



LEGEND

- BENCHMARK
- 1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "WINK PLS 3492" FOUND UNLESS NOTED OTHERWISE
- IRON PIN SET
- CONCRETE R/W MONUMENT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GAS METER
- TELEPHONE PESTAL
- STORM SEWER MANHOLE
- DROP BOX INLET
- CURB BOX INLET
- PIPE BOLLARD
- GUTTER OUTLET
- TREE
- MAILBOX
- LAMP POLE
- PROPERTY LINE
- BUILDING SETBACK LINE
- VUA/LBA SETBACK LINE
- EASEMENTS
- LOT LINE TO BE ABANDONED
- CENTERLINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD UTILITIES
- BURIED TELEPHONE
- SANITARY SEWER LINE
- WATER LINE
- STORM SEWER LINE
- FENCE LINE
- TREE PRESERVATION LINE
- DRAINAGE BOUNDARY LINE
- PROPOSED C1 ZONE
- PROPOSED OR1 ZONE
- EXISTING C1 ZONE
- DRAINAGE ARROW
- DRAINAGE ESMT.

GENERAL NOTES

- CONSTRUCTION PLANS, BOND AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS (MPW) PRIOR TO CONSTRUCTION APPROVAL FOR ALL WORK WITHIN RIGHT OF WAY.
- SIDEWALK RECONSTRUCTION AND REPAIRS SHALL BE REQUIRED, AS NECESSARY, TO MEET CURRENT MPW STANDARDS AND SHALL BE INSPECTED PRIOR TO FINAL BOND RELEASE.
- ALL NEW AND EXISTING SIDEWALKS SHALL BE BROUGHT UP OR BUILT TO CURRENT ADA STANDARDS.
- ALL PAVED AREAS, EXCLUDING PERVIOUS PAVEMENT, SHALL BE AS FOLLOWS: STANDARD DUTY CONCRETE W/6" 4,000 PSI CONCRETE, 6" COMPACTED AGGREGATE BASE AND HEAVY DUTY CONCRETE W/6" 4,000 PSI CONCRETE, 6" COMPACTED AGGREGATE BASE.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSION FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- OFF-STREET LOADING AND REFUSE COLLECTION AREAS SHALL BE LOCATED AND SCREENED SO AS NOT TO BE VISIBLE FROM ALL ADJACENT PROPERTIES.
- ACCESSORY STRUCTURES SHALL BE IN COMPLIANCE WITH SECTIONS 5.5.5 AND 10.2.6 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE SHALL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJUTING SIDEWALKS, PROPERTIES OR PUBLIC RIGHT-OF-WAY, TO PROTECT LANDSCAPED AREAS AND TO PROTECT ADJACENT PROPERTIES. SUCH WHEEL STOPS OR CURBING SHALL BE LOCATED AT LEAST THREE (3) FEET FROM ANY ADJACENT WALL, FENCE, PROPERTY LINE, WOODY VEGETATION, WALKWAY, OR STRUCTURE.
- STREET TREES ARE REQUIRED ALONG ALL STREET FRONTAGES.

MSD NOTES:

- SANITARY SEWER SERVICE WILL BE PROVIDED BY A PSC. FEES AND ANY APPLICABLE CHARGES WILL APPLY.
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- FINAL DESIGN OF THIS SITE MUST MEET ALL MS4 WATER QUALITY REQUIREMENTS AS SET FORTH IN THE MSD REGULATIONS. SITE LAYOUT MAY CHANGE AT DESIGN PHASE DUE TO PROPER SIZING OF BEST GREEN MGMT PRACTICES.
- COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY THE RESPONSIBLE AGENCIES.
- ON-SITE DETENTION WILL BE PROVIDED IN THE PROPOSED DETENTION BASIN. POST-DEVELOPED PEAK FLOWS WILL BE LIMITED TO PRE-DEVELOPED PEAK FLOWS FOR THE 2, 10, 25 AND 100-YEAR STORMS OR TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICHEVER IS MORE RESTRICTIVE.
- MSD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- IF THE FINAL SITE HAS THROUGH DRAINAGE, AN EASEMENT PLAT WILL BE REQUIRED PRIOR TO MSD GRANTING CONSTRUCTION PLAN APPROVAL.
- AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.

HEALTH DEPT. NOTES:

- EACH PROPOSED LOT/BUILDING MUST CONNECT TO ITS OWN SANITARY SEWER PSC WITH A MINIMUM SIX-INCH SANITARY SEWER.
- OWNER MUST PROVIDE DOCUMENTATION OF CONNECTION TO SANITARY SEWER, PSC, WITH A MINIMUM SIX-INCH SANITARY SEWER.
- SANITARY SEWER SERVICE TO BE PROVIDED BY MSD.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH AND WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 98 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- ANY FUTURE FOOD SERVICE ESTABLISHMENTS MUST BE IN ACCORDANCE WITH 902 KAR 45.005 REGULATIONS.
- MUST COMPLY WITH ALL CURRENT METRO SMOKING ORDINANCES.
- MUST COMPLY WITH 902 KAR TATTOOING REGULATIONS FOR ANY FUTURE MICROBLADING OR PERMANENT MAKEUP.
- PLANS MUST BE SUBMITTED TO THE HEALTH DEPT. PRIOR TO CONSTRUCTION.

ADDITIONAL NOTES:

- THE SUBJECT PROPERTY IS LOCATED WITHIN THE FERN CREEK FIRE DISTRICT.
- LOCAL FIRE AUTHORITY HAVING JURISDICTION (AHJ) CONTACT INFORMATION: JOE ELSTONE (JELSTONE@FERNCREEKFIRE.COM)
- HYDRANTS: PRIOR TO THE COMBUSTIBLE PHASE OF CONSTRUCTION AN ADEQUATE WATER SUPPLY INCLUDING ACCESSIBLE HYDRANTS FOR FIREFIGHTING PURPOSES MUST BE MADE AVAILABLE, AND NO UTILITIES SHALL BE CONNECTED TO THE STRUCTURE UNTIL ADEQUATE SUPPLY IS PROVIDED (LMCO 94.91).
- GATES: NO GATES SHALL BE INSTALLED WHICH LIMIT OR RESTRICT ACCESS TO A RESIDENTIAL AREA, EXCEPT AS APPROVED BY THE AHJ OF THE REFERENCED FIRE DISTRICT.
- EMERGENCY RESPONDER RADIO COVERAGE: EMERGENCY RADIO SYSTEMS ARE REQUIRED TO MEET MINIMUM SIGNAL STRENGTH CRITERIA, TO BE CONFIRMED VIA THIRD PARTY TESTING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IN SOME BUILDINGS.
- REQUIREMENTS FOR SPECIFICATIONS OF FIRE DEPARTMENT CONNECTIONS (FDC), THREADS, SIZE, LOCATION, PLACEMENT OF THE KNOX BOX, OR FIREFIGHTER SAFETY BUILDING MARKING SIGNAGE MUST BE OBTAINED FROM THE AHJ OF THE REFERENCED FIRE DISTRICT.
- PERMITTED PROJECTS SHALL COMPLY WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.

APPROVED VARIANCE (24-VARIANCE-0179):
CHAPTER 5.3.2 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE. MAXIMUM FRONT AND STREET SIDE SETBACK OF 80'. We are requesting a variance to increase the maximum setback.

APPROVED WAIVER (24-WAIVER-0195):
CHAPTER 5.6.1 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE. SERVICE ESTABLISHMENT TO HAVE 50% OF THE WALL SURFACES AT STREET-LEVEL CONSISTING OF CLEAR WINDOWS AND DOORS. We are requesting a waiver to allow for the reduction of the 50% requirement facing Bardstown Road.

PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE
GOODWILL INDUSTRIES OF KENTUCKY
2820 WEST BROADWAY
LOUISVILLE, KY 40211
DEED BOOK 13145 PAGE 993
DEED BOOK 13066 PAGE 418

TOTAL AREA DISTURBED:
7.52 ACRES

TREE CANOPY CALCULATIONS	
STATISTIC	PERMITTED / REQUIRED
GROSS SITE AREA:	7.02 +/- AC (305,811.99 +/- SF)
LOT 1:	2.85 +/- AC
LOT 2:	2.12 +/- AC
LOT 3:	1.98 +/- AC
REQUIRED CANOPY FOR DEVELOPMENT:	107,034.2 SF (35.0% OF SITE)
EXISTING TREE CANOPY:	62,574.40 SF (20.46% OF SITE)
EXISTING TREE TO BE PRESERVED:	24,287 SF (7.94% OF SITE)
REMAINING CANOPY TO BE PROVIDED:	82,747.2 SF (27.06% OF SITE)

INTERIOR LANDSCAPING	
STATISTIC	PERMITTED / REQUIRED
TOTAL VEHICLE USE AREA:	94,153.42 SF
INTERIOR LANDSCAPING REQUIRED:	7,061.51 SF (7.5%)
INTERIOR LANDSCAPING PROVIDED:	8,053 SF (8.5%)

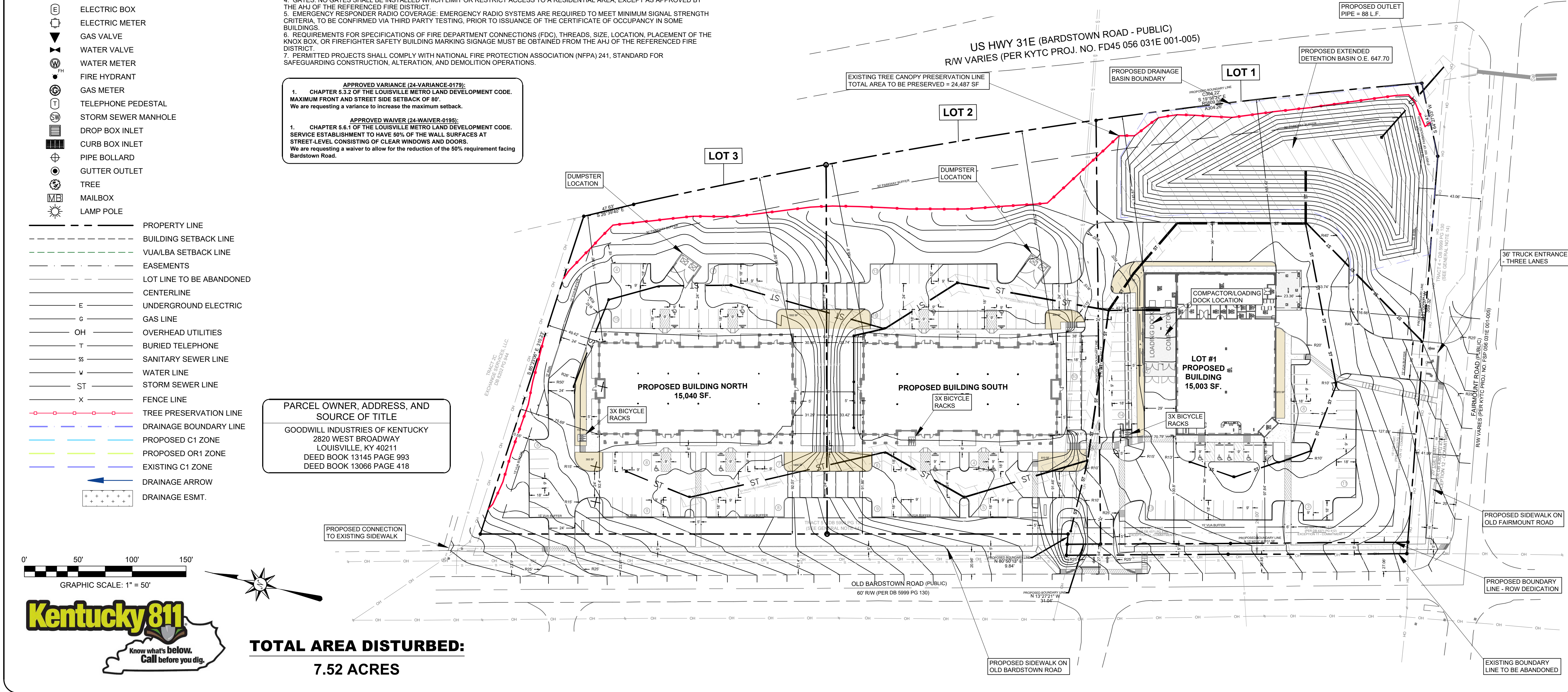
FIRE DEPT. NOTES:

- INSTALLATION OF 2 NEW HYDRANTS (AT MINIMUM) WILL BE REQUIRED.
- ANY BUILDING WITH A SPRINKLER SYSTEM WILL NEED A 5-INCH STORZ FIRE DEPT. CONNECTION (LOCATION(S)) CAN BE DETERMINED AT A LATER DATE.
- KNOX BOXES MAY BE REQUIRED.

DEVELOPMENT SUMMARY				
STATISTIC	PERMITTED / REQUIRED	LOT 1	LOT 2	LOT 3
CURRENT ZONING:	N/A	C1	OR1	OR1
PARCEL NUMBER:	N/A	005600940000 & 005600750000	005600750000 & 005600920000	005600920000
FORM DISTRICT:	NEIGHBORHOOD	NEIGHBORHOOD	NEIGHBORHOOD	NEIGHBORHOOD
EXISTING USE:	VACANT	VACANT	VACANT	VACANT
PROPOSED USE:	RETAIL	RETAIL	RETAIL	RETAIL
TOTAL SITE AREA:	N/A	2.85 AC	2.12 AC	1.98 AC
BUILDING SETBACKS:	FRONT YARD: 10' MIN 80' MAX SIDE STREET: 3' OF 0' FOR CORNER LOT SIDE YARD: 0' OR 5' ADJ. RESIDENTIAL REAR YARD: 5'	FRONT (SOUTH): 100.8' SIDE (EAST): 127.93' SIDE (WEST): 70.79' REAR (NORTH): 161.42'	FRONT (SOUTH): 91.86' SIDE (EAST): 39.10' SIDE (WEST): 33.74' REAR (NORTH): 199.52'	FRONT (SOUTH): 92.4' SIDE (EAST): 31.29' SIDE (WEST): 75.69' REAR (NORTH): 156.06'
TOTAL PARKING:	MIN: 100 SF MAX: 100 SF LOT 2 AND 3: MIN: 200 SF MAX: 100 SF	REQUIRED SPACES: 100 SF = 30 MAXIMUM SPACES: 100 SF = 75 PROVIDED SPACES = 55	REQUIRED SPACES: 100 SF = 38 MAXIMUM SPACES: 100 SF = 100 PROVIDED SPACES = 61	REQUIRED SPACES: 100 SF = 38 MAXIMUM SPACES: 100 SF = 100 PROVIDED SPACES = 66

BUILDING SUMMARY	
F.A.R.	MAXIMUM: 1.0
BUILDING AREA:	15,004 SF
BUILDING HEIGHT:	45'

PRE-DEVELOPED	POST-DEVELOPED
COMPOSITE CURVE NUMBER: 61.95	COMPOSITE CURVE NUMBER: 81.98
IMPERVIOUS AREA: 0.164 ACRES (98)	IMPERVIOUS AREA: 3.94 ACRES (98)
GRAVEL: 0.026 ACRES (85)	PERVIOUS AREA: 3.01 ACRES (81)
PERVIOUS: 6.83 (81)	'NET INCREASE OF 3.776 ACRES IMPERVIOUS AREA
TOTAL AREA: 7.02 ACRES	LAND USE: COMMERCIAL = LOW DENSITY
LAND USE: RESIDENTIAL	Q (100YR) = 1,819 CFS
Q (100YR) = 24.87 CFS	PROPOSED BASIN EXTENDED DETENTION STORM WATER BASIN



REVISIONS

GENERAL DEVELOPMENT PLAN
OLD BARDSTOWN ROAD
8807, 8805, 8803, OLD BARDSTOWN ROAD
LOUISVILLE, KY 40272

ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1338
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: 25-3205-L
DATE: 06-08-2026
SCALE: 1" = 50'
DRAWN: C. ROGERS
CHECKED: B. ZACKERY
APPROVED:
B. ZACKERY

PRELIMINARY
NOT FOR
CONSTRUCTION

DP
DEVELOPMENT
PLAN