

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- An encroachment permit and bond will be required for all work done in the Metro Public Works right-of-way.
- Construction fencing shall be erected prior to any construction or grading activities preventing compaction of root systems of trees to be preserved. The fencing shall enclose the area beneath the drip line of the tree canopy and shall remain in place. No parking, material storage, or construction activities shall be permitted within the fenced area.
- Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
- Compatible utilities shall be placed in a common trench unless otherwise required by appropriate agencies.
- Wheel stops or curbing, at least six inches high and wide, shall be provided to prevent vehicles from overhanging abutting sidewalks, properties or public right-of-ways, to protect landscaped areas and adjacent properties. Wheel stops shall be located at least (3) feet from any adjacent wall, fence, property line, woody vegetation, walkway or structure.
- Benchmark and topographical information shown hereon were derived from Lojic data. Boundary information derived from the Land Design and Development ALTA Survey.
- All existing fence to be removed and a 10 ft tall chain link fence will be installed.
- The employee outdoor amenity areas shall provide at a minimum one seat per 200 s.f. of amenity area and at a minimum 25% of the amenity area shall be shaded or used for landscaping as required by Section 5.12.2.A.3 of the Louisville Metro Land Development Code. Final design of the outdoor amenity areas will be shown on the approved Chapter 10 Landscape Plan.
- No uses shall be permitted on the subject site except those permitted in the C-2 and M-1 zoning district without approval by the Planning Commission per Land Development Code section 2.6.1

MSD NOTES:

- Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District Design Manual and Standard Specifications and other local, state and federal ordinances.
- Sanitary sewer service will be provided by connection and subject to applicable fees. A Downstream Facilities Capacity request will be submitted to MSD.
- Portions of the site are within the 100 year flood plain per FIRM Map No. 21111 C 0040 F & 0041 F dated February 26, 2021.
- Mitigation pattern depicted by arrows ($\Rightarrow$) is for conceptual purposes.
- If the site has thru drainage an easement plot will be required prior to MSD granting construction plan approval.
- Site discharges into the combined sanitary sewer system and shall limit the 100-year post-developed discharge per section 10.3.1.2 of the MSD Design Manual. The reduction to the pre-development 10-year flow rates at the combined sewer shall be calculated using the sites' pre-developed drainage area contributing to the combined sewer at the location of the connection to the combined sewer. Capacity of the proposed outlet shall be verified to the existing 162" pipe located at the corner of St. Louis Avenue and Dixie Highway. Pending analysis of the downstream system additional detention or downstream improvements may be required.
- Any required fill in the floodplain shall be compensated on site at a ratio of 1.5:1.
- All drainage, EPSC and Water Quality practices shown on this plan are for conceptual purposes only. Final design of these elements will be determined prior to construction plan approval and shall comply with all MS4 and MSD Design Manual requirements.
- The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
- Approval from the KY Division of Waste Management is required prior to MSD construction plan approval to ensure the approved 2020 Site Management Plan dated November 2020 has been followed.

PROJECT DATA

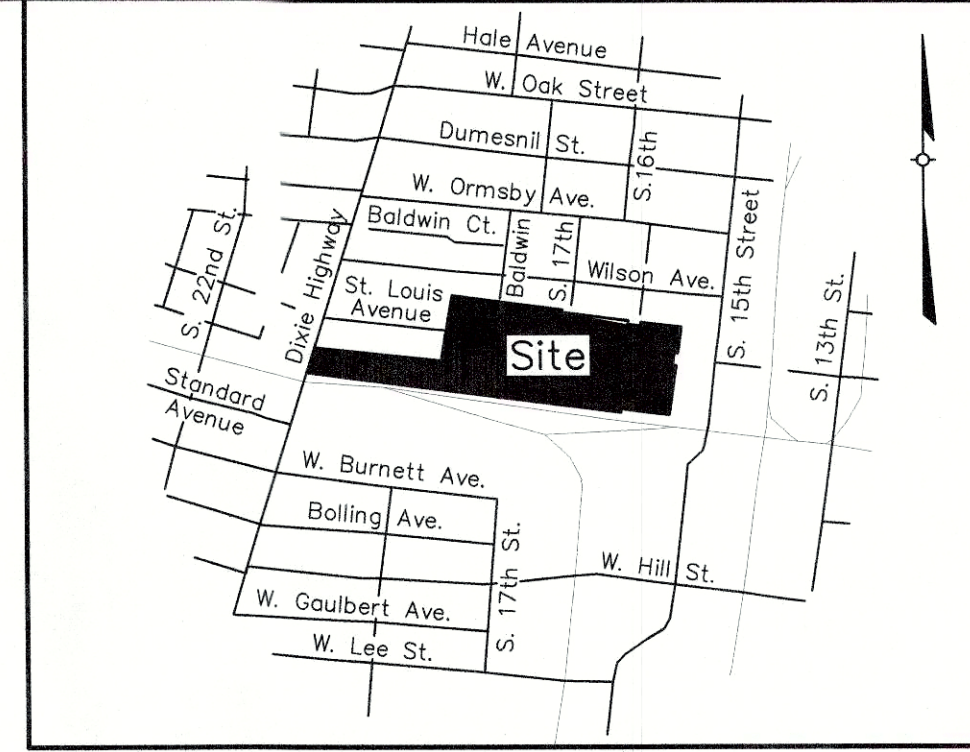
TOTAL SITE AREA = 27.9± Ac. (1,215,625 SF)
EXISTING ZONING = E-Z-1
FORM DISTRICT = TRADITIONAL WORKPLACE
EXISTING USE = INDUSTRIAL VACANT
PROPOSED USE = OFFICE / WAREHOUSE
BUILDING HEIGHT = 45' (45' MAX. ALLOWED TRANSITION ZONE)
BUILDING AREA = 434,000 SF (INCLUDES 2,000 SF OFFICE)
F.A.R. = 0.36 (5.0 MAX. ALLOWED)

PARKING REQUIRED
434,000/3000 S.F. MIN. = 145 SP
434,000/1000 S.F. MAX. = 434 SP

TOTAL PARKING PROVIDED = 285 SPACES
(16 HC SP INCLUDED)(INCLUDES 5 CARPOOL SPACES INDICATED BY A "C" ON THE SPACES)

TOTAL VEHICULAR USE AREA = 399,331 SF
INTERIOR LANDSCAPE AREA REQUIRED = 29,950 SF
INTERIOR LANDSCAPE AREA PROVIDED = 30,011 SF

EMPLOYEE OUTDOOR AMENITY AREA REQUIRED = 200 SF (10% OF OFFICE AREA)
EMPLOYEE OUTDOOR AMENITY AREA PROVIDED = 450 SF (SEE GENERAL NOTE 10)



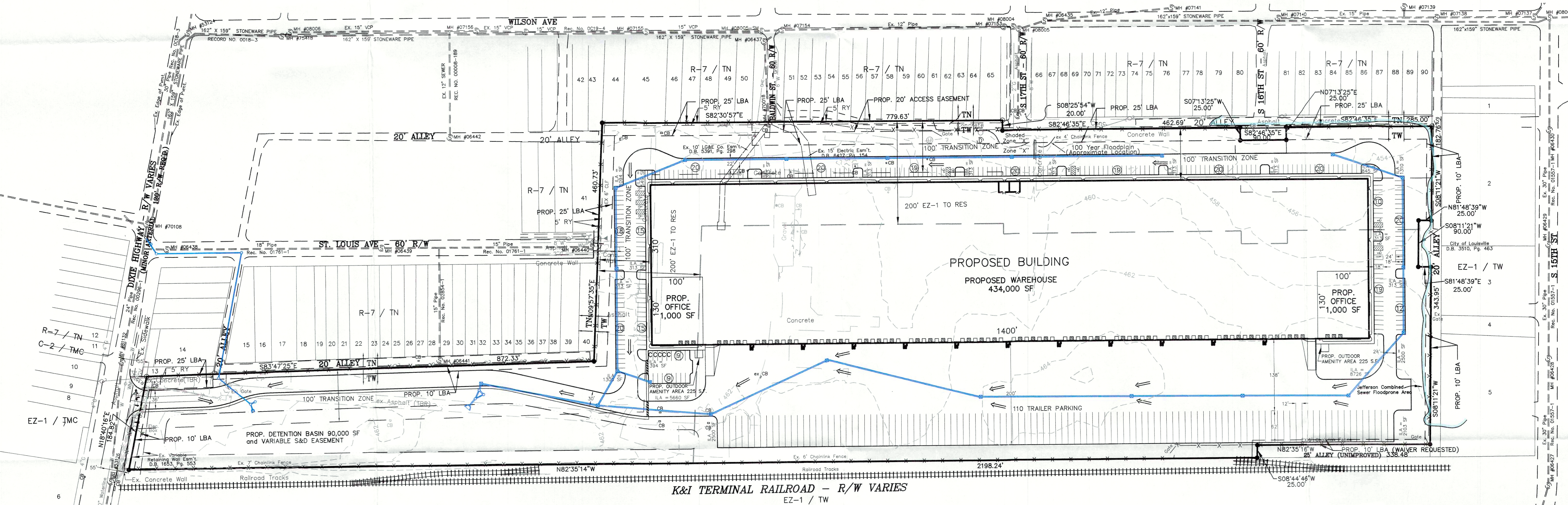
LOCATION MAP

NOT TO SCALE

- VARIANCE REQUESTED
- A Variance is requested for the building location from the Louisville Metro Land Development Code 5.2.5.C.3.a to vary, as shown, the Dixie Highway minimum 25 ft front setback.

WAIVERS REQUESTED

- A Waiver is requested from the Louisville Metro Land Development Code Section 10.2.10 to waive to 10 ft Landscape Buffer Area, the required screen & trees adjacent to the unimproved alley & railroad tracks in the southeast corner of the site.
- A Waiver is requested from the Louisville Metro Land Development Code Section 5.9.2.C.4 to waive vehicular circulation in front of the building. This is the parking lot adjacent to the property line St. Louis Ave stubs to.



DETENTION BASIN CALCULATIONS (POST 100 YR TO PRE 10)

NOTE: DETAILED DETENTION ANALYSIS TO BE PROVIDED FOR REVIEW AND APPROVAL AT CONSTRUCTION PLAN APPROVAL LEVEL.
 $X = \Delta \text{CRA} / 12$
 $\Delta C = (\text{UNCHANGED}) = 0.90$
 $A = 27.9 \text{ ACRES}$
 $R = \text{POST } 100 \text{ 6.2 INCHES, PRE } 10 = 4.5 \text{ INCHES}$
 $X = \text{POST } 100 (0.90) / (28) (6.2) / 12 = 156.24 \text{ CU.FT.} = 13.02 \text{ AC.FT.}$
 $X = \text{Pre } 10 (0.90) / (9.0) (4.5) / 12 = 36.45 \text{ CU.FT.} = 3.03 \text{ AC.FT.}$
REQUIRED $X = \text{POST } 100 13.02 \text{ AC.FT. MINUS PRE } 10 3.03 \text{ AC.FT.} = 10.00 \text{ AC.FT.}$
PROVIDED BASIN = 90,000 SQ.FT.

TOTAL = 90,000 SQ.FT. @ APPROX. 5 FT. DEPTH
= 450,000 CU.FT. > 435,600 CU.FT.

HISTORICAL IMPERVIOUS AREA = 1,215,625 SF
CURRENT EXISTING IMPERVIOUS AREA = 133,507 SF
PROPOSED IMPERVIOUS AREA = 845,031 SF (DECREASE FROM HISTORICAL CONDITIONS)

TREE CANOPY CALCULATIONS

NOTE: TREE CANOPY COMPLIANCE IS NOT REQUIRED FOR TRADITIONAL FORM DISTRICTS BY TABLE 10.1.1. HOWEVER, TREE CANOPY COVERAGE WILL BE PROVIDED BY COMPLYING WITH THE PERIMETER AND VEHICULAR USE AREA CHAPTER 10 REQUIREMENTS.

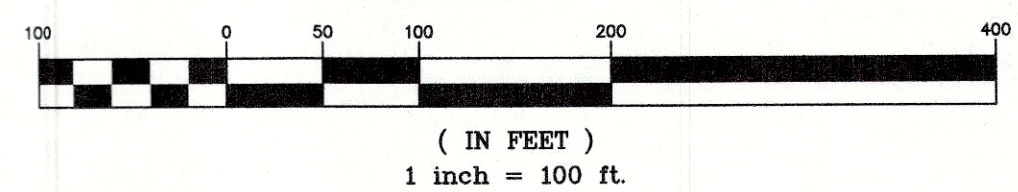
TOTAL SITE AREA = 1,215,625 S.F.
TOTAL TREE CANOPY AREA REQUIRED = NA-REFER TO NOTE ABOVE
PROPOSED TREE CANOPY TO BE PLANTED = 25% (303,906 S.F.)

RECEIVED

JUL 14 2021

PLANNING & DESIGN SERVICES

GRAPHIC SCALE



CASES: 21-CAT3-0004, 21-VARIANCE-0039 & 21-WAIVER-0048
SITE ADDRESS:
1391 DIXIE HIGHWAY
TAX BLOCK 039H LOT 0026
D.B. 11981, PG. 176
COUNCIL DISTRICT - 6
FIRE PROTECTION DISTRICT - LOUISVILLE #1
MUNICIPALITY - MUNICIPALITY

WM#: 11802

REVISIONS				
BY	DATE	DESCRIPTION	AGENCIES COMMENTS	ADD GEN NOTE
1	5-10-21			
2	5-28-21			
3	6-21-21			
4	7-12-21			

PROJECT DATA				
FILE NAME	20263-CAT3-FILED_4-12-21	SCALE	AS SHOWN	
DATE	04/12/21	CHECKED BY	AEF	DRAWN BY: JH

PROJECT DATA				
FILE NAME	20263-CAT3-FILED_4-12-21	SCALE	AS SHOWN	
DATE	04/12/21	CHECKED BY	AEF	DRAWN BY: JH

PROJECT DATA				
FILE NAME	20263-CAT3-FILED_4-12-21	SCALE	AS SHOWN	
DATE	04/12/21	CHECKED BY	AEF	DRAWN BY: JH

PROJECT DATA				
FILE NAME	20263-CAT3-FILED_4-12-21	SCALE	AS SHOWN	
DATE	04/12/21	CHECKED BY	AEF	DRAWN BY: JH

PROJECT DATA				
FILE NAME	20263-CAT3-FILED_4-12-21	SCALE	AS SHOWN	
DATE	04/12/21	CHECKED BY	AEF	DRAWN BY: JH

21-CAT3-0004