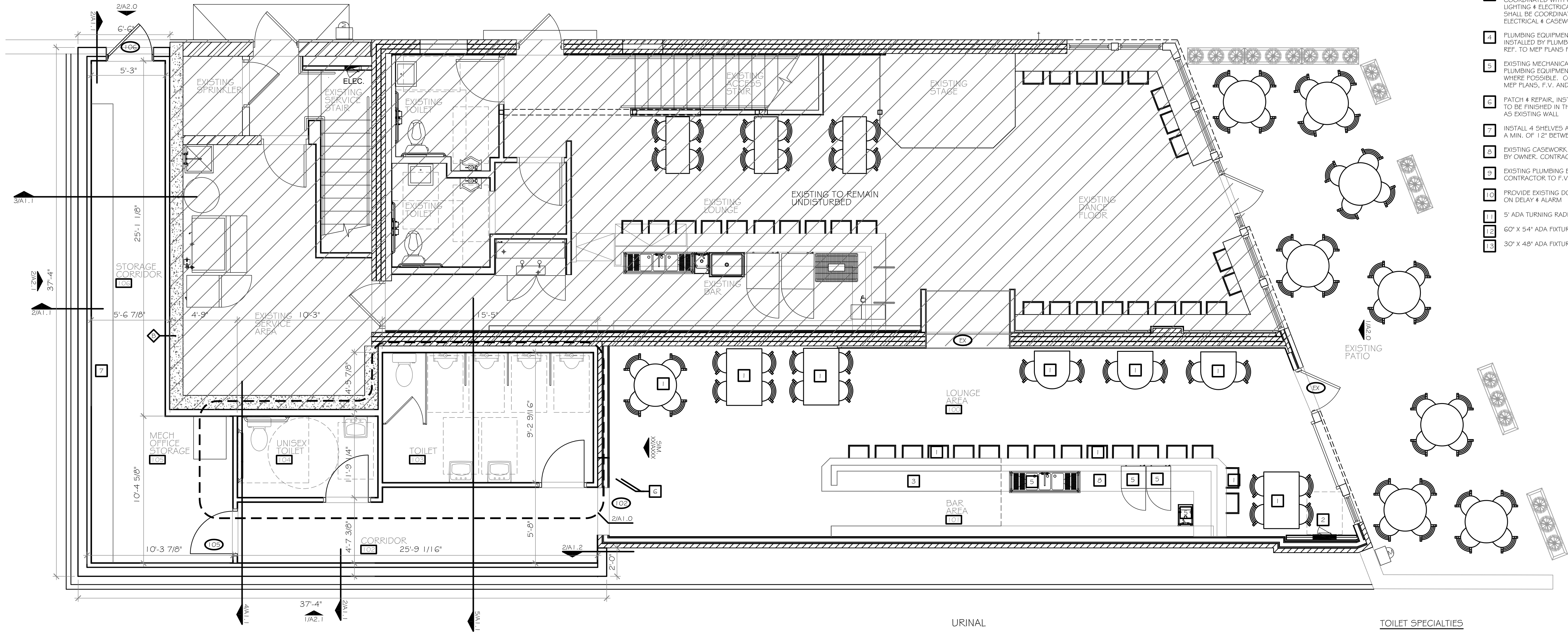
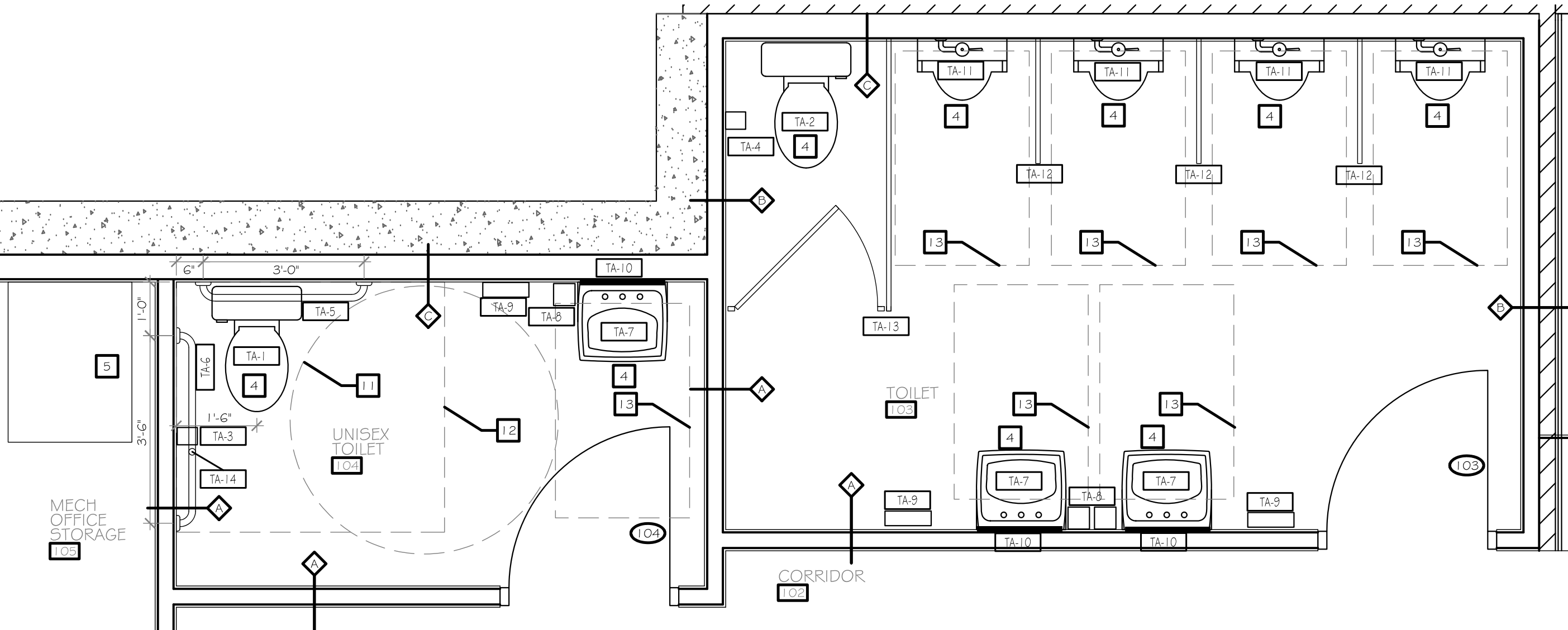


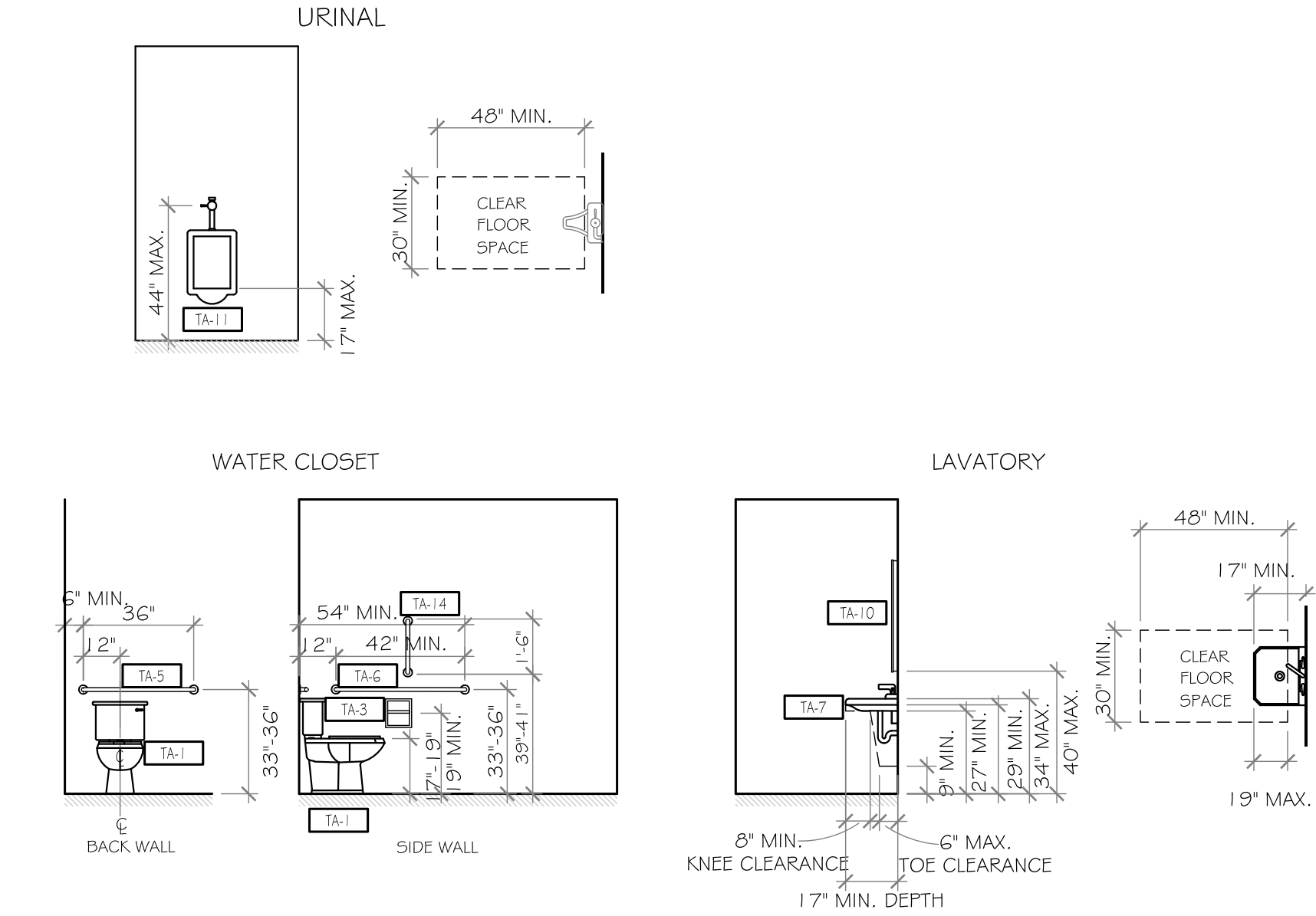


1 NEW FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TRUE NORTH
PLAN NORTH

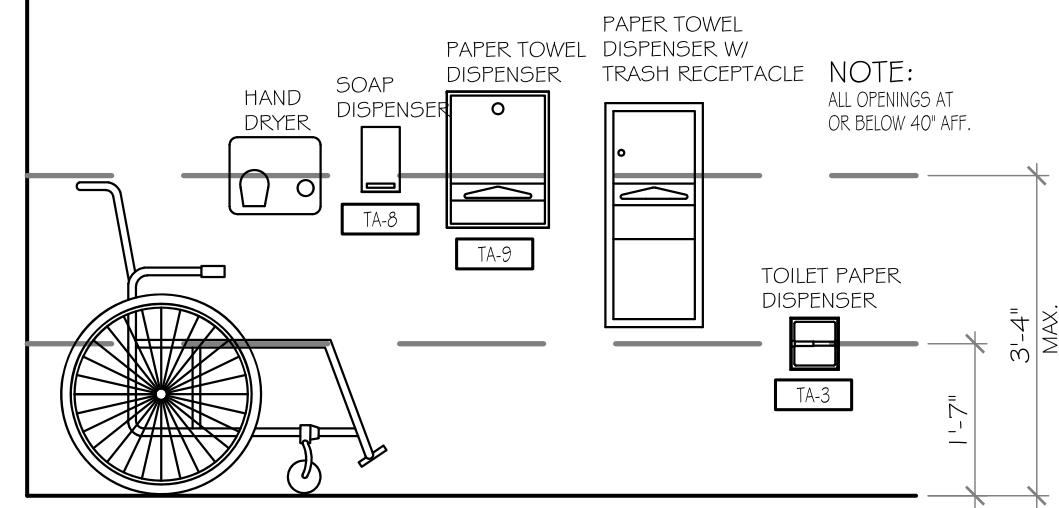


2 ENLARGED TOILET PLAN
SCALE: 1/2" = 1'-0"
PLAN NORTH

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3 ACCESSIBLE FIXTURES REQUIRED
SCALE: 1/4" = 1'-0"



4 ACCESSIBLE HEIGHTS
SCALE: 1/2" = 1'-0"

FLOOR PLAN NOTES:

- FURNITURE PROVIDED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.
- ELECTRICAL PANEL, F.V. LOCATION WITH ELECTRICAL CONTRACTOR. REF. TO MEP PLANS FOR ADDITIONAL INFO.
- CASEWORK AS INDICATED TO BE COORDINATED WITH OWNER (BY OTHERS). LIGHTING & ELECTRICAL REQUIREMENTS SHALL BE COORDINATED BETWEEN THE ELECTRICAL & CASEWORK CONTRACTORS
- PLUMBING EQUIPMENT PROVIDED BY AND INSTALLED BY PLUMBING CONTRACTOR. REF. TO MEP PLANS FOR ADDITIONAL INFO.
- EXISTING MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT TO SERVICE AND REUSE WHERE POSSIBLE. CONTRACTOR TO REFER TO MEP PLANS, F.V. AND CONFIRM WITH OWNER
- PATCH & REPAIR, INSTALLING GYP. BD TO BE FINISHED IN THE SAME PLAIN AS EXISTING WALL
- INSTALL 4 SHELVES AND SUPPORT BRACKETS A MIN. OF 12" BETWEEN THE SHELVES, F.V.
- EXISTING CASEWORK TO REMAIN AS DIRECTED BY OWNER. CONTRACTOR F.V. WITH OWNER.
- EXISTING PLUMBING EQUIPMENT TO BE REUSED CONTRACTOR TO F.V. WITH OWNER.
- PROVIDE EXISTING DRY W/ PANIC DEVICE ON DELAY 4 ALARM
- 5' ADA TURNING RADIUS
- 60" X 54" ADA FIXTURE CLEARANCE
- 30" X 48" ADA FIXTURE CLEARANCE

GENERAL NOTES

- THE GC SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY WALLS THAT DO NOT MEET THE DIMENSIONS INDICATED ON THE PLAN.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO THE FACE OF THE STUD.
- UNLESS OTHERWISE NOTED, ALL DOOR FRAMES WITH METAL JAMBS ARE INSTALLED 4" FROM THE NEAREST PERPENDICULAR WALL TO THE SWING OF THE JAMB AND ALL DOOR FRAMES WITH WOOD JAMBS ARE INSTALLED 6" FROM THE NEAREST PERPENDICULAR WALL TO THE SWING OF THE JAMB.
- MAINTAIN ALL 'CLEAR' AND 'HOLD' DIMENSIONS NOTED ON THE PLANS AND IMMEDIATELY REPORT ANY AREAS THAT CANNOT BE ACHIEVED TO THE OWNER/ENGINEER.
- ALL NEW WALLS ABUTTING EXISTING WALLS WILL BE CONSTRUCTED SO THAT THE FINISHED FACE OF THE NEW DRYWALL IS IN THE SAME PLANE AS THE EXISTING DRYWALLS FINISHED FACE. TAPE, MUD & FEATHER ALL NEW DRYWALL TO THE EXISTING TO ACHIEVE A SMOOTH FINISH AND PROVIDE A BLEMISH FREE PAINTING SURFACE.
- REFER TO THE LEGENDS ON THIS SHEET FOR THE LOCATION OF INSULATED WALLS. ALSO REFER TO THE WALL SECTIONS & PARTITION TYPES SHEET.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WOOD.
- PROVIDE BLOCKING FOR ALL ITEMS THAT REQUIRE BLOCKING INCLUDING BUT NOT LIMITED TO: CABINETS (UPPER & LOWER), SHELVING, TOILET PARTITIONS, TOILET SPECIALTIES, CHAIR RAILS, DOOR STOPS IN WALLS AND FIRE EXTINGUISHERS. REFER TO SHEET G2.0 AND/OR A1.0 FOR LOCATIONS OF THESE ITEMS.
- IF APPLICABLE, PROVIDE BLOCKING FOR TELEVISIONS SET LOCATIONS. COORDINATE SPECIFIC HEIGHT REQUIREMENTS WITH THE PROJECT MANAGER AND COORDINATE THE EXACT LOCATION WITH THE ELECTRICAL AND DATA OUTLETS.
- ALL BLOCKING SHALL BE FIRE RATED WOOD.
- REFER TO THE WALL SECTION TAGS ON THE FLOOR PLANS FOR THE EXTERIOR WALL COMPOSITION (IF APPLICABLE).
- ALL LINES SHOWN LIGHTLY REPRESENT EXISTING CONSTRUCTION. REFER TO THE EXISTING/DEMOLITION PLAN FOR FURTHER CLARIFICATION OF EXISTING CONSTRUCTION.
- PROVIDE GREEN BOARD WITHIN 4" OF ALL TOILETS, SINKS, LAVATORIES AND SHOWERS OR EQUIPMENT USING WATER.
- COORDINATE WITH OWNER FOR THE INSTALLATION OF FRP AT ANY OF THE HIGH WATER / SPLASH AREAS.
- SINCE THIS PROJECT IS IN A FLOOD PLAN ALL ELECTRICAL OUTLETS SHALL BE AT LEAST 4' ABOVE FINISHED FLOOR. REFER TO ELECTRICAL PLAN.

SHEET LEGEND:

- SHEET NOTE (REFER TO THIS SHEET & ENLARGED PLAN SHEETS)
- WALL PARTITION & DETAIL NOTES
- DOOR TAG
REFER TO SHEET A3.0
- WINDOW TAG
REFER TO SHEET A3.0
- SECTION TAG
REFER TO SHEET AS NOTED
- REFER TO ELEVATIONS ON SHEET AS NOTED
- ENLARGED PLAN
REFER TO ENLARGED PLAN SHEET AS NOTED

TOILET SPECIALTIES

NOTE: PROVIDE & INSTALL WOOD BLOCKING AT STUD WALLS AS REQUIRED TO SECURE TOILET SPECIALTIES. AN 'E' IN THE TAG INDICATES EXISTING TO REMAIN. ALL OTHERS ARE TO BE NEW / INSTALLED BY CONTRACTOR.

- TA-1 ACCESSIBLE TOILET, TOP OF LID SHALL BE 17'-19" A.F.F.
- TA-2 STANDARD TOILET
- TA-3 TOILET PAPER DISPENSER, MOUNT OPERABLE DEVICE AT 19" A.F.F. MIN., MOUNT 36" MAX. FROM CORNER
- TA-4 STANDARD TOILET PAPER DISPENSER
- TA-5 36" LONG GRAB BAR, MOUNTED AT 34" A.F.F. AND 6" AWAY FROM CORNER
- TA-6 42" LONG GRAB BAR, MOUNT AT 34" A.F.F. AND 12" AWAY FROM CORNER
- TA-7 ACCESSIBLE SINK, HEIGHT SHALL BE 34" MAX. FROM FINISHED FLOOR. PROVIDE 8" MIN. KNEE CLEARANCE. PROVIDE ACCESSIBLE HARDWARE. INSULATE ALL HOT WATER PIPING UNDER SINK.
- TA-8 SOAP DISPENSER, MOUNT OPERABLE DEVICE AT 44" A.F.F. MAX.
- TA-9 TOWEL DISPENSER, MOUNT OPERABLE DEVICE AT 48" A.F.F. MAX.
- TA-10 MIRROR, BOTTOM OF REFLECTIVE SURFACE SHALL BE MOUNTED AT 40" A.F.F. MAXIMUM
- TA-11 ACCESSIBLE URINAL MOUNTED 17" A.F.F. MAX TO RIM, PROVIDE ELONGATED RIM.
- TA-12 TOILET PARTITION DOOR, MIN. 32" CLEAR OPENING
- TA-13 BAKED ENAMEL TOILET PARTITIONS, TYP.
- TA-14 1/8" VERTICAL GRAB BAR

SCHEMATIC DESIGN APPROVAL

THE DRAWINGS REPRESENTED HERE HAVE BEEN REVIEWED WITH AND BY THE OWNER OF THE PROJECT AND WITH THEIR APPLIED SIGNATURE AND DATE ON THIS DOCUMENT, THEY HAVE GRANTED APPROVAL TO THE RENAISSANCE DESIGN BUILD INC. TO PROCEED WITH FINAL LAYOUT OR DOCUMENT PREPARATION AS INDICATED IN THE PROPOSAL FOR THE PROJECT.

CLIENT'S SIGNATURE: _____ RENAISSANCE REPRESENTATIVE _____
PRINTED NAME & TITLE _____
DATE: _____ DATE: _____

RENAISSANCE DESIGN BUILD, INC.

1012 S. Fourth Street
Louisville, KY 40203

Tel: 502-424-8373 Fax: 502-587-0931

www.rdbi-inc.com

NEW FLOOR PLAN & NOTES
BIG BAR - ADDITION / MARCUM CONSTRUCTION
1202 BARDSTOWN ROAD
LOUISVILLE, KY. 40205

DATE: JUN 16, 2023
DRAWN BY: R. RILEY
CHECKED BY: N. GRIMES
APPROVED BY: N. GRIMES

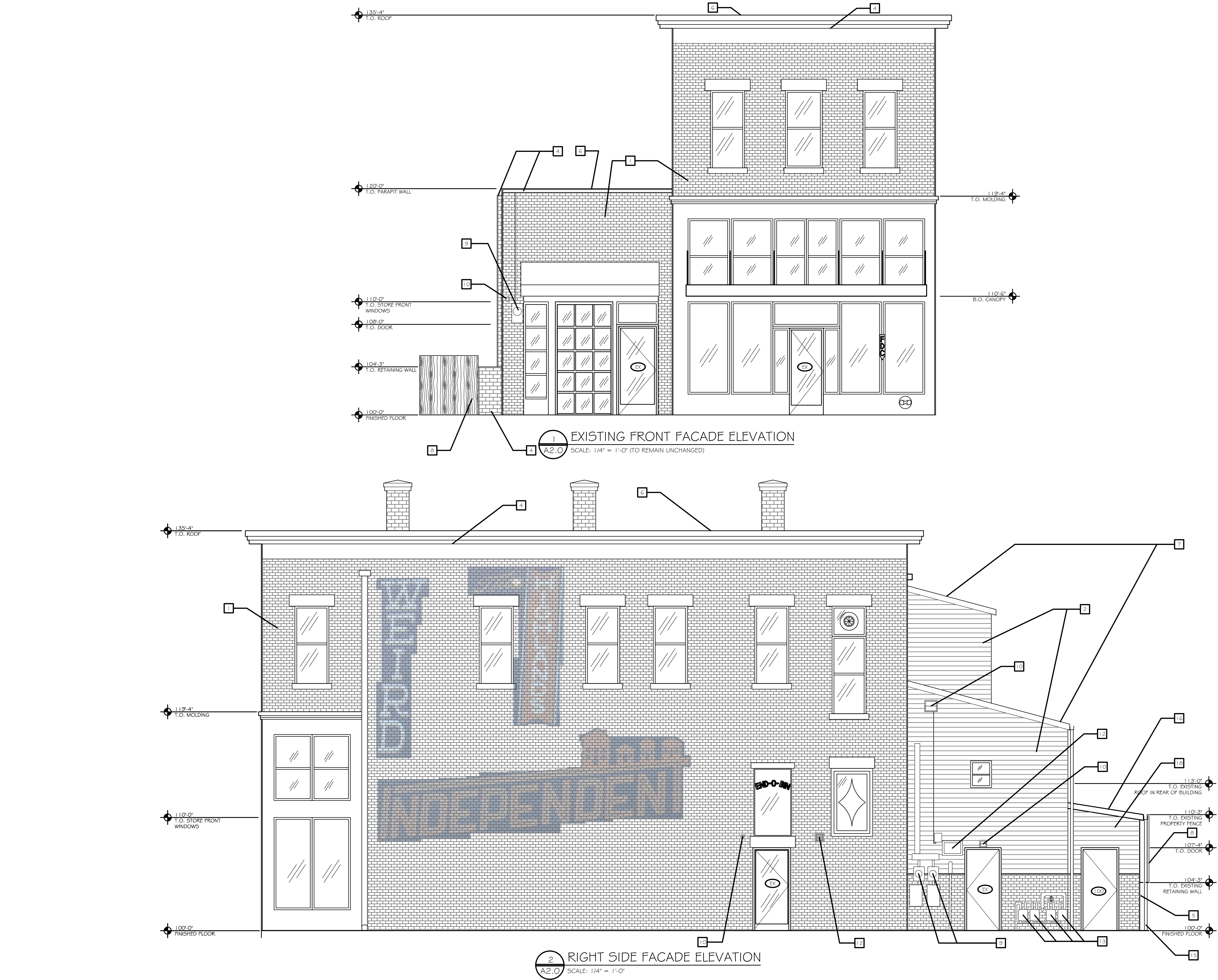
REVISIONS:

SHEET NUMBER:

SCALE: AS INDICATED
JOB NO.: 2022-561

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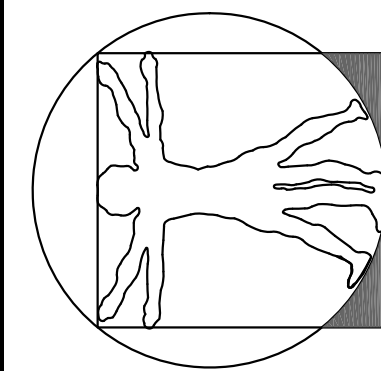
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 7. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WOOD.
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- ELEVATION NOTES:**
1. EXISTING BRICK EXTERIOR FINISH (TO REMAIN)
 2. EXISTING VINYL SIDING EXTERIOR FINISH (TO REMAIN)
 3. EXISTING WOOD SIDING EXTERIOR FINISH (TO REMAIN)
 4. EXISTING PARAPIT WALL BRICK EXTERIOR FINISH
 5. EXISTING RETAINING WALL BRICK EXTERIOR FINISH (TO REMAIN OR REPLACED AT COMPLETION OF PROJECT)
 6. EXISTING TPO ROOF
 7. EXISTING SHINGLE ROOF
 8. EXISTING PROPERTY LINE FENCE (TO BE REPLACED AT COMPLETION OF PROJECT)
 9. EXISTING ELECTRICAL METER & DISCONNECTION SWITCH
 10. EXISTING ELECTRICAL EQUIPMENT
 11. EXISTING MECHANICAL AC UNIT
 12. EXISTING MECHANICAL EQUIPMENT
 13. EXISTING GAS METERS
 14. EXISTING PLUMBING EQUIPMENT
 15. GUTTER & DOWNSPOUT
 16. NEW SHINGLE ROOF
 17. NEW BRICK EXTERIOR FINISH
 18. NEW VINYL SIDING EXTERIOR FINISH

- SHEET LEGEND:**
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EXTERIOR ELEVATIONS
BIG BAR - ADDITION / MARCUM CONSTRUCTION
1202 BARDSTOWN ROAD
LOUISVILLE, KY. 40205

DATE: JUN 16, 2023
DRAWN BY: R. RILEY
CHECKED BY: N. GRIMES
APPROVED BY: N. GRIMES

REVISIONS:
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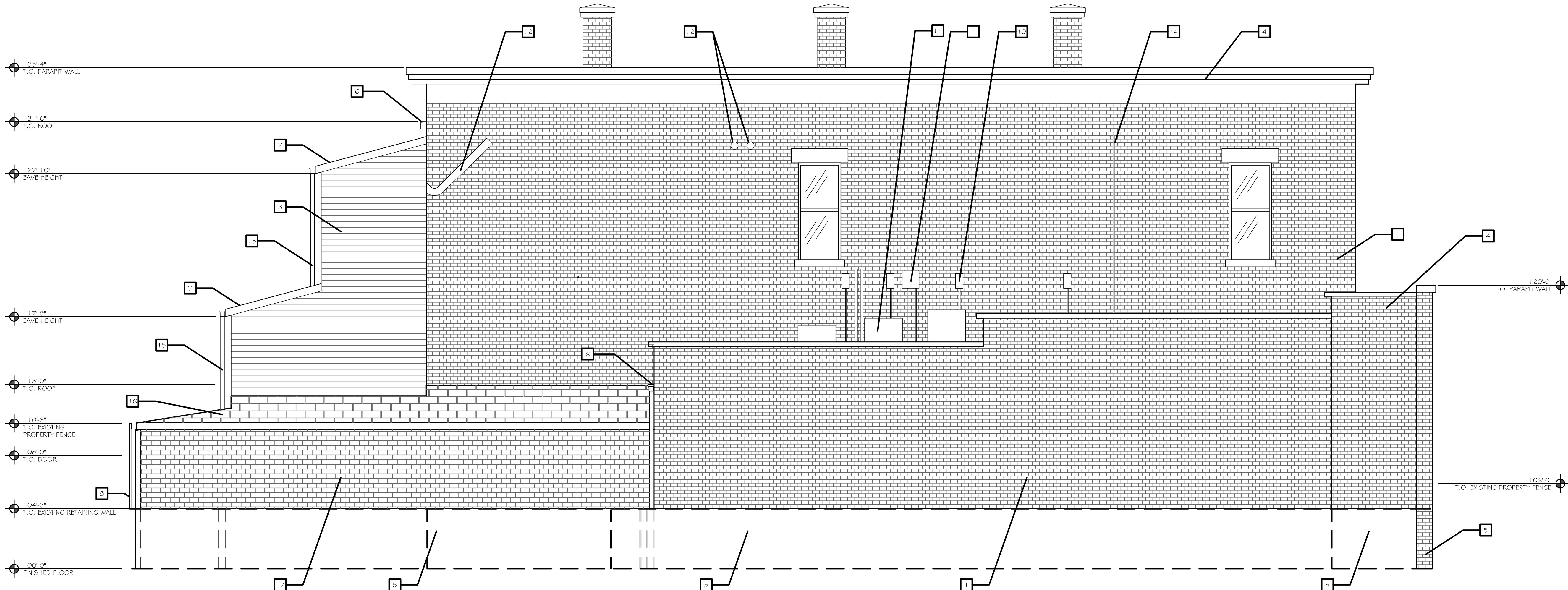
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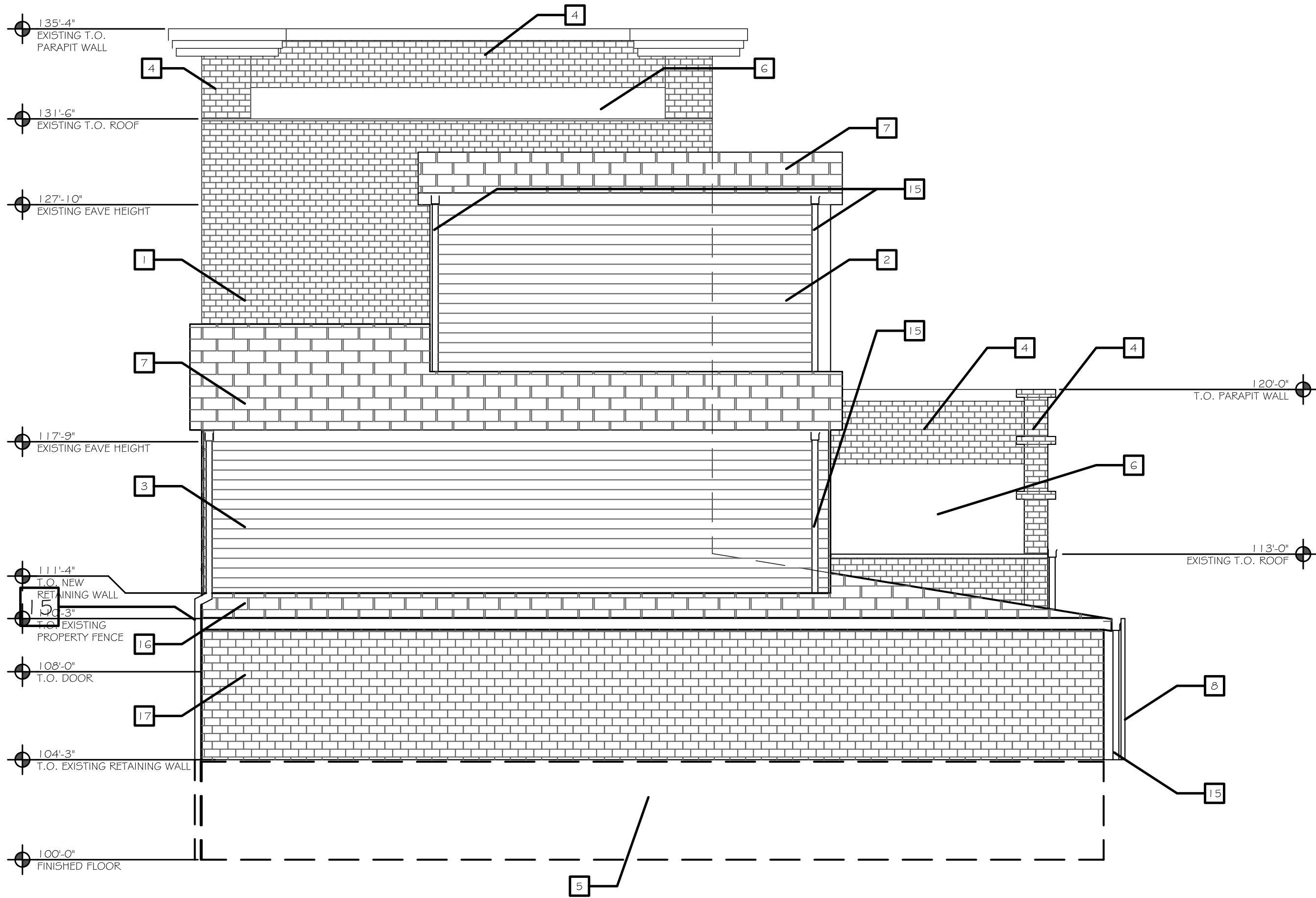
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1 LEFT SIDE FACADE ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 REAR FACADE ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

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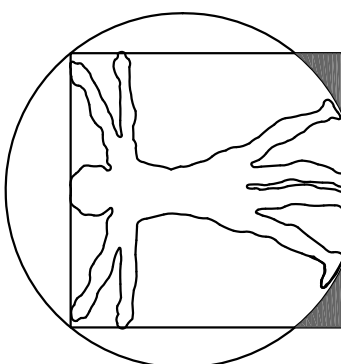
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- 15 GUTTER & DOWNSPOUT
- 16 NEW SHINGLE ROOF
- 17 NEW BRICK EXTERIOR FINISH
- 18 NEW VINYL SIDING EXTERIOR FINISH

SHEET LEGEND:

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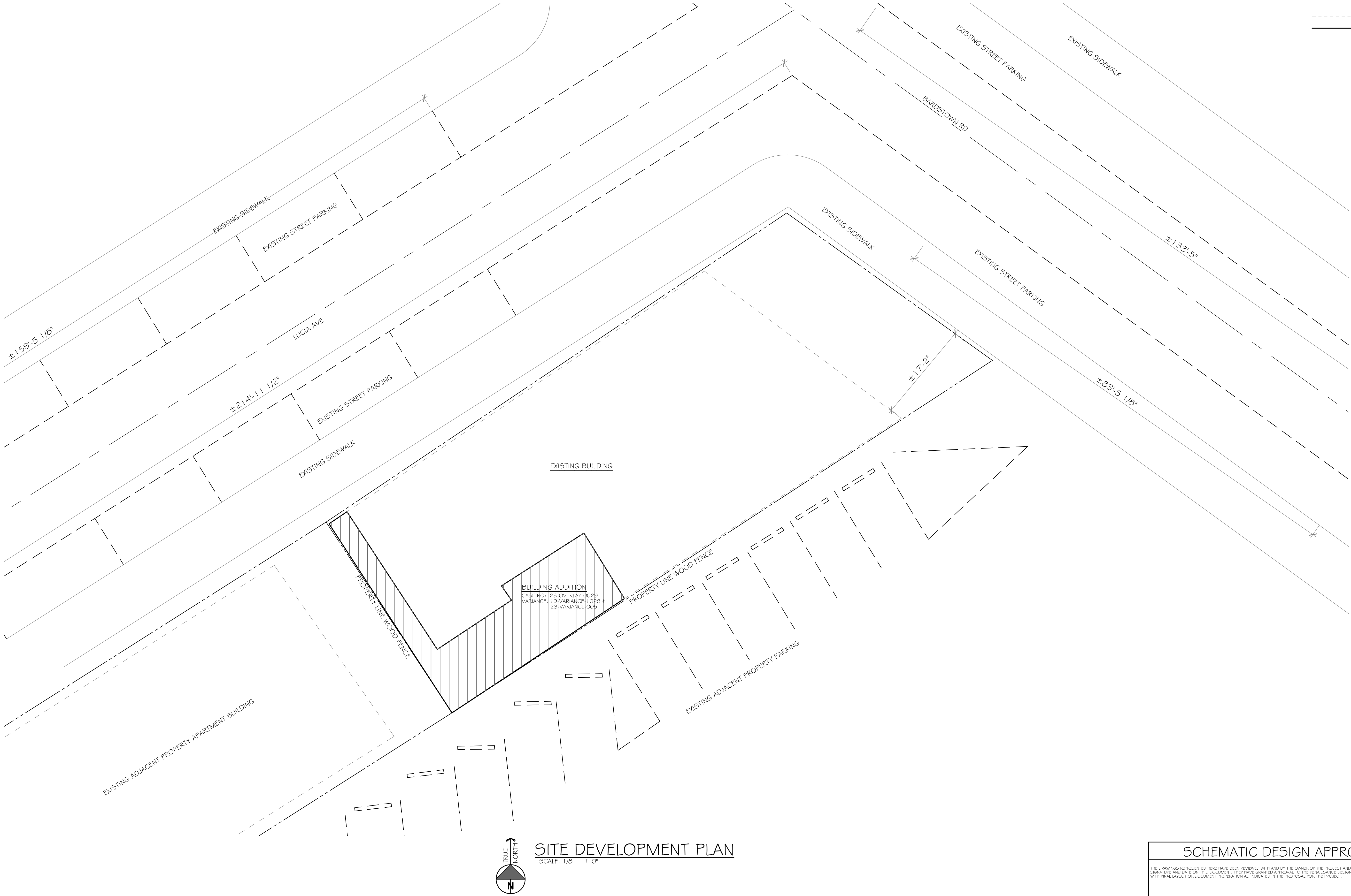
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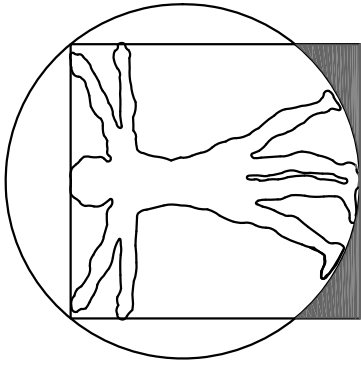


SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CENTER ROAD LINE
	EXISTING BUILDING LINE
	NEW BUILDING ADDITION LINE

SITE DEVELOPMENT PLAN
SCALE: 1/8" = 1'-0"

SCHEMATIC DESIGN APPROVAL	
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DATE:	DATE:

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SITE DEVELOPMENT PLAN
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SCALE: AS INDICATED
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C1.0

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