



Louisville-Jefferson County Metro Government

PLANNING AND DESIGN SERVICES

METRO DEVELOPMENT CENTER 444 SOUTH 5th STREET SUITE 300
LOUISVILLE, KENTUCKY 40202

Phone: (502) 574-6230 Website: <https://louisvilleky.gov/government/planning-design>

Certificate of Appropriateness Application

Case Number: 21-COA-0058

Submittal Date: 03/24/2021

Intake Staff: Priscilla
Bowman

Application Information

Primary Address: 736 ZANE ST 40203
Primary Parcel Id: 029G00320000
Project Description: Construction of a new single-family residence on a vacant lot.
Project Name: Limerick - 736 Zane St

GENERAL INFORMATION

Acres	0.05
Dwelling Units	1
Historic Preservation District	Limerick
Land Use General	Residential
Land Use Specific	Single Family
New Building Square Feet	1564
Number of Meeting Notification Postcards	4
Project Cost	100000
PVA Assessed Value	2250
Rooms	0

GIS INFORMATION

Current Subdivision Name	NONE
Fire Protection District	CITY OF LOUISVILLE
Historic Preservation District	Limerick
Historic Site	Yes
National Register District	NONE

Overlay District	NONE
Plan Certain	NONE
Plat Book - Page	NONE
System Development District	NO

Owner Information

Name: UMI, VENTURES LLC
Address: 8803 MEADOW SWEET WAY, LOUISVILLE, KY 40228

Contact Information

Type: Property Owner
Name: VENTURES LLC UMI
Address: 8803 MEADOW SWEET WAY
LOUISVILLE KY 40228 197

Phone:

Email: umiventuresllc@gmail.com

Type: Professional
Name: Mick Logsdon
Address: 1616 Gardiner Ln #101
Louisville KY 40205

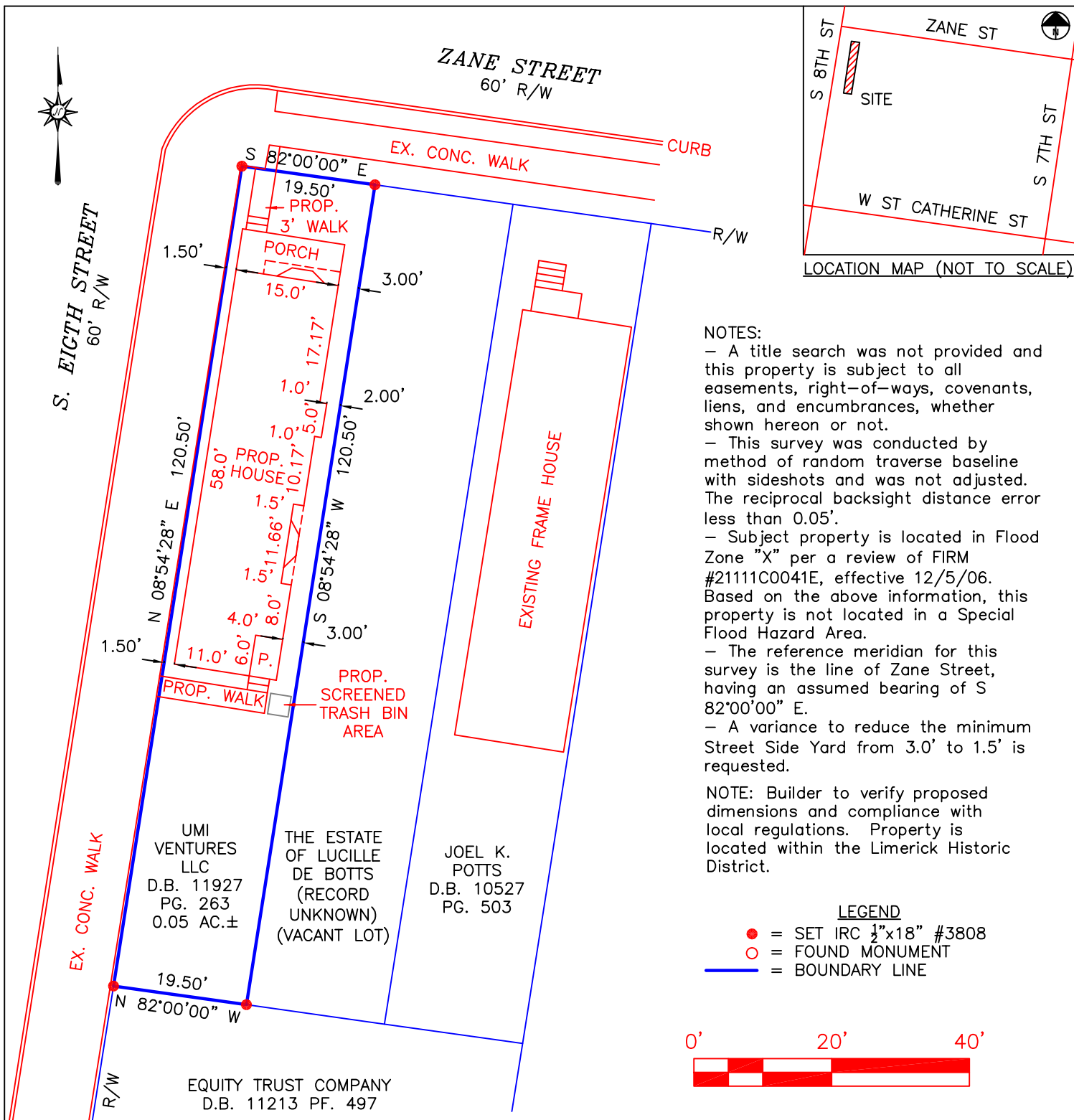
Phone: 5025999930

Email: mick.logsdon@gmail.com

Owner Certification Statement

Application Submitted By: LOGSDON MICK

I hereby certify that I am the owner of property subject of this application, or that I am authorized to submit this application on behalf of the owner(s) of the property. I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.



NOTES:

- A title search was not provided and this property is subject to all easements, right-of-ways, covenants, liens, and encumbrances, whether shown hereon or not.
- This survey was conducted by method of random traverse baseline with sideshots and was not adjusted. The reciprocal backsight distance error less than 0.05'.
- Subject property is located in Flood Zone "X" per a review of FIRM #21111C0041E, effective 12/5/06. Based on the above information, this property is not located in a Special Flood Hazard Area.
- The reference meridian for this survey is the line of Zane Street, having an assumed bearing of S 82°00'00" E.
- A variance to reduce the minimum Street Side Yard from 3.0' to 1.5' is requested.

NOTE: Builder to verify proposed dimensions and compliance with local regulations. Property is located within the Limerick Historic District.

LEGEND

- = SET IRC 1/2"x18" #3808
- = FOUND MONUMENT
- = BOUNDARY LINE



SURVEYOR'S CERTIFICATE

I hereby certify that this plat and survey were made under my direct supervision and represents a Boundary Survey in compliance with 201 KAR 18:150.

This is an "urban" class survey.

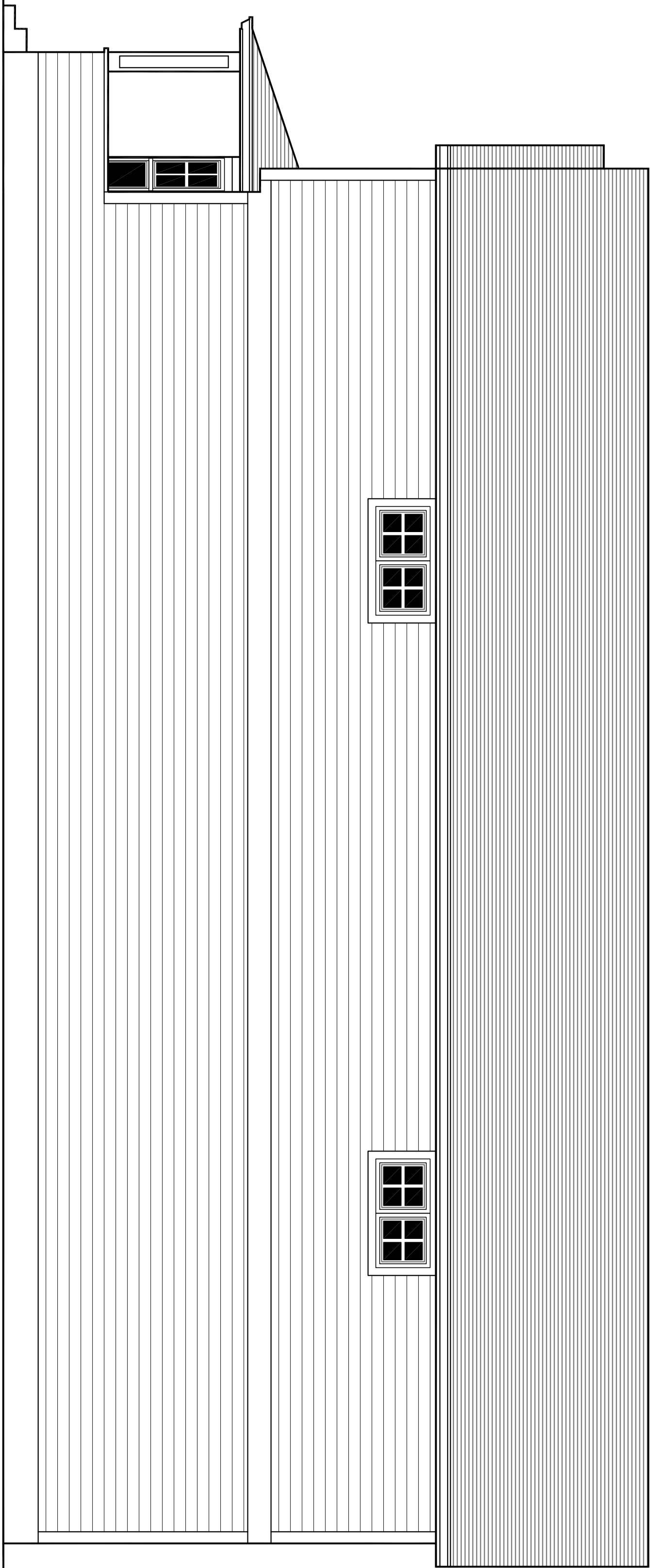
BOUNDARY SURVEY & PLOT PLAN

FOR UMI VENTURES LLC
8803 MEADOW SWEET WAY
LOUISVILLE KY 40228
OF

736 ZANE ST, LOUISVILLE KY 40203
PARCEL ID #029G00320000
D.B. 11927 PG. 263

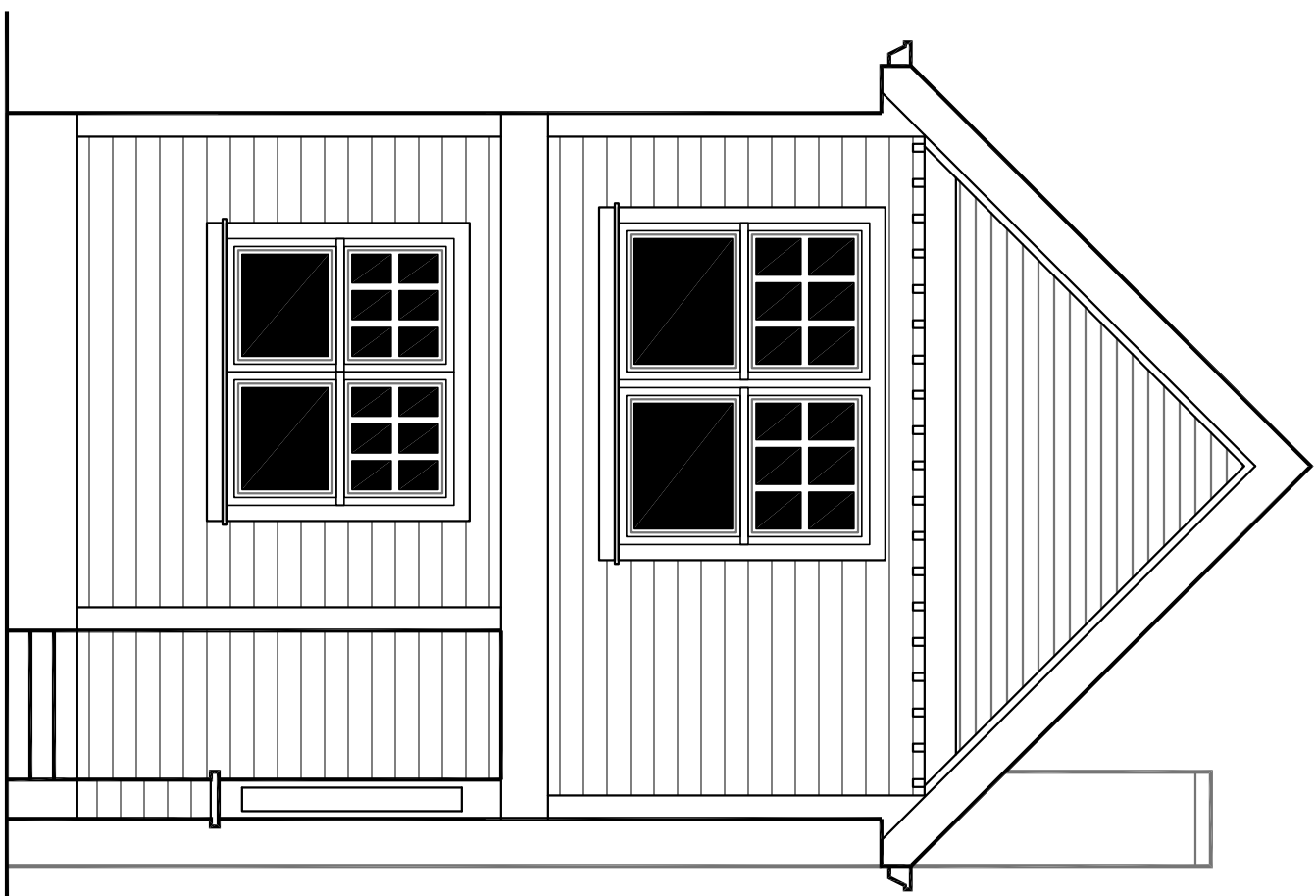
LOGSDON SURVEYING
6808 WOODROW WAY, LOUISVILLE KY 40228
502-599-9930 www.logsdonsurveying.net
FIELD DATE: 3/18/2021 SCALE: 1" = 20'

PRELIMINARY
NOT FOR RECORDING
Mick Logsdon PLS# 3808 Date 4/15/2021



DIGHT ELEVATION

SCALE: 1/4" = 1'-0"



DEAR ELEVATION

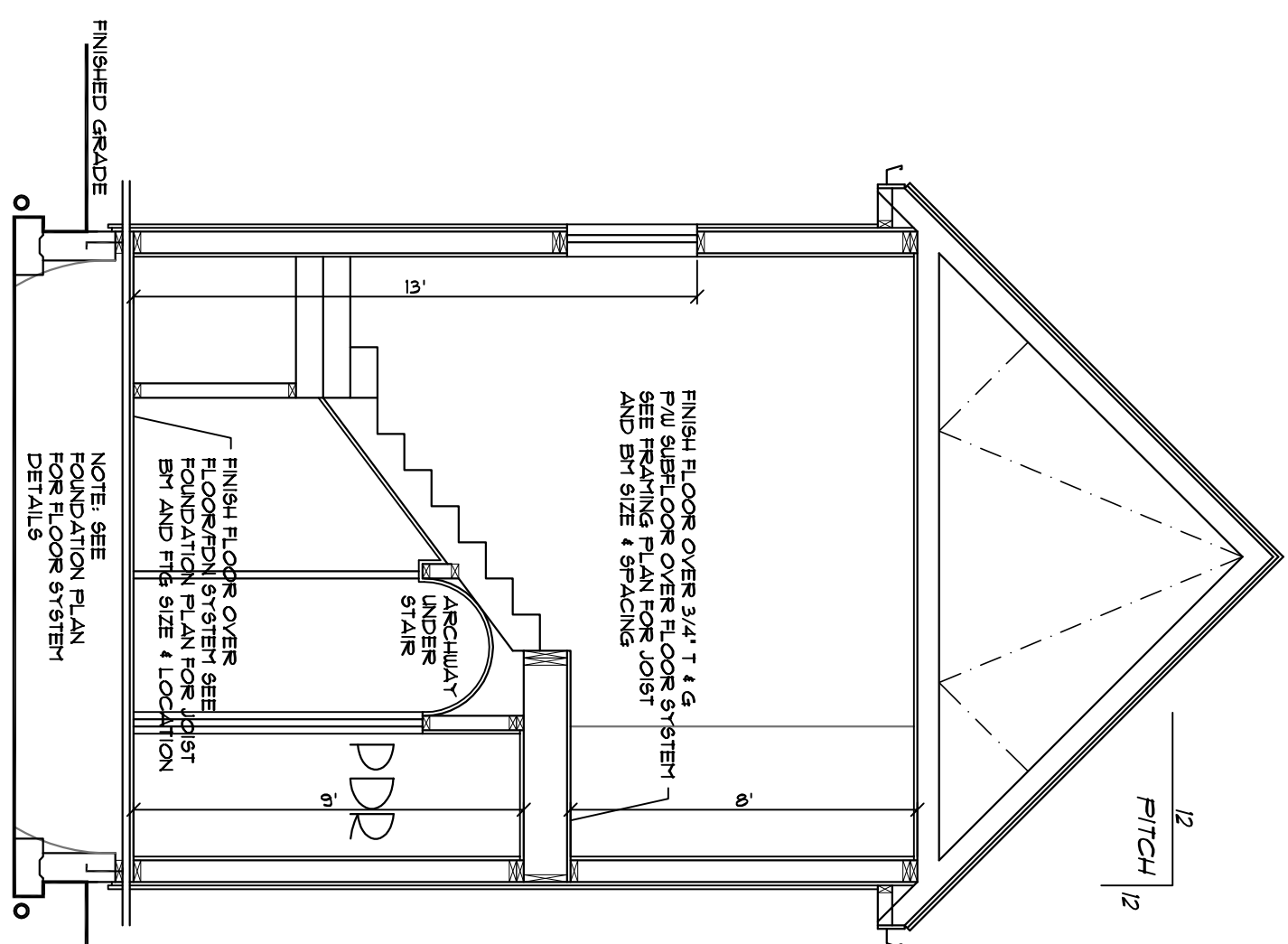
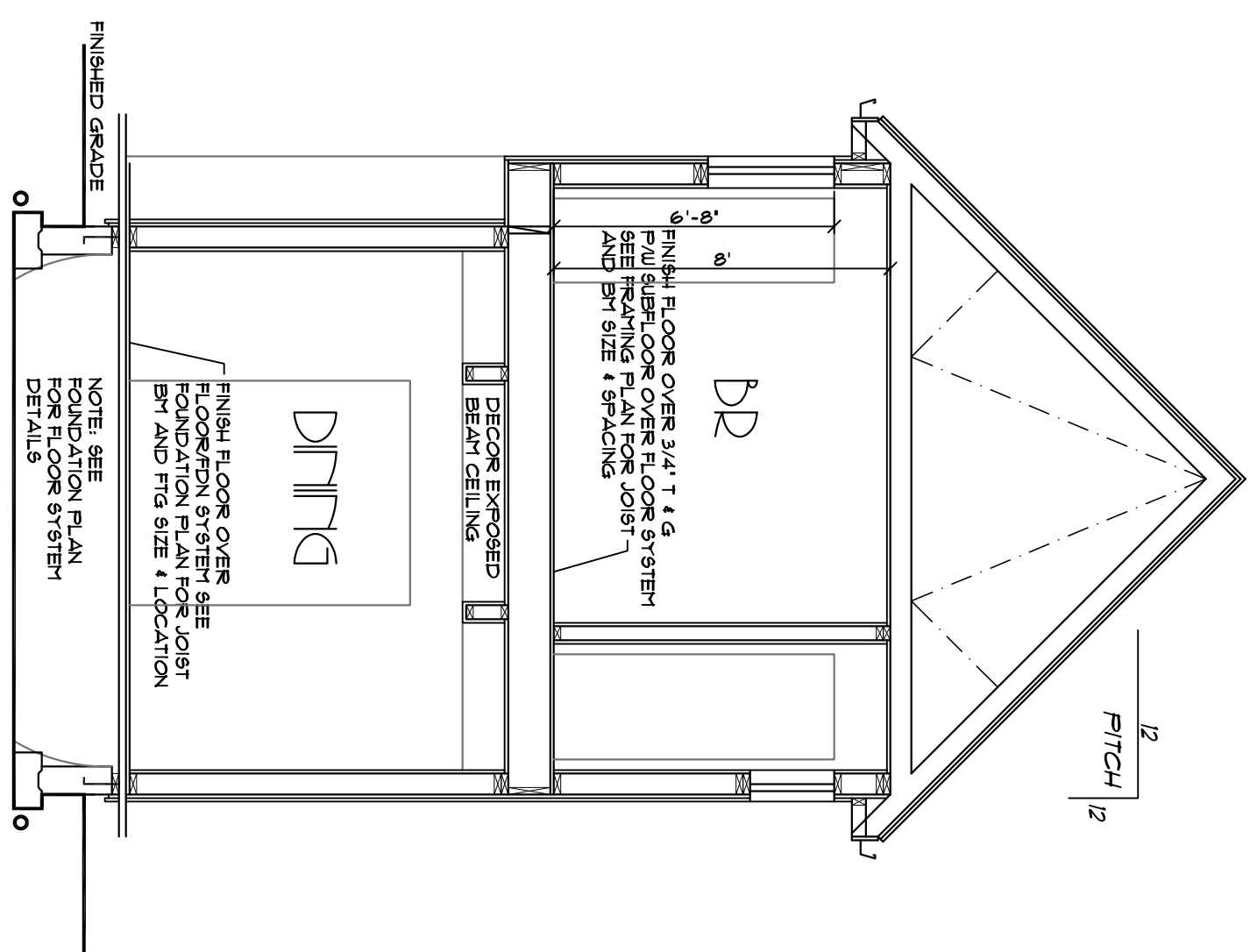
SCALE: 1/4" = 1'-0"

©COPYRIGHT 2000
istockhouseplans.com

DATE 11/27/06

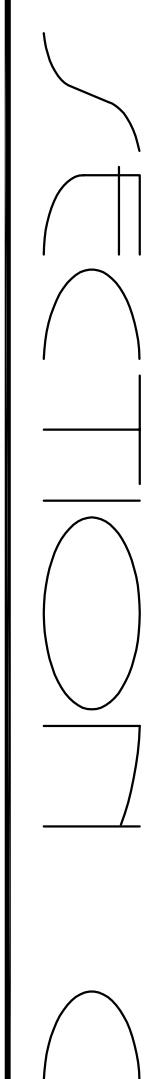
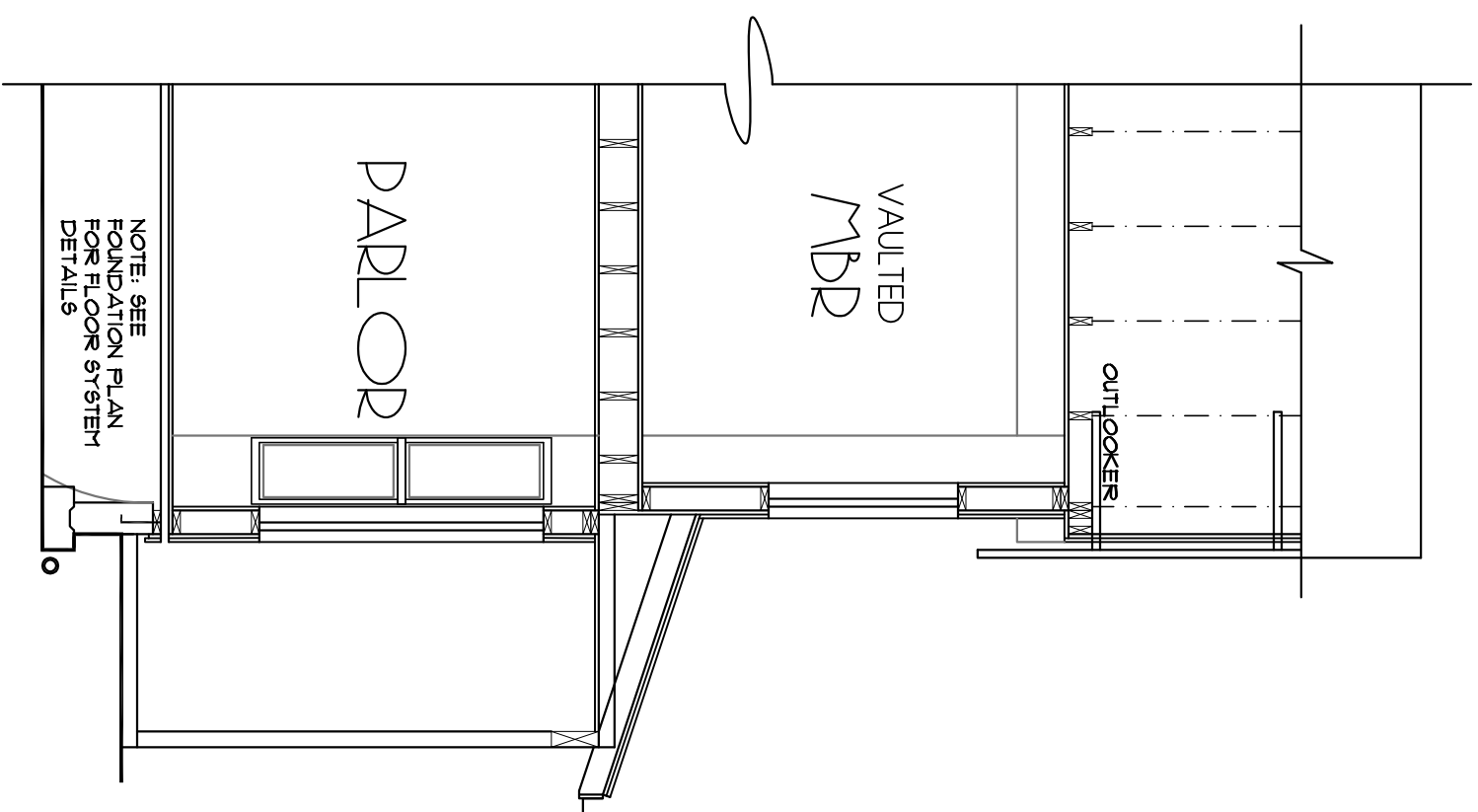
THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN CONSTRUCTION OF ONE BUILDING ONLY & ARE SUBJECT TO THE FOLLOWING CONDITIONS: THE CUSTOMER'S UNLAWFUL USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER, EXCEPT ON LOAN BY THE CUSTOMER TO THIRD PARTIES NECESSARY TO ASSIST THE CUSTOMER IN THE CONSTRUCTION OF THE BUILDING, VIOLATES THE PLANS ARE CAREFULLY PREPARED FOR USE BY THE CUSTOMER. HOWEVER, ADAPTATION OF THE PLANS TO MEET SPECIFIC STATE & LOCAL BUILDING CODES & REGULATIONS AT A SPECIFIC SITE IS THE RESPONSIBILITY OF THE CONTRACTOR. IN ADDITION, THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY DAMAGES RELATING TO THE CONTRACTOR'S INTERPRETATION OF THE PLANS OR DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS OF THE SITE. THE FEE PAID FOR THESE PLANS DOES NOT INCLUDE THE ARCHITECT'S OBLIGATION TO CAREFULLY INSPECT ALL DIMENSIONS & DETAILS IN THE PLANS FOR ERRORS & OMISSIONS.

THE CUSTOMER MAY COPY OR REPRODUCE ANY PART OF THE PLANS, BUT THE CUSTOMER MAY NOT REPRODUCE OR COPY ANY PART OF THE PLANS FOR ANY OTHER PROJECT. THE CUSTOMER MAY NOT REPRODUCE OR COPY ANY PART OF THE PLANS FOR ANY OTHER PROJECT. THE CUSTOMER MAY NOT REPRODUCE OR COPY ANY PART OF THE PLANS FOR ANY OTHER PROJECT.

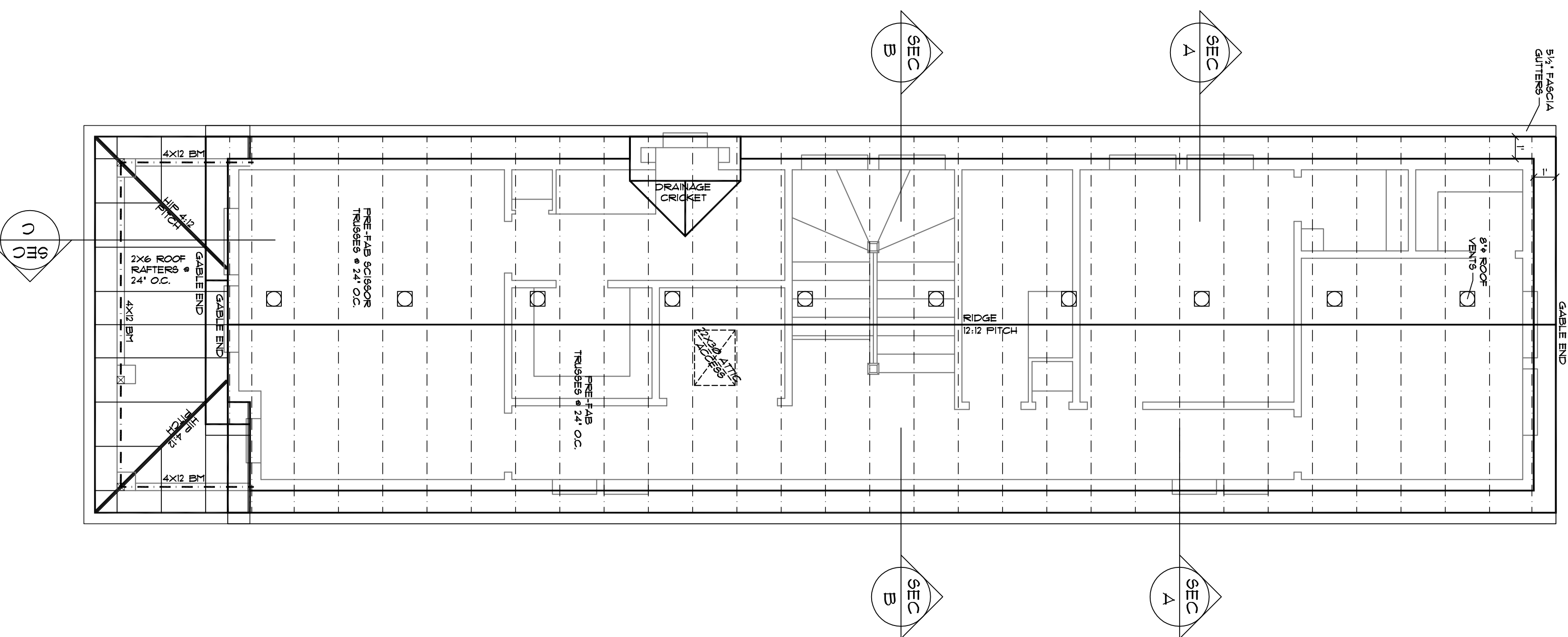


RECTOR

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



ROOF FRAMING

SCALE: 1/4" = 1'-0"

©COPYRIGHT 2006
istockhouseplans.com

PLAN#	<u>1558</u>
NAME	<u>LOMBARD</u>
SHEET	<u>FRMG PLAN</u>
DATE	<u>11/27/06</u>

5 SHEET*

GENERAL NOTES

- DESIGN LOADS:
ROOF 25 PSF (LIVE LOAD)
FLOOR 40 PSF
STAIRS 100 PSF
GARAGE FLOOR 50 PSF
DECKS 60 PSF
- INSULATION:
A) CEILING (VAULTED) R-30
B) CEILING (FLAT) R-36
C) WALLS R-21
D) FLOOR (OVER UNHEATED AREA) R-30
THE ABOVE VALUES ARE MINIMUM AND MUST BE INCREASED IF DESIRED. ALL EXTERIOR WALLS AND FLOOR HEADERS 5'-0" TO 8'-0" ARE TO BE 4" X 12" GARAGE HEADERS MAY ALSO BE DESIGNED.
- WINDOWS:
A) EACH BEDROOM TO HAVE A MIN. WINDOW WITH A MIN. HEIGHT OF 20" MIN. HEIGHT OF 22" AND A SILL LESS THAN 44" ABOVE FIN F.L.R.
B) ALL EXTERIOR WINDOWS TO BE DOUBLE GLAZED. U+0.32
C) ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR TO BE TIGHTERED.
4. ALL ELECTRICAL OUTLETS IN GARAGES, BATHROOMS, AND KITCHENS TO BE GFI. PER ELECTRICAL CODE STANDARDS.
5. ALL BATHROOMS AND UTILITY ROOMS TO BE PROVIDED WITH A FAN VENTED TO THE EXTERIOR WITH A MIN. OF 3 LINEAR FEET OF FREE AREA. THIS ALSO INCLUDES RANGE HOODS.

FOUNDATION NOTES

- EXCAVATE TO PROVIDE A MIN. OF 18" BEAM TO GRADE CLEARANCE.
- FOUNDATIONS ARE TO BE ON ONLY UNDISTURBED SOIL.
- ANY FILL UNDER SLABS TO BE A MIN. OF 4" GRANULAR FILL COMPACTED TO A MIN. OF 95%
- CONCRETE TO MEET FOLLOWING SPECS:
A) BASEMENT WALLS AND FOUNDATIONS EXPOSED TO EXTERIOR (2500 PSI)
B) INTERIOR SLABS ON GRADE (3500 PSI)
C) BASEMENT WALLS AND FOUNDATIONS EXPOSED TO INTERIOR (3000 PSI)
D) PORCHES, STEPS, AND GRADE SLABS (3500 PSI)
5. CONCRETE SLABS TO HAVE CONTROL JOINTS NO MORE THAN 15' IN SPAN ANY DIRECTION.
6. COVER ENTIRE CRAWLSPACE WITH 6 MIL BLK. POLY. VAPOR BARRIER
1. PROVIDE CRAWLSPACE DRAINS PER IRC, SECTION R405
8. REINFORCING STEEL IN FOUNDATION WALLS, FOOTINGS, RETAINING WALLS, AND SLABS TO BE PROVIDED WHEN UNDER SITE CONDITIONS AND OR CITY/COUNTY REQUIREMENTS WARRANT IT'S USE
9. BEAM POCKETS TO HAVE 12" AIRSPACE AT ALL SIDES AND BEAM MUST HAVE A MIN. OF 3" BEARING.
10. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
11. PROVIDE A MIN. OF 1.50 FT. OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWLSPACE. VENT TO BE CLOSEABLE WITH A CORROSION PROOF MESH COVERING.

FRAMING NOTES

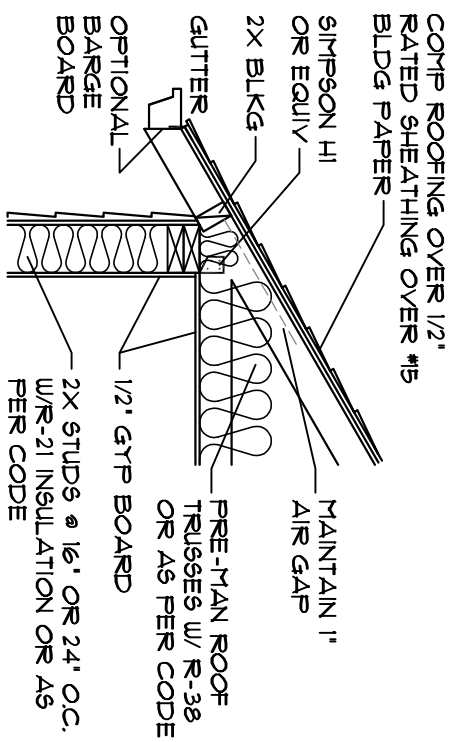
- LUMBER SPECIES:
A) POSTS, BEAMS, HEADERS, RAFTERS, AND JOISTS - NO. 2 DFL.
B) STUDS - STUD GRADE DFL.
C) SILL S. PLATES, BLOCKING, BRIDGING, ETC. - NO. 3 DFL.
D) POST AND BEAM DECKING TO BE UTILITY GRADE DFL.
E) SHEATHING - 1/2" CDX PLYD 32/16 OR 11/8" OSB.
NAILING: 8d @ 6" O.C. EDGES, 12" O.C. FIELD
2. ALL EXTERIOR HEADERS LESS THAN 5'-0" LONG SHALL BE 4" X 12" GARAGE HEADERS 5'-0" TO 8'-0" ARE TO BE 4" X 12".
3. PROVIDE DOUBLE JOIST UNDER ALL PARTITION WALLS ABOVE RUNNING PARALLEL TO JOIST.
4. ATTIC ACCESS MUST BE 22' x 30" MIN. WITH 30° OF HEADROOM DIRECTLY ABOVE OPENING. ATTIC VENTS TO BE A MIN. OF 1/600 OF ATTIC AREA. 1/2" TO BE RIGID POLYESTER INSULATION. EAVE VENTS TO BE COVERED WITH MIN. 1/4" CORROSION PROOF WIRE MESH.
5. ALL EXTERIOR POST AND BEAMS WILL BE PROVIDED WITH APPROVED PAINTED STEEL ANCHORS AND/OR CONNECTORS.
6. ALL STAIRS SHALL BE FINISHED WITH 3/4" T&G PLYD OVER 1/2" GYP BOARD. CONSTRUCTED SO THAT A 44" OBJECT CAN NOT PASS THROUGH AND ARE TO BE A MIN. OF 34" HIGH (36" AT LANDINGS). ALL DECKS 30" ABOVE GRADE MUST ALSO MEET THESE REQUIREMENTS.

OPTIONAL ADVANCED NOTES

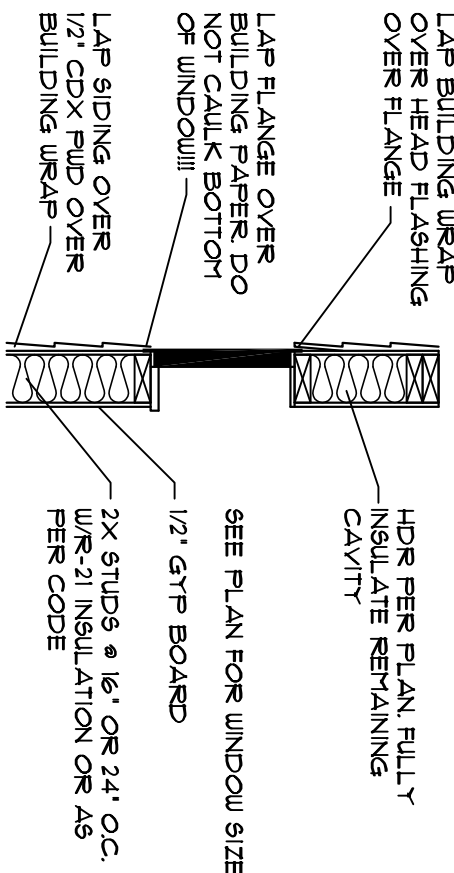
- FRAME ALL WALLS WITH 2X6 @ 24" O.C. FRAME CORNERS WITH 2 STUDS AND USE DRYWALL STOPS TO INSULATE ENTIRE CORNER
2. SIZE HEADERS PER LOADING - FILL WITH RIGID POLYESTER INSULATION. HEADERS PARALLEL TO RAISES AND JOISTS MAY BE OMITTED UNLESS OTHERWISE NOTED
3. LINE NON-CENTERED WINDOWS AND DOORS UP TO NEAREST STUD. OMIT JACK AND TRIMMER STUDS, HEADERS AND SILL S. THAT BE SUPPORTED WITH STUDS OR SOLID WOOD. RECORD FLASHINGS AND CLINCH AS NECESSARY.
3. NAIL 1/2" OSB SHEATHING WITH 8d NAILS @ 4" O.C. EDGES, 12" O.C. FIELD.
4. COVER OSB SHEATHING WITH MIN. 1/2" RIGID INSULATION INSIDE OF STUDS AND EAVE VENTS TO BE COVERED WITH MIN. 1/4" CORROSION PROOF WIRE MESH (VERIFY WITH REQUIREMENTS OF SIDING MFR)
5. SPECIFY 12" BOTTOM CHORD OR 12" HEEL ON TRUSSES TO ALLOW FOR FULL ATTIC INSULATION AT END OF TRUSSES
6. ALIGN ALL JOISTS AND TRUSSES WITH STUDS FOR IN-LINE LOADING.
1. USE CERTIFIED HEAT PUMP FOR HVAC REQUIREMENTS
8. USE CERTIFIED ENERGY SAVING WATER HEATER, OR INSTANT HOT WATER DEVICES. THESE SYSTEMS MAY BE COMBINED WITH SOLAR OR OTHER PRE-HEATERS FOR REDUCED ENERGY USAGE.

DISCLAIMER

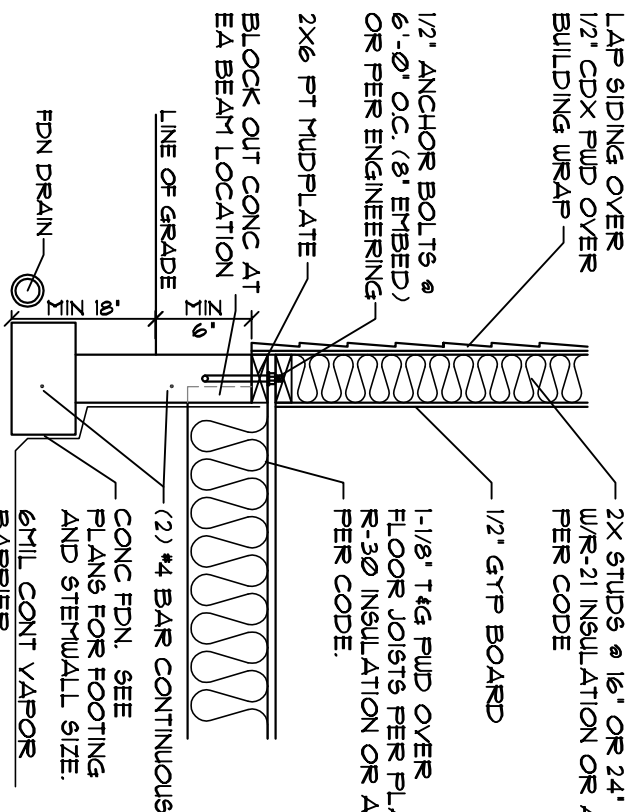
ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL RESIDENTIAL CODE OR ANY OTHER CODES AND ORDINANCES THAT MAY BE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND TO NOTIFY THE DESIGNER OF ANY ERRORS IN THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE DESIGNER CAN NOT BE HELD RESPONSIBLE FOR MISINTERPRETATION OR MISUSE OF INFORMATION HEREIN, OR USE BY PEOPLE NOT KNOWLEDGEABLE OF BUILDING CONSTRUCTION AND ITS DERIVATION AND IMPLEMENTATION.



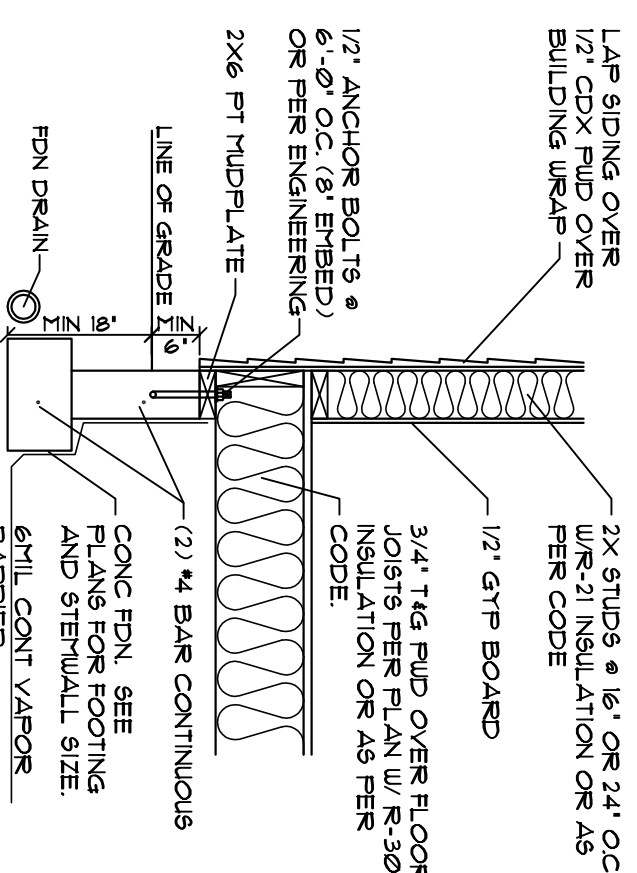
D ROOF TRUSS DETAIL
1/2" x 1'-0"



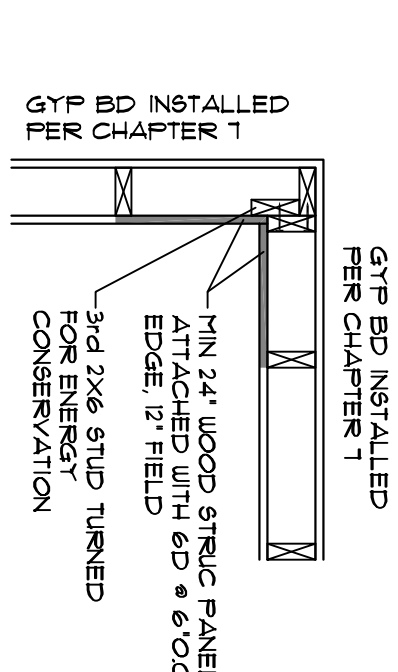
D WINDOW AND DOOR DETAIL
1/2" x 1'-0"



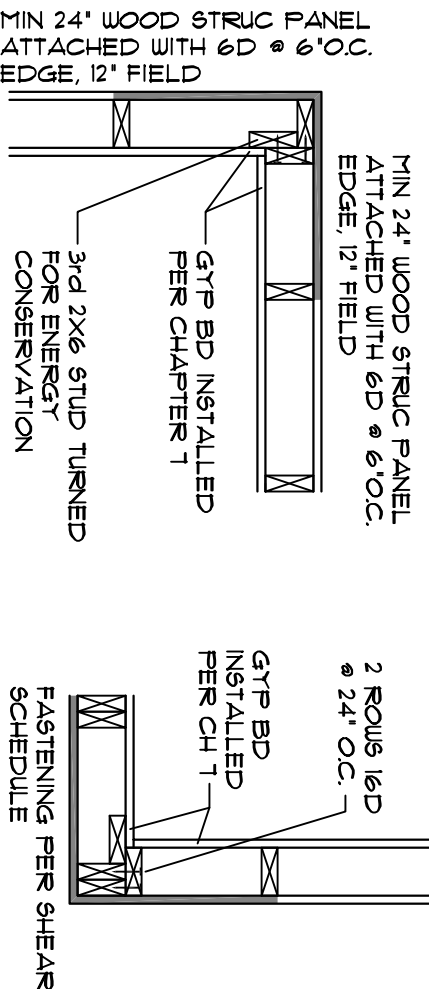
D POST & BEAM FLOOR SYSTEM
2A PERIMETER
1/2" x 1'-0"



D JOISTED FLOOR SYSTEM
1A PERIMETER
1/2" x 1'-0"

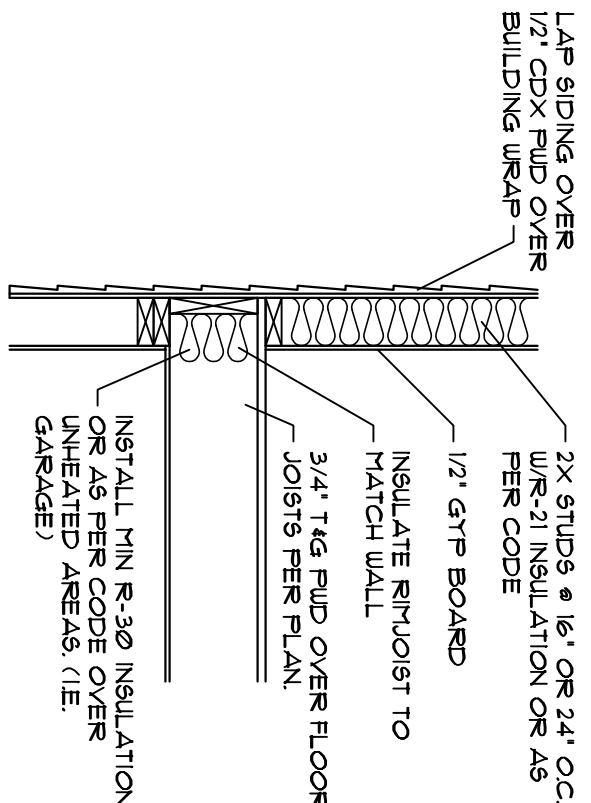


SHEATHING AT INTERIOR

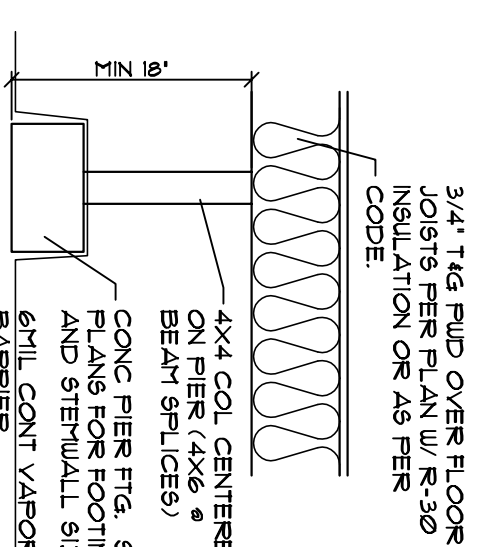


SHEATHING AT EXTERIOR

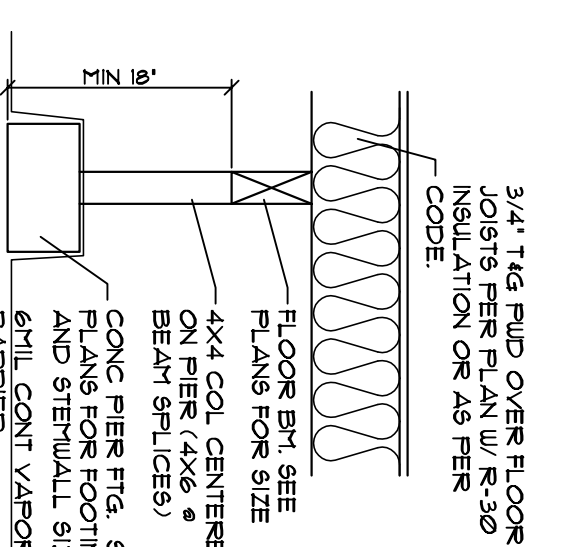
D CORNER CONSTRUCTION
1/2" x 1'-0"



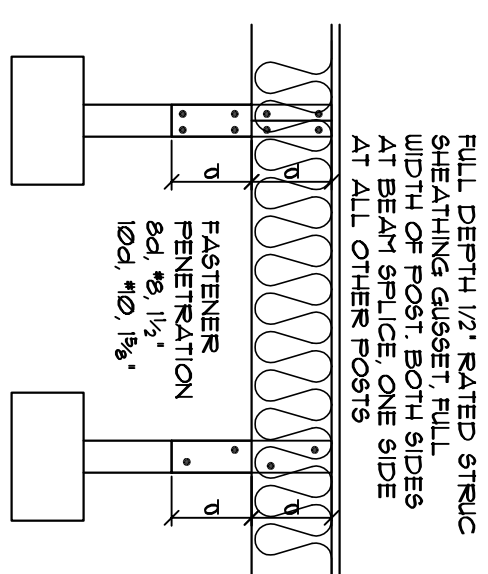
D FRAMED FLOOR PLENUM
5 DETAIL
1/2" x 1'-0"



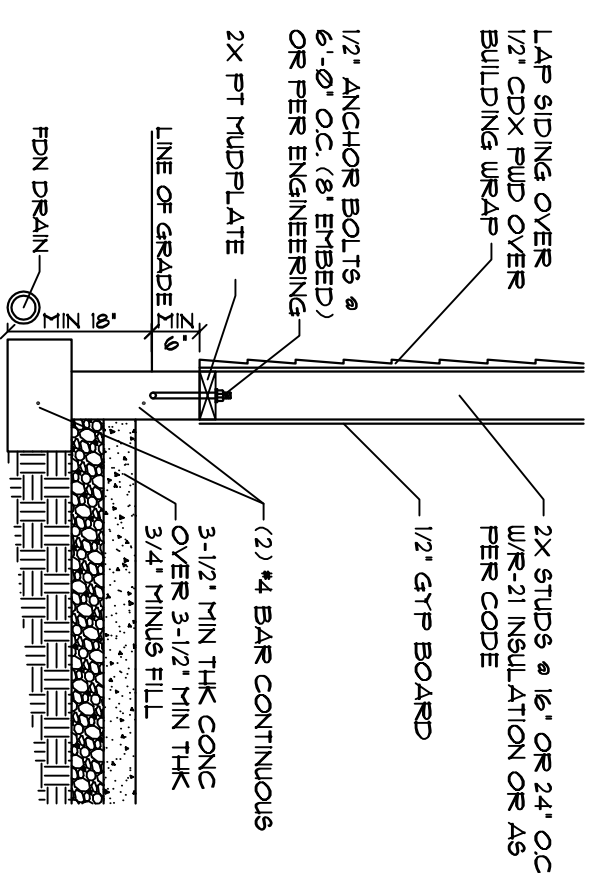
D POST & BEAM FLOOR SYSTEM
2B INTERIOR
1/2" x 1'-0"



D JOISTED FLOOR SYSTEM
2A INTERIOR
1/2" x 1'-0"

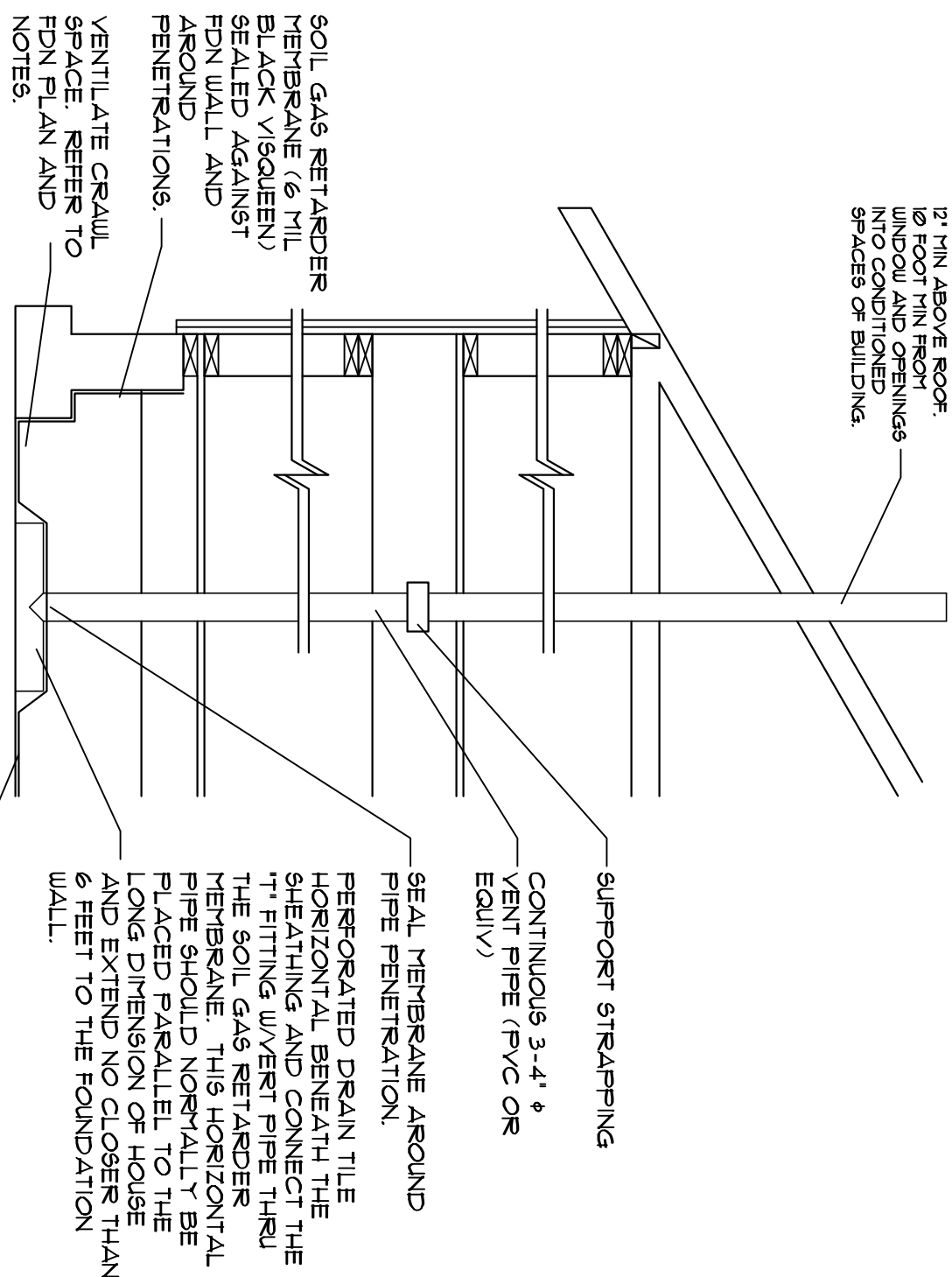


D POST & BEAM FLOOR SYSTEM
2C INTERIOR
1/2" x 1'-0"

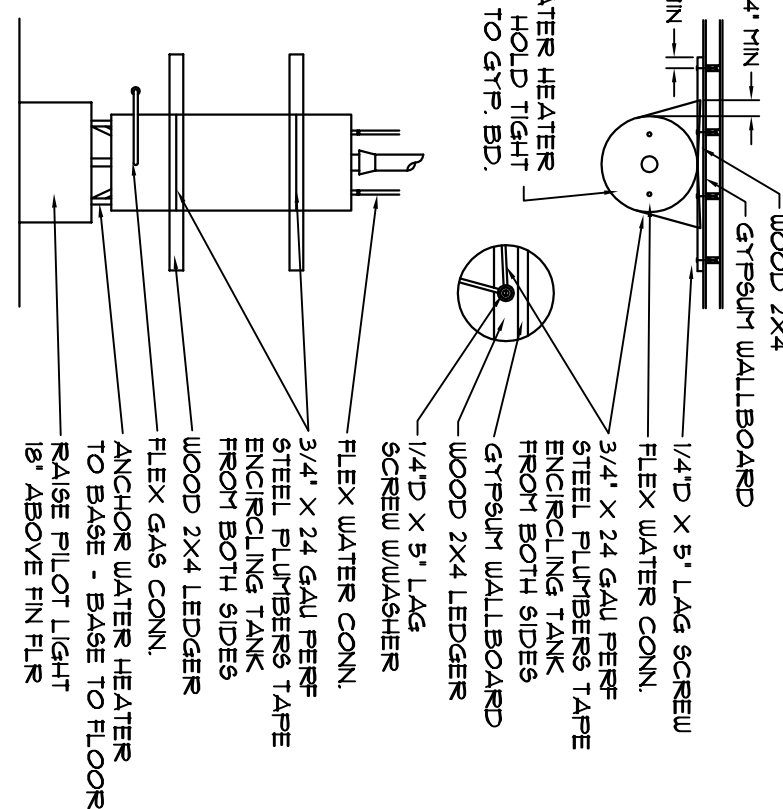


D GARAGE SLAB DETAIL
3
1/2" x 1'-0"

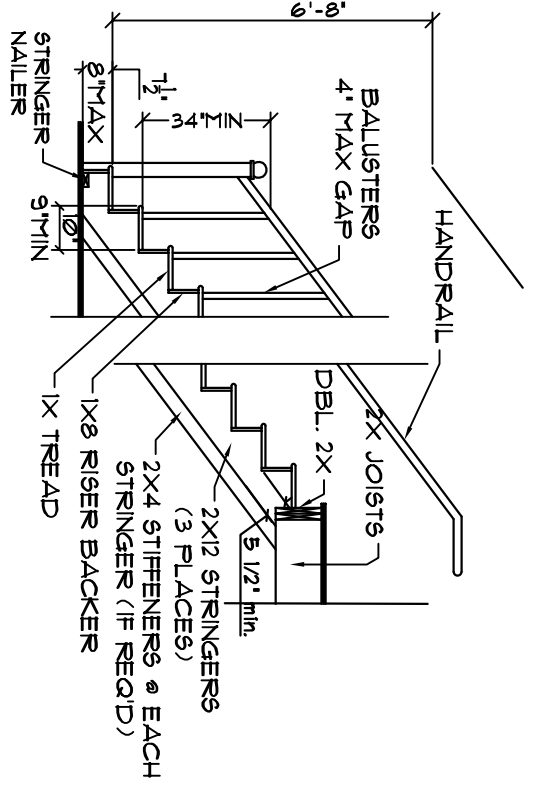
D RADON MITIGATION DETAIL
1/2" x 1'-0"



REFERENCE THE COMPLETE CODE FROM YOUR SMART PHONE! VISIT [HTTP://ORSC.STOCKHOUSEPLANS.COM](http://ORSC.STOCKHOUSEPLANS.COM)



D WATER HEATER DETAIL
8
1/2" x 1'-0"



D STAIR DETAIL
7
1/2" x 1'-0"