY THE PLANNING COMMISSION.
2. THIS DEVELOPMENT IS LOCATED IN THE ANDOVER MIDDLETOWN FIRE PROTECTION DISTRICT AND APPROVAL SHALL BE OBTAINED PRIOR TO CONSTRUCTION APPROVAL.
3. CONSTRUCTION FENCING SHALL BE ERECTED AT THE EDGE OF THE LIMITS OF DISTURBANCE AREAS PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES. THE FENCING IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
4. A SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH THE METROPOLITAN SENIOR DISTRICT AND USDA SOIL CONSERVATION SERVICE RECOMMENDATIONS.
5. ALL OPEN SPACE LOTS ARE NON-BUILDABLE AND WILL BE RECORDED AS OPEN SPACE AND UTILITY EASEMENTS.
6. THERE SHALL BE NO ACCESS TO ANY LOT WITHIN PROPOSED SUBDIVISION FROM FACTORY LANE.
7. BENCHMARK AND TOPOGRAPHICAL INFORMATION SHOWN HEREON WERE DERIVED FROM LOCAL DATA. BOUNDARY INFORMATION WAS TAKEN FROM DEEDS.
8. COMPATIBLE ON-SITE UTILITIES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
9. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND ADJACENT PROPERTIES.
10. STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT EFFECT PUBLIC SAFETY OR HINDER SIGHT DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
11. A KAPST SURVEY WAS CONDUCTED BY KEVIN YOUNG ON JULY 25TH, 2016 AND NO KAPST FEATURES WERE FOUND.

SEWER & DRAINAGE

1. CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SENIOR DISTRICT DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. RUNOFF FROM THIS DEVELOPMENT MUST BE CONVEYED TO AN ADEQUATE PUBLIC OUTLET. ON-SITE DETENTION WILL BE PROVIDED. POST-DEVELOPED PEAK FLOWS WILL BE LIMITED TO PRE-DEVELOPED PEAK FLOW FOR 2, 10, 25, AND 100 YEAR STORMS OR TO THE CAPACITY OF THE DOWN-STREAM SYSTEM, WHICHEVER IS MORE RESTRICTIVE.
3. NO PORTION OF THE SITE IS LOCATED IN A FLOODPLAIN PER FIRM MAP 21111 C 0021 F DATED FEBRUARY 26, 2007.
4. SEWERS BY L, E, AND SUBJECT TO ALL APPLICABLE CODES.
5. A REQUEST FOR SANITARY SEWER CAPACITY HAS BEEN APPROVED BY MWD ON OCTOBER 6, 2020.
6. EXTENSION OF WID STORM WATER BOUNDARIES MAY BE REQUIRED.
7. ALL PROPOSED SEWER AND DRAIN EASEMENTS SHALL BE 15' UNLESS OTHERWISE INDICATED.
8. THE LOUISVILLE WATER COMPANY WILL DETERMINE THE WIDTH OF THEIR EASEMENT PRIOR TO CONSTRUCTION PLAN APPROVAL.
9. ALL DRAINAGE, EPC, AND WATER QUALITY PRACTICES SHOWN ON THIS PLAN ARE FOR CONCEPTUAL PURPOSES ONLY. FINAL DESIGN OF THESE ELEMENTS WILL BE DETERMINED PRIOR TO CONSTRUCTION PLAN APPROVAL AND SHALL COMPLY WITH ALL MSA AND MWD DESIGN MANUAL REQUIREMENTS.
10. MWD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
11. DETENTION BASIN CALCULATIONS:  
 $X = (7.9)(0.27)(2.6)/72 = 0.50 \text{ AC} = \text{REQUIRED}$   
 $X = 21,800 \text{ CU FT}$   
PROPOSED BASIN = 11,300 CU FT  
TOTAL = 17,200 CU FT @ 3 FT DEPTH  
= 33,700 CU FT > 21,800 CU FT

STREETS & SIDEWALKS

1. ALL ROADS WITHIN THE DEVELOPMENT SHALL HAVE CURBS AND GUTTERS. C&G-DE-S&GS SHALL HAVE A PAVEMENT WIDTH OF 20 FEET WITH A RADIUS OF 35 FEET AT C&G-DE-S&G. ALL OTHER ROADS SHALL BE 34 FEET IN WIDTH WITH A 35 FOOT RADIUS AT INTERSECTIONS.
2. SIDEWALKS WITHIN THE SUBDIVISION SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 6.2.1 OF THE LAND DEVELOPMENT CODE.
3. STREET GRADES SHALL NOT BE LESS THAN 1% (MIN) OR 1% (MAX).
4. VERGES SHALL BE PROVIDED AS REQUIRED BY METRO PUBLIC WORKS.
5. ALL STREETS, INTERSECTIONS, LOOP ROADS, C&G-DE-S&GS, TRAFFIC CIRCLES AND RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE DEVELOPMENT CODE AND METRO PUBLIC WORKS STANDARDS AND APPROVED AT THE TIME OF CONSTRUCTION.
6. ALL STREET NAME SIGNS SHALL CONFORM WITH THE ADOPTED REQUIREMENTS AND SHALL BE INSTALLED PRIOR TO THE RECORDING OF THE APPLICABLE SUBDIVISION PLAT OR PRIOR TO OBTAINING THE FIRST CERTIFICATE OF OCCUPANCY AND SHALL BE IN PLACE AT THE TIME OF BOND RELEASE.
7. THE LOCATION AND TYPE OF PLANTINGS WITHIN THE STREET RIGHTS-OF-WAY WILL BE EVALUATED FOR HIGHWAY SAFETY AND SIGHT DISTANCE REQUIREMENTS BY METRO PUBLIC WORKS WHICH RESERVES THE RIGHT TO REMOVE THEM WITHOUT THE PROPERTY OWNER'S APPROVAL.
8. SHOULD ANY EXISTING DRAINAGE STRUCTURES AND/OR UTILITIES LOCATED WITHIN OFFSITE RIGHTS-OF-WAY BECOME NECESSARY TO BE ALTERED, EXTENDED OR RELOCATED, SUCH SHALL BE AT THE OWNER'S/DEVELOPER'S EXPENSE.
9. ALL HIGHWAY INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.

SITE DATA

FORM DISTRICT: EXISTING ZONING: EXISTING USE: PROPOSED USE: GROSS SITE AREA: AREA IN ROW: NET SITE AREA: OPEN SPACE LOTS: BUILDABLE LOTS: GROSS DENSITY: NET DENSITY: MAXIMUM DENSITY:

NEIGHBORHOOD: SINGLE FAMILY RESIDENTIAL: SINGLE FAMILY RESIDENTIAL: 6.19 ACS: 1.67 ACS: 6.32 ACS: 34 LOTS: 1 LOTS: 4.15 DU/AC: 5.21 DU/AC: 7.26 DU/AC

YARD REQUIREMENTS

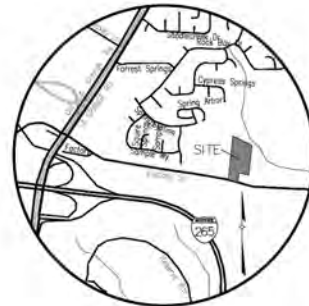
MIN. LOT AREA: 6,000 SF  
MIN. LOT WIDTH: 40'  
FRONT YARD: 25'  
STREET SIDE YARD: 5'  
MIN. SIDE YARD: 5'  
NEAR YARD: 22'

TREE CANOPY CALCULATIONS

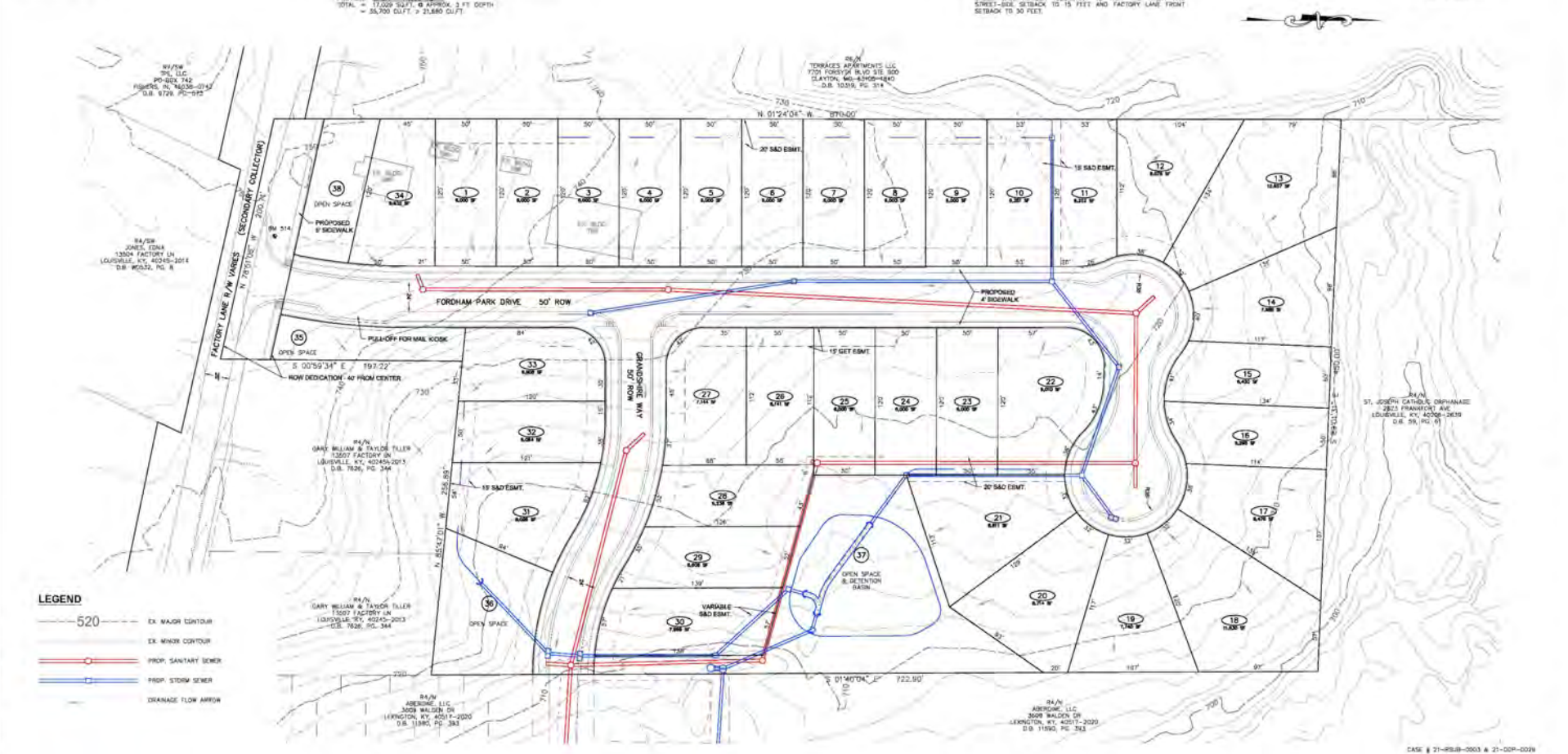
TOTAL SITE AREA: 156,760 SF  
EXISTING TREE CANOPY: 4508  
EXTING TREE CANOPY TO REMAIN: 5 SF (0%)  
TREES CANOPY REQUIRED: 142,704 SF (40%)

PREVIOUSLY GRANTED REQUEST

A VARIANCE FROM SECTION 6.3.1.2.2 OF THE LAND DEVELOPMENT CODE WAS GRANTED BY THE PLANNING COMMISSION ON 11/17/2016 UNDER CASE NUMBER 18020081 TO VARY THE FRONT AND STREET-REAR SETBACK TO 15 FEET AND FACTORY LANE FRONT SETBACK TO 30 FEET.



LOCATION MAP  
NOT TO SCALE



**LEGEND**

- 520 EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROP. SANITARY SEWER
- PROP. STORM SEWER
- DRAINAGE FLOW ARROW

**BENCHMARK DESCRIPTIONS**

BENCHMARK WAS BASED ON M.S.D. MONUMENT NO. GPS BM-34

BM #24: BASE POINT TYP ON EAST SIDE OF STREET "A", 56' RIGHT OF ROAD & STA 1+13.31



CASE # 21-0918-0003 & 21-009-0009  
RELATED CASE # 15024001 & 1510000002  
WOT #4 # 11817  
OWNER/DEVELOPER: RALPH HEMES OF OHIO, LLC  
11906 S. BIRCHMAN STREET, STE. 530  
CANNON, IN 46033  
D.B. 11805, PG. 43

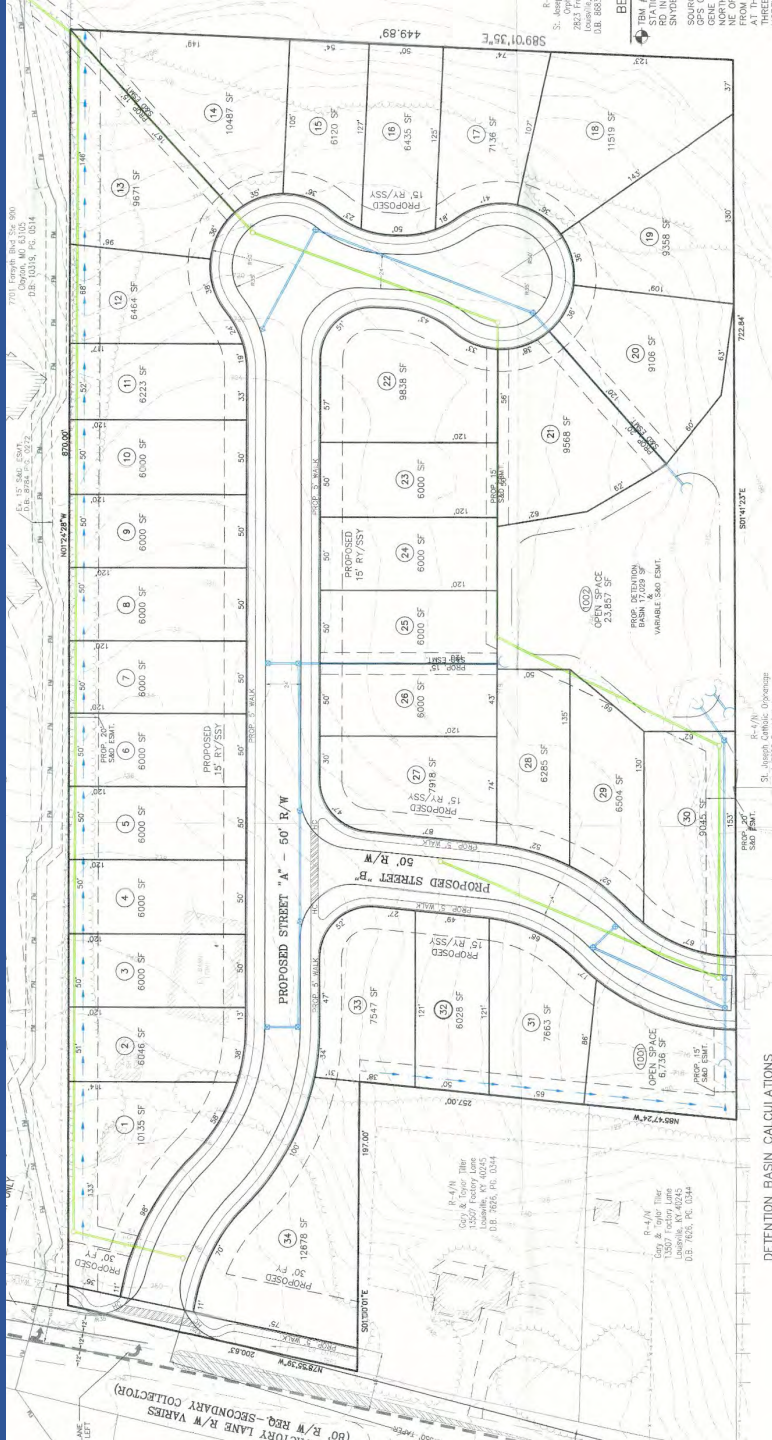
**SABAK, WILSON & LINGO, INC.**  
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS  
1500 S. 4th Street, Louisville, Kentucky 40203  
THE KENT CLAY

**MAJOR PRELIMINARY SUBDIVISION PLAN & REVISED DETAILED DEVELOPMENT PLAN**  
**FORDHAM PARK**  
15001 FACTORY LANE, LOUISVILLE, KY 40248  
TAX BLOCK 15, LOT 24

**SHEET TITLE:** MAJOR PRELIMINARY SUBDIVISION PLAN & REVISED DETAILED DEVELOPMENT PLAN  
**PROJECT TITLE:** FORDHAM PARK  
**DATE:** 3/15/21  
**DRAWING NO:** P S P  
**SHEET:** 1 OF 1

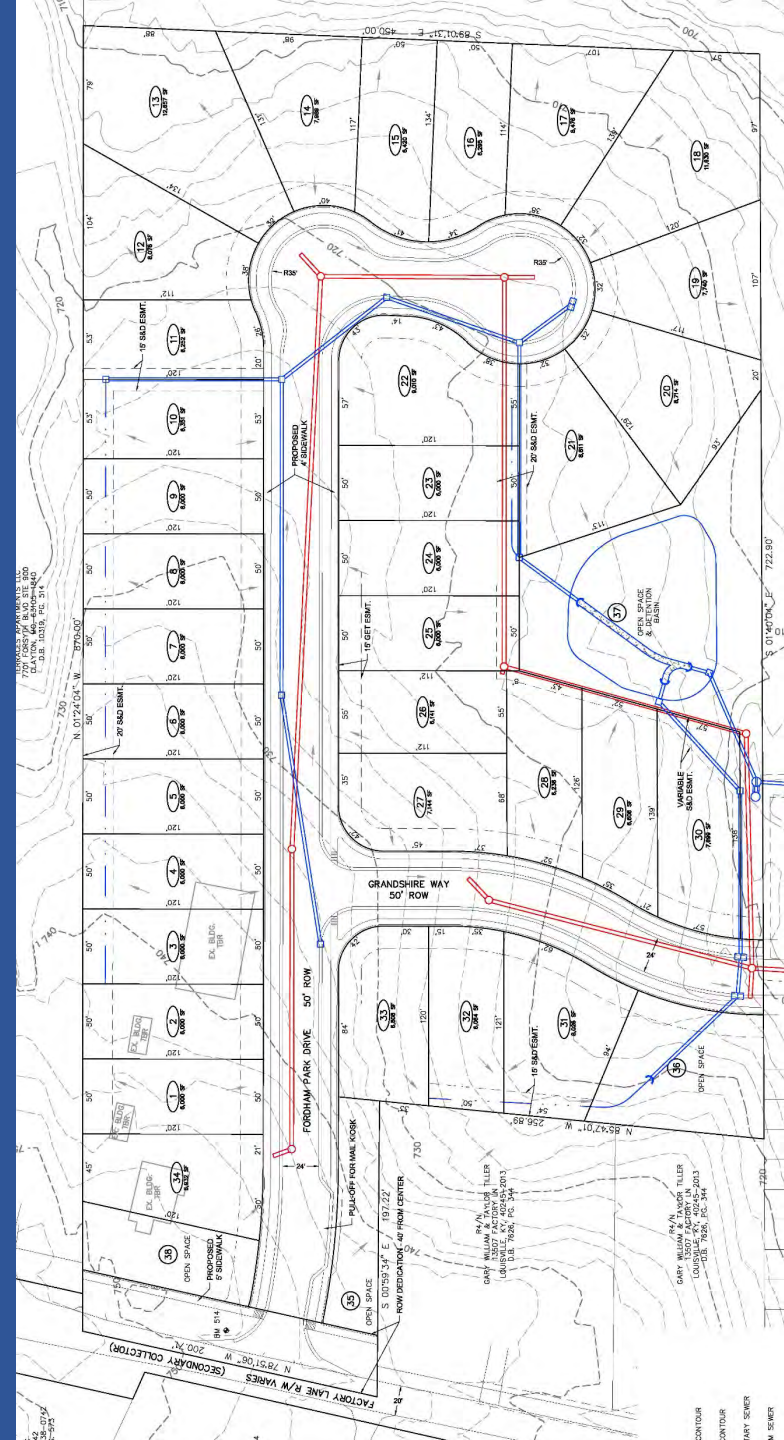


# COMPARISON



< 2018 APPROVED PLAN  
34 BUILDABLE LOTS  
2 OPEN SPACE LOTS

2021 PROPOSED PLAN >  
34 BUILDABLE LOTS  
4 OPEN SPACE LOTS



[illegible]

## OPTION 2 – FUTURE ADDED RIGHT-OF-WAY



PROPOSED PLAN

GENERAL

1. NO LOTS SHOWN HEREON MAY BE SUBDIVIDED OR RESUBDIVIDED RESULTING IN THE CREATION OF A GREATER NUMBER OF LOTS THAN ORIGINALLY APPROVED BY THE PLANNING COMMISSION.
2. THIS DEVELOPMENT IS LOCATED IN THE ANDOVERSIDE WILLOWTOWN FIRE PROTECTION DISTRICT AND APPROVAL SHALL BE OBTAINED PRIOR TO CONSTRUCTION APPROVAL.
3. CONSTRUCTION FENCING SHALL BE ERECTED AT THE EDGE OF THE LIMITS OF DISTURBANCE AREAS PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES. THE FENCING IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
4. A SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH THE METROPOLITAN SENIOR DISTRICT AND USDA SOIL CONSERVATION SERVICE RECOMMENDATIONS.
5. ALL OPEN SPACE LOTS ARE NON-BUILDABLE AND WILL BE RECORDED AS OPEN SPACE AND UTILITY EASEMENTS.
6. THERE SHALL BE NO ACCESS TO ANY LOT WITHIN PROPOSED SUBDIVISION FROM FACTORY LANE.
7. BENCHMARK AND TOPOGRAPHICAL INFORMATION SHOWN HEREON WERE DERIVED FROM LOCAL DATA. BOUNDARY INFORMATION WAS TAKEN FROM DEEDS.
8. COMPATIBLE ON-SITE UTILITIES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
9. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND ADJACENT PROPERTIES.
10. STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT EFFECT PUBLIC SAFETY OR HINDER SIGHT DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
11. A KAPST SURVEY WAS CONDUCTED BY KEVIN YOUNG ON JULY 25TH, 2016 AND NO KAPST FEATURES WERE FOUND.

SEWER & DRAINAGE

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10. MWD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
11. DETENTION BASIN CALCULATIONS -  $X = 7.93(0.27(2.6)/72 = 0.50$  AC-FT = REQUIRED  $X = 21,880$  CU-FT.  
PROPOSED BASIN = 11,300 CU-FT.  
TOTAL = 17,000 CU-FT @ 3 FT DEPTH  
= 33,700 CU-FT > 21,880 CU-FT

STREETS & SIDEWALKS

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9. ALL HIGHWAY INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.

SITE DATA

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NEIGHBORHOOD: SINGLE FAMILY RESIDENTIAL: SINGLE FAMILY RESIDENTIAL: 6.19 ACS: 1.67 ACS: 6.32 ACS: 34 LOTS: 4 LOTS: 4.15 DU/AC: 5.21 DU/AC: 7.26 DU/AC

YARD REQUIREMENTS

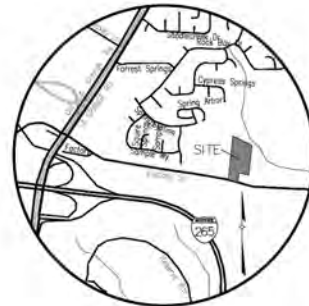
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MIN. SIDE YARD: 5'  
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TREE CANOPY CALCULATIONS

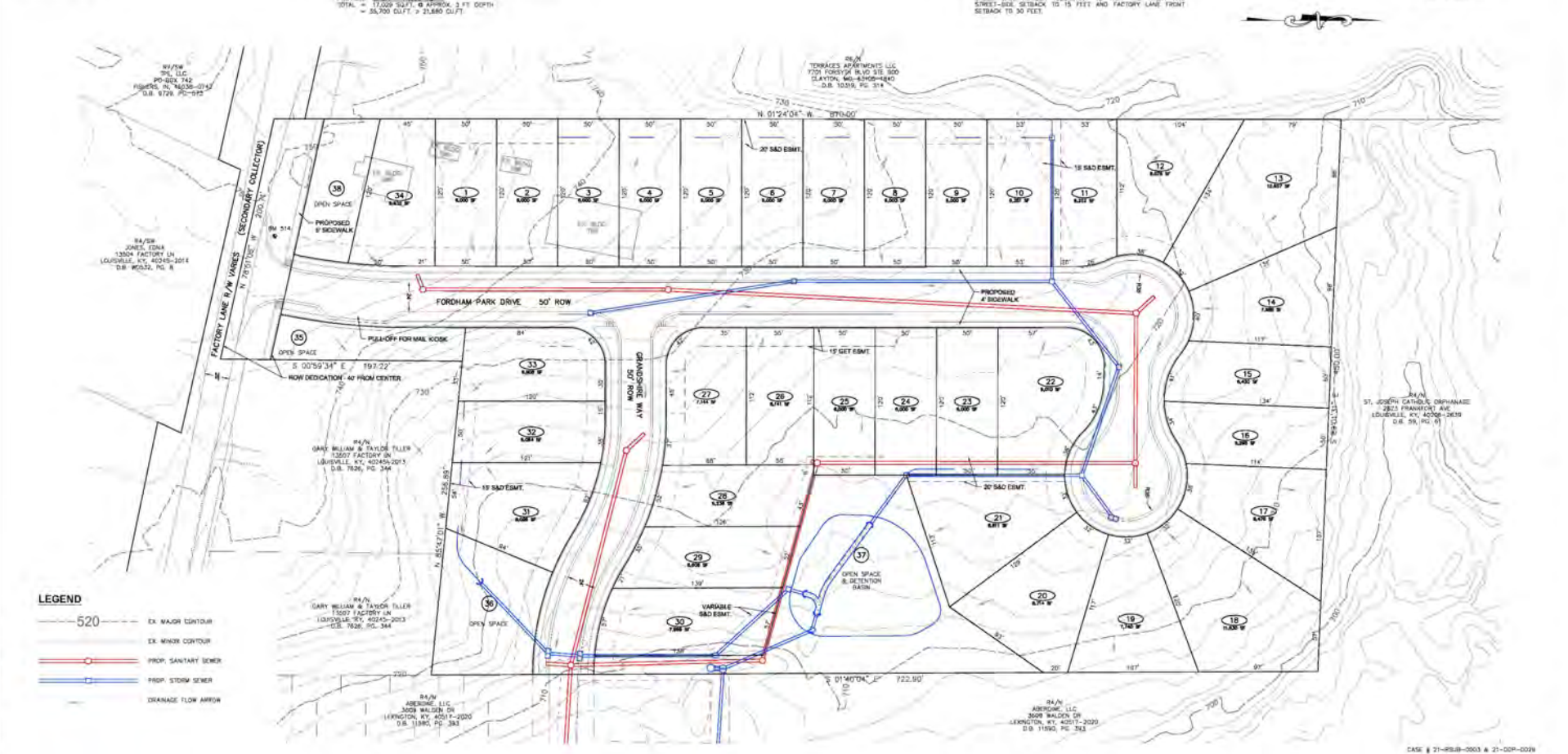
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LOCATION MAP  
NOT TO SCALE



**LEGEND**

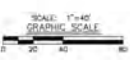
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- EX MINOR CONTOUR
- PROP. SANITARY SEWER
- PROP. STORM SEWER
- DRAINAGE FLOW ARROW

**BENCHMARK DESCRIPTIONS**

BENCHMARK WAS BASED ON M.S.D. MONUMENT NO. GPS BM-34

BM #24: BASE POINT TYP ON EAST SIDE OF STREET "A", 56' RIGHT OF ROAD & STA 1+13.3

ELEV 753.38



CASE # 21-0508-0003 & 21-009-0009  
RELATED CASE # 15024001 & 1505007023  
WOT #4 # 11817  
OWNER/DEVELOPER: RALPH HEMES OF OHIO, LLC  
11396 S. BIRCHMAN STREET, STE. 530  
CANNON, IN 46033  
D.B. 11805, PG. 43

**SABAK, WILSON & LINGO, INC.**  
ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS  
1500 S.W. 4th St., Suite 200  
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FAX: 954.578.1235  
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**MAJOR PRELIMINARY SUBDIVISION PLAN & REVISED DETAILED DEVELOPMENT PLAN**

**FORDHAM PARK**

1500 FACTORY LANE, LOUISVILLE, KY 40208  
TAX BLOCK 15, LOT 24

**SHEET TITLE:** MAJOR PRELIMINARY SUBDIVISION PLAN & REVISED DETAILED DEVELOPMENT PLAN

**PROJECT TITLE:** FORDHAM PARK

**DATE:** 3/15/21

**DRAWING NO:** P S P

**SHEET 1 OF 1**