

GENERAL NOTES:

1. DOMESTIC WATER SUPPLY:
SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER/DEVELOPER'S EXPENSE.
2. TREE PRESERVATION:
A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
3. PROTECTION OF TREES TO BE PRESERVED:
CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES—PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
4. A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED AS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
5. THE DEVELOPMENT LIES IN THE ANCHORAGE/MIDLETOWN FIRE DISTRICT.
6. ALL LUMINAIRES SHALL BE AIMED, DIRECTED OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROJECTED OPEN SPACES (IE. CONSERVATION EASEMENTS, GREENWAYS OR PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE ON PUBLIC STREETS AND RIGHT-OF-WAYS PER CHAPTER 4.1.3. OF THE LDC.
7. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBORHOODS.
8. ALL EXISTING STRUCTURES AND EXISTING ENTRANCES SHALL BE REMOVED, EXCEPT AS NOTED ON THE PLAN.
9. IN ACCORDANCE WITH CHAPTER 4.9 OF THE LDC, A KARST SURVEY WAS PERFORMED BY TRAVIS BROWN ON 3/29/21 AND TWO POTENTIAL KARST FEATURES WERE FOUND. A REVIEW OF PUBLISHED GEOLOGIC INFORMATION FROM THE KY GEOLOGICAL SURVEY CONTAINED NO MAPPED SINKHOLES ON THE SUBJECT PROPERTY.
10. ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS, GENERATOR PADS TO BE SCREENED PER CHAPTER 10 OF THE LDC.
11. BUILDING ARCHITECTURE TO COMPLY WITH CHAPTER 5.6 OF THE LDC.
12. ALL INTERIOR SIDEWALKS THAT ABUT PARKING TO BE FIVE (5) FEET WIDE MINIMUM.

MSD NOTES:

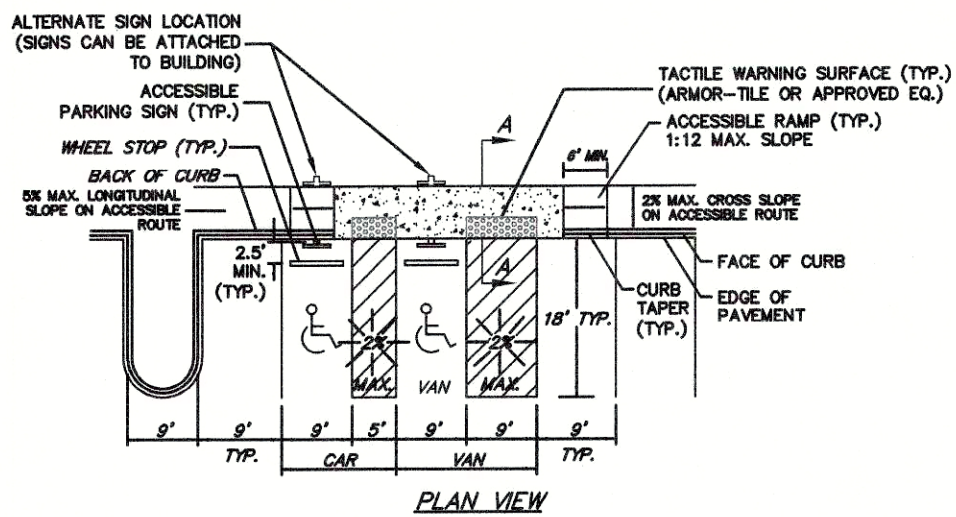
1. CONSTRUCTION PLANS & DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS.
2. WASTEWATER:
SANITARY SEWER WILL CONNECT TO THE DEREK R. GUTHRIE WASTEWATER TREATMENT PLANT BY PRIVATE SERVICE CONNECTION, SUBJECT TO FEES. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
3. DRAINAGE/STORMWATER DETENTION:
DETENTION TO BE PROVIDED ON SITE AS DEPICTED ON THE PLAN. POST-DEVELOPMENT PEAK FLOWS WILL NOT EXCEED PRE-DEVELOPED PEAK FLOWS FROM DEVELOPMENT FOR THE 2, 10, 25, AND 100 YEAR STORMS OR TO DOWNSTREAM CAPACITY, WHICH IS MORE RESTRICTIVE. DRAINAGE PATTERN (DEPICTED BY FLOW ARROWS) IS FOR THE CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
4. EROSION AND SILT CONTROL:
A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS.
5. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING (2111100 21F).
6. THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.

PUBLIC WORKS AND KTC NOTES:

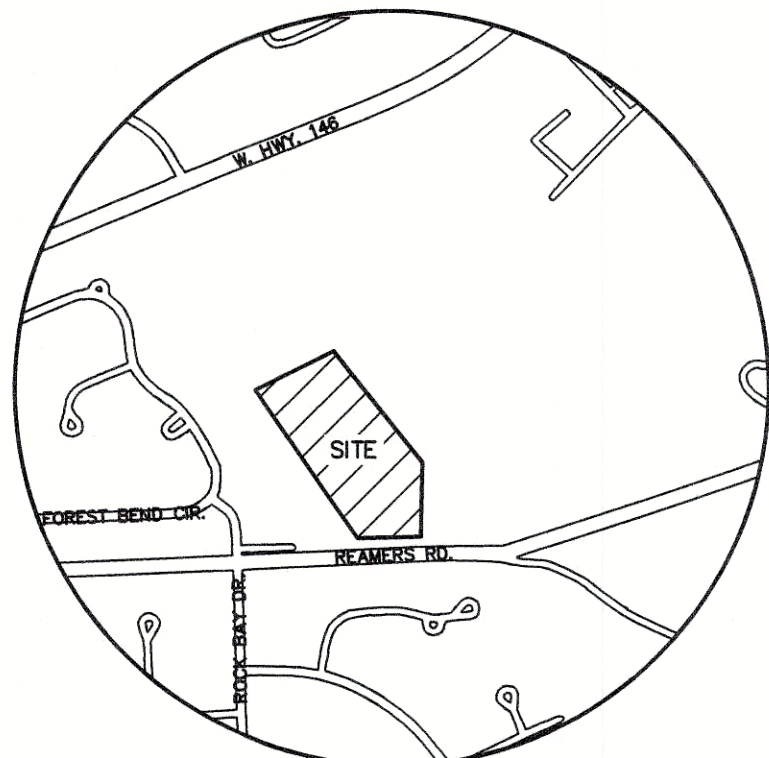
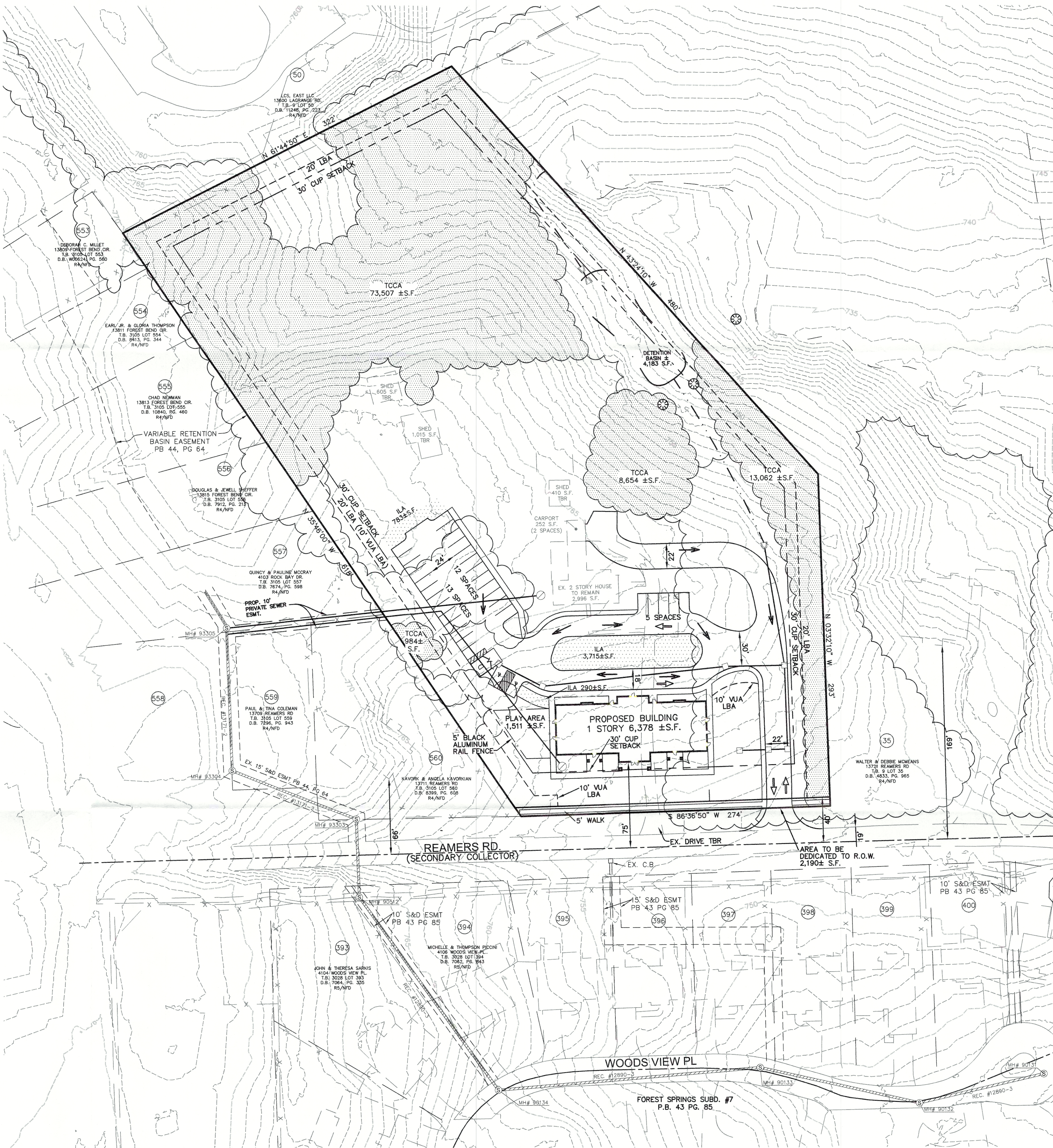
1. NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN METRO WORKS RIGHT-OF-WAY.
2. RIGHT-OF-WAY DEDICATION BY DEED OR MINOR PLAT MUST BE RECORDED PRIOR TO SITE CONSTRUCTION APPROVAL BY PUBLIC WORKS OR WITH ASSOCIATED RECORD PLAT AS REQUIRED BY METRO PUBLIC WORKS.
3. COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
4. STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
5. AN ENCROACHMENT PERMIT AND BOND MAY BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES.
6. THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
7. ALL SIDEWALK RAMPS SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE "SPECIAL NOTE FOR DETECTABLE WARNING FOR SIDEWALK RAMPS" PER KTC STANDARD DRAWING FOR SIDEWALKS AND PER "KENTUCKY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.

DETENTION CALCULATIONS BASIN

2.9/12 (0.75-0.3) (1.0) = 0.11 AC-FT
BASIN DEPTH = 1.2'



TYPICAL ACCESSIBLE PARKING SPACES
NO SCALE



LOCATION MAP
NO SCALE

LEGEND

- EXISTING CONTOUR
- EXISTING TREE MASS
- EXISTING FENCE
- EXISTING TOE OF SLOPE/DITCH
- EXISTING STORM LINE W/CATCH BASIN
- EXISTING SANITARY MANHOLE W/PIPE
- PROPOSED STORM LINE, CATCH BASIN AND HEADWALL
- PROPOSED DITCH/SWALE
- PROPOSED 2" FORCE MAIN, PRIVATE PUMP STATION & PSC
- PROPOSED DRAINAGE ARROW
- REVISED TREE LINE
- PROPOSED LANDSCAPE BUFFER AREA
- POTENTIAL KARST FEATURE

ADJACENT PROPERTY OWNERS

TAX BLOCK & LOT	OWNER	DEED BOOK & PAGE	ADDRESS	ZONING/ED
3028 X 395	KEVIN & SHERRY FETT	7078 X 50	4108 WOODS VIEW PL.	R5/NFD
3028 X 396	JOHN & MICHELLE ZANGARI	7717 X 459	4110 WOODS VIEW PL.	R5/NFD
3028 X 397	MICHAEL PERRY	11048 X 819	4112 WOODS VIEW PL.	R5/NFD
3028 X 398	WILLIAM & DARLENE SETTLER	10201 X 531	4114 WOODS VIEW PL.	R5/NFD
3028 X 399	JEFFREY HALE	8853 X 961	4116 WOODS VIEW PL.	R5/NFD
3028 X 400	WILLIAM & JANE CUTLER	7273 X 627	4118 WOODS VIEW PL.	R5/NFD
3028 X 401	JAMES & JULIE LUCKETT	9191 X 748	4120 WOODS VIEW PL.	R5/NFD
3105 X 558	WILLIAM HAYDEN	9342 X 412	4101 ROCK BAY DR.	R4/NFD

SITE DATA:

EXISTING FORM DISTRICT	NFD
EXISTING ZONING	R4
EXISTING LAND USE	RESIDENTIAL
PROPOSED LAND USE	PRESCHOOL
GROSS LAND AREA	5.33± AC.
NET LAND AREA	5.28± AC.
BUILDING AREA	
SCHOOL (8 CLASSROOMS & 770 S.F. GYM)	6,378 ± S.F.
EXISTING HOME	2,990 ± S.F.
TOTAL	9,374 ± S.F.
FLOOR AREA RATIO (MAX. ALLOWED 0.5)	0.04
STUDENTS (MAX EACH SESSION AM & PM)	125
STAFF	7
PARKING REQUIRED	
SCHOOL	
MINIMUM (PER PLANNING DIRECTOR)	32 SPACES
MAXIMUM (MINIMUM X 25%)	40 SPACES
EXISTING HOME	
MINIMUM (2 SPACE/UNIT)	2 SPACES
MAXIMUM (5 SPACE/UNIT)	5 SPACES
TOTAL REQUIRED	34-45 SPACES
PARKING PROVIDED	34 SPACES
(INCLUDES 2 ACCESSIBLE & 2 IN CARPORT)	

IMPERVIOUS AREA:

EXISTING IMPERVIOUS AREA	8,826± S.F.
PROPOSED IMPERVIOUS AREA	38,773± S.F.
NET IMPERVIOUS AREA	45,011± S.F.

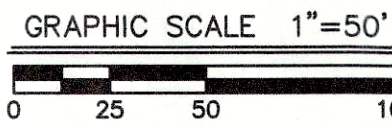
TREE CANOPY DATA:

GROSS SITE AREA	232,361± S.F.
PROPOSED LAND USE	INSTITUTIONAL
EXISTING TREE CANOPY	148,756± S.F. (64%)
EXISTING TREE CANOPY TO BE PRESERVED	96,207± S.F. (41%)
TOTAL TREE CANOPY REQUIRED	52,064± S.F. (35%)

*TREE CANOPY DEPICTED ON PLAN PER MSD LOGIC MAPPING, AERIAL PHOTO OR FIELD SURVEY. TREE CANOPY CALCULATIONS BASED UPON TREE AREAS SHOWN.

LANDSCAPE DATA:

V.U.A.	27,800± S.F.
I.L.A. REQUIRED (7.5% X V.U.A.)	2,085 S.F.
I.L.A. PROVIDED	4,005± S.F.



PROJECT # 21-CUP-0049
RELATED CASE # 21-CUPPA-0033
MSD WM # 12267

RECEIVED
MAY 25 2021
PLANNING & DESIGN SERVICES

CONDITIONAL USE PERMIT PLAN
IVYBROOK ACADEMY

13715 REAMERS RD.
LOUISVILLE, KY 40245-1910
TAX BLOCK 9, LOT 34
DEED BOOK 4949, PAGE 379

Revisions	DATE	BY	REVISION
05/03/21	PER AGENCY COMMENTS		
05/24/21	PER AGENCY COMMENTS		

Vertical Scale: N/A

Horizontal Scale: 1"=50'

Date: 4/05/21

Job Number: 3789

Sheet

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of 1

DEVELOPER
SANDCASTLES INC.
11110 ROCK BLUFF PLACE
LOUISVILLE, KY 40241

OWNER
MOMMAN LEE MCCAY
& SHARON SPECK
13715 REAMERS RD.
LOUISVILLE, KY 40245



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