



LOCATION MAP NOT TO SCALE

LEGEND

SYMBOLS THAT MAY APPEAR ON DRAWING

Table with 2 columns: Symbol and Description. Lists various utility lines (gas, water, electric, sewer), structures (manholes, valves), and other site features.

KARST FEATURES NOTES

A GEOTECHNICAL REPORT WAS COMPLETED BY STV ON DECEMBER 12, 2025. THE INVESTIGATION INCLUDED THIRTEEN SOIL TEST BORINGS INCLUDING BORINGS PERFORMED AT THE FOUR CORNERS OF THE PROPOSED BUILDING FOOTPRINT AND EXTENDED TO AUGER REFUSAL. EVIDENCE OF KARST FEATURES WERE NOT ENCOUNTERED IN THE BORINGS. HOWEVER, THERE IS ALWAYS AN INHERENT RISK OF FUTURE GROUND SUBSIDENCE WHEN BUILDINGS IN ANY REGION WHERE KARST ACTIVITY IS KNOWN TO HISTORICALLY EXIST.

UTILITY NOTE

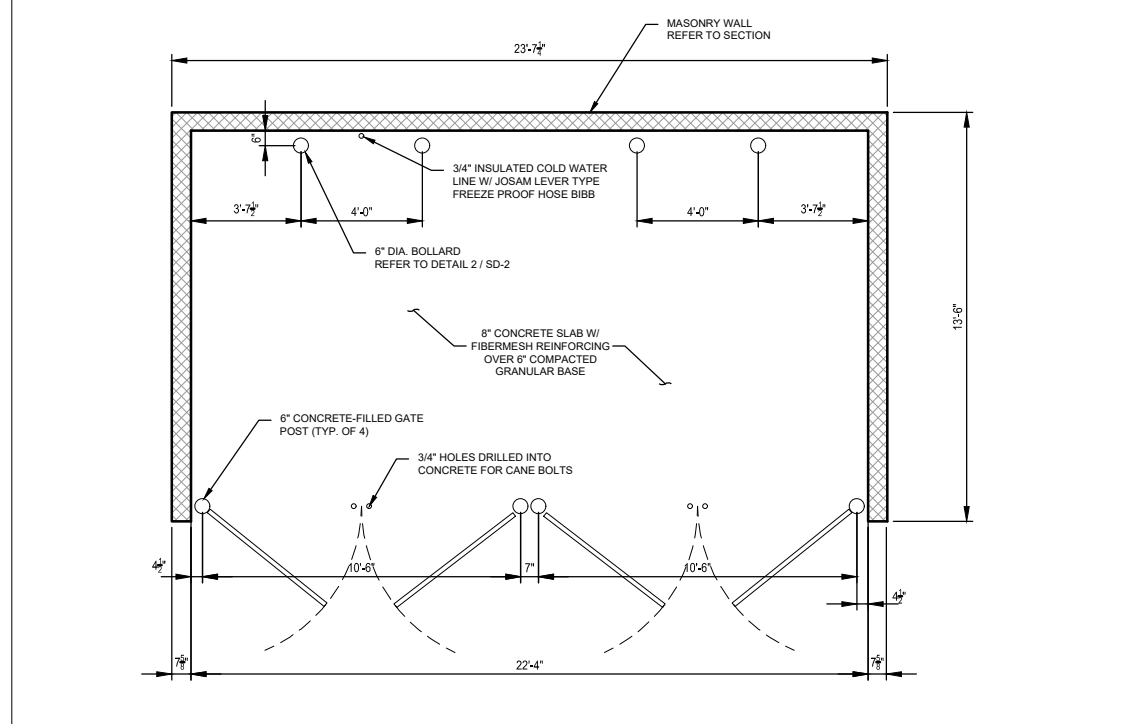
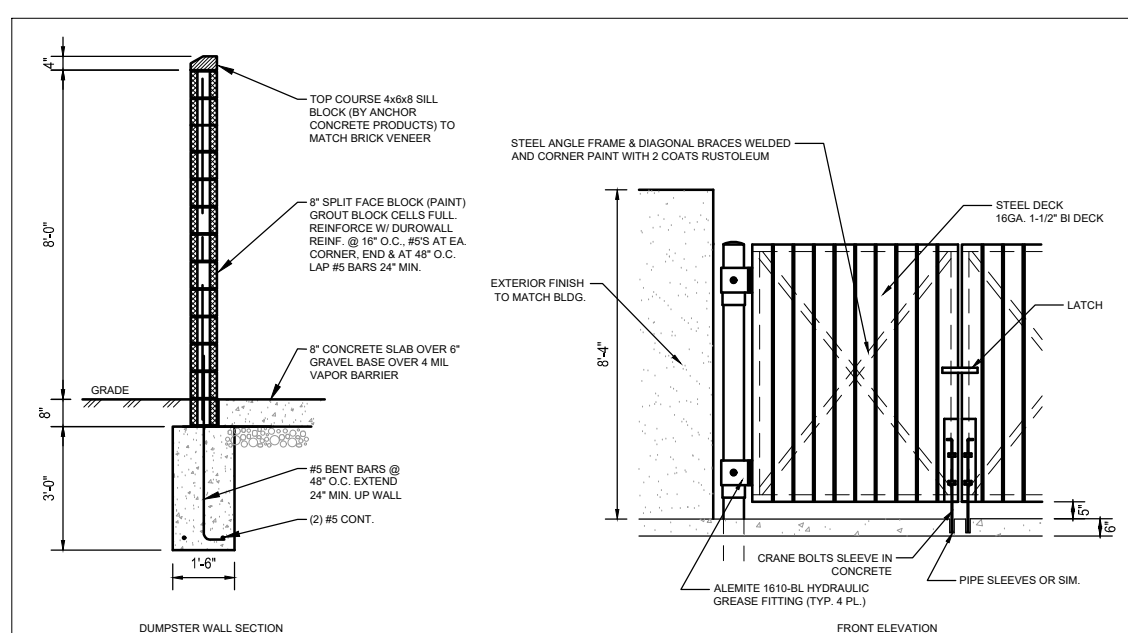
COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.

FIRE NOTES

- 1. THE SUBJECT PROPERTY IS LOCATED WITHIN THE FERN CREEK FIRE PROTECTION DISTRICT.
2. LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ) CONTACT INFORMATION: JOE ELSTONE, JELSTONE@FERNCREEKFIRE.COM.
3. HYDRANTS: PRIOR TO THE COMBUSTIBLE PHASE OF CONSTRUCTION AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE. AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LMCO 94.81)
4. GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
5. EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMUM SIGNAL STRENGTH CRITERIA, TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
6. REQUIREMENTS FOR SPECIFICATIONS OF FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX OR FIREFIGHTER SAFETY BUILDING MARKING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCED FIRE DISTRICT.
7. PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.

EPSC NOTES

- 1. CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
2. ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL AND GREASE POLICY.
3. MSD SITE DISTURBANCE PERMIT REQUIRED PRIOR TO ISSUE OF BUILDING PERMITS.
4. SANITARY SEWER SERVICE PROVIDED BY PSC, SUBJECT TO FEES AND ANY APPLICABLE CHARGES.
5. LIST THE TOTAL SITE DISTURBANCE, EXISTING IMPERVIOUS, PROPOSED IMPERVIOUS AND THE NET INCREASE/DECREASE OF IMPERVIOUS AREA ON THE PLAN.
6. AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL. TONY KELLY, TONY.KELLY@LOUISVILLEMSD.ORG (502)540-6266



GENERAL SITE NOTES

- 1. OWNER - NAME - McDONALDS USA, LLC ADDRESS - 110 N. CARPENTER ST., CHICAGO, IL 60607
2. DEVELOPER: NAME - McDONALDS USA, LLC ADDRESS - 110 N. CARPENTER ST., CHICAGO, IL 60607
3. FEMA FLOOD ZONE : ZONE X - OTHER FLOOD AREAS OUTSIDE OF THE 0.2 % ANNUAL CHANCE OF FLOODPLAIN PER PANEL 21111C0060E.
4. TAX BLOCK : 0610
5. LOT NUMBER : 0133

Table with 2 columns: Category and Value. Shows existing, proposed, and increased impervious areas in SF and percentage.

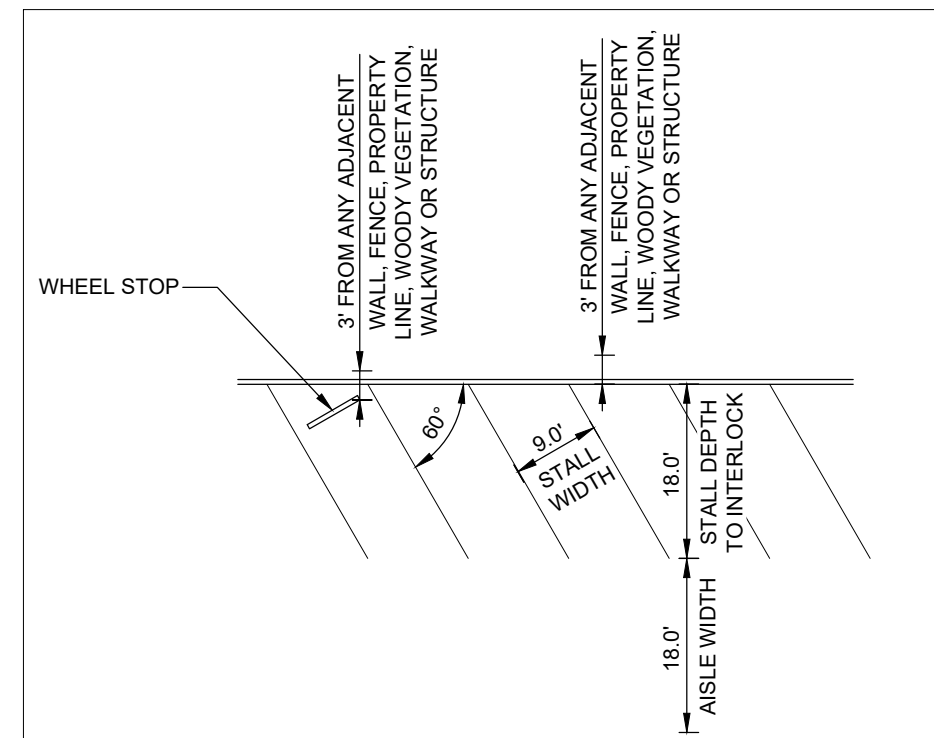


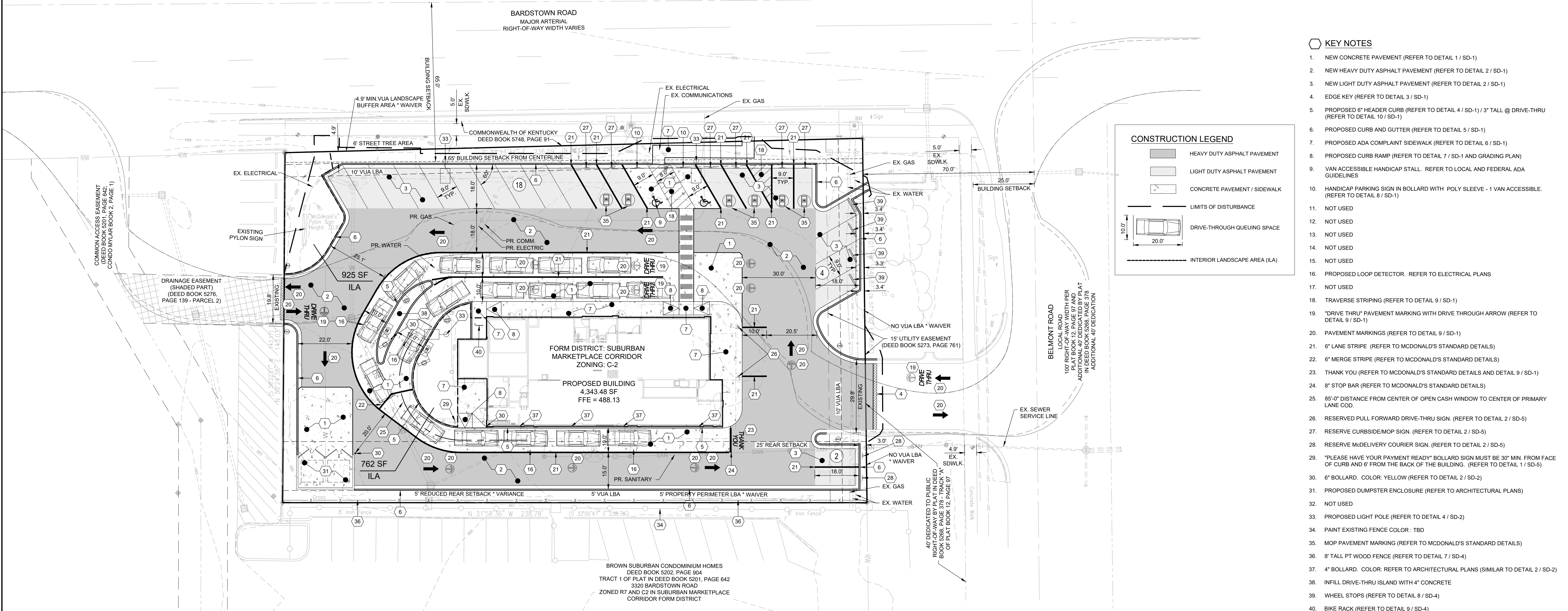
Table with 2 columns: Category and Value. Contains site data information such as site area, zoning, building size, and parking requirements.

Table with 2 columns: Category and Value. Contains landscape information including tree canopy requirements and interior landscape area details.

KEY NOTES

- 1. NEW CONCRETE PAVEMENT (REFER TO DETAIL 1 / SD-1)
2. NEW HEAVY DUTY ASPHALT PAVEMENT (REFER TO DETAIL 2 / SD-1)
3. NEW LIGHT DUTY ASPHALT PAVEMENT (REFER TO DETAIL 2 / SD-1)
4. EDGE KEY (REFER TO DETAIL 3 / SD-1)
5. PROPOSED 6" HEADER CURB (REFER TO DETAIL 4 / SD-1) / 3" TALL @ DRIVE-THRU (REFER TO DETAIL 10 / SD-1)
6. PROPOSED CURB AND GUTTER (REFER TO DETAIL 5 / SD-1)
7. PROPOSED ADA COMPLAINT SIDEWALK (REFER TO DETAIL 6 / SD-1)
8. PROPOSED CURB RAMP (REFER TO DETAIL 7 / SD-1 AND GRADING PLAN)
9. VAN ACCESSIBLE HANDICAP STALL. REFER TO LOCAL AND FEDERAL ADA GUIDELINES
10. HANDICAP PARKING SIGN IN BOLLARD WITH POLY SLEEVE - 1 VAN ACCESSIBLE. (REFER TO DETAIL 9 / SD-1)
11. NOT USED
12. NOT USED
13. NOT USED
14. NOT USED
15. NOT USED
16. PROPOSED LOOP DETECTOR. REFER TO ELECTRICAL PLANS
17. NOT USED
18. TRAVERSE STRIPING (REFER TO DETAIL 9 / SD-1)
19. "DRIVE THRU" PAVEMENT MARKING WITH DRIVE THROUGH ARROW (REFER TO DETAIL 9 / SD-1)
20. PAVEMENT MARKINGS (REFER TO DETAIL 9 / SD-1)
21. 6" LANE STRIPE (REFER TO MCDONALD'S STANDARD DETAILS)
22. 6" MERGE STRIPE (REFER TO MCDONALD'S STANDARD DETAILS)
23. THANK YOU (REFER TO MCDONALD'S STANDARD DETAILS AND DETAIL 9 / SD-1)
24. 8" STOP BAR (REFER TO MCDONALD'S STANDARD DETAILS)
25. 85'-0" DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE COO.
26. RESERVED PULL FORWARD DRIVE-THRU SIGN. (REFER TO DETAIL 2 / SD-5)
27. RESERVE CURBSIDE/MOP SIGN. (REFER TO DETAIL 2 / SD-5)
28. RESERVE MCDelivery COURIER SIGN. (REFER TO DETAIL 2 / SD-5)
29. "PLEASE HAVE YOUR PAYMENT READY" BOLLARD SIGN MUST BE 30" MIN. FROM FACE OF CURB AND 6" FROM THE BACK OF THE BUILDING. (REFER TO DETAIL 1 / SD-5)
30. 6" BOLLARD. COLOR: YELLOW (REFER TO DETAIL 2 / SD-2)
31. PROPOSED DUMPSTER ENCLOSURE (REFER TO ARCHITECTURAL PLANS)
32. NOT USED
33. PROPOSED LIGHT POLE (REFER TO DETAIL 4 / SD-2)
34. PAINT EXISTING FENCE COLOR : TBD
35. MOP PAVEMENT MARKING (REFER TO MCDONALD'S STANDARD DETAILS)
36. 8' TALL PT WOOD FENCE (REFER TO DETAIL 7 / SD-4)
37. 4" BOLLARD. COLOR: REFER TO ARCHITECTURAL PLANS (SIMILAR TO DETAIL 2 / SD-2)
38. INFILL DRIVE-THRU ISLAND WITH 4" CONCRETE
39. WHEEL STOPS (REFER TO DETAIL 8 / SD-4)
40. BIKE RACK (REFER TO DETAIL 9 / SD-4)

CONSTRUCTION LEGEND table defining symbols for heavy duty asphalt, light duty asphalt, concrete, limits of disturbance, drive-through queuing space, and interior landscape area.



24-HOUR CONTACT ACM: NANCY MALONE PHONE: (412) 965-4698



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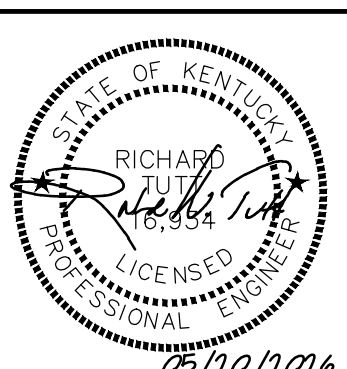
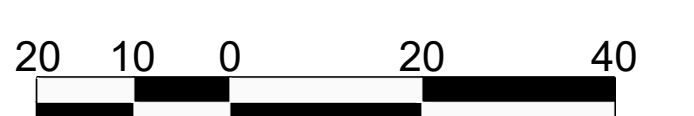


Table with 4 columns: No., Description, Date, Rev. For tracking changes to the drawing.

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SCALE: 1" = 20' DATE ISSUED: 05-20-26 DRAWN BY: M. BIDWELL REVIEWED BY: R. TUTT

TITLE: SITE LAYOUT DESCRIPTION: FIRE REBUILD AEI PROJECT NO. 225-202 SITE ADDRESS: 3340 BARDSTOWN RD, LOUISVILLE, KY 40218 SHEET NO.: 16-0110