

PARKLAND BRANCH

LOUISVILLE, KENTUCKY



CONCEPT RENDERING

CERTIFICATE OF APPROPRIATENESS SUBMISSION

3/13/23

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JQOL

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P: 317.661.1964

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Lexington, KY 40502
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CIVIL ENGINEER

CIVIL DESIGN INC.

9400 Bunsen Pkwy Suite 150
Louisville, KY 40220
P: 217.342.2025

LANDSCAPE ARCHITECT

MKSK

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CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE

LOUISVILLE, KENTUCKY



GENERAL

PROJECT 2022-28

DATE 3/31/23

REVISIONS

No. Description Date

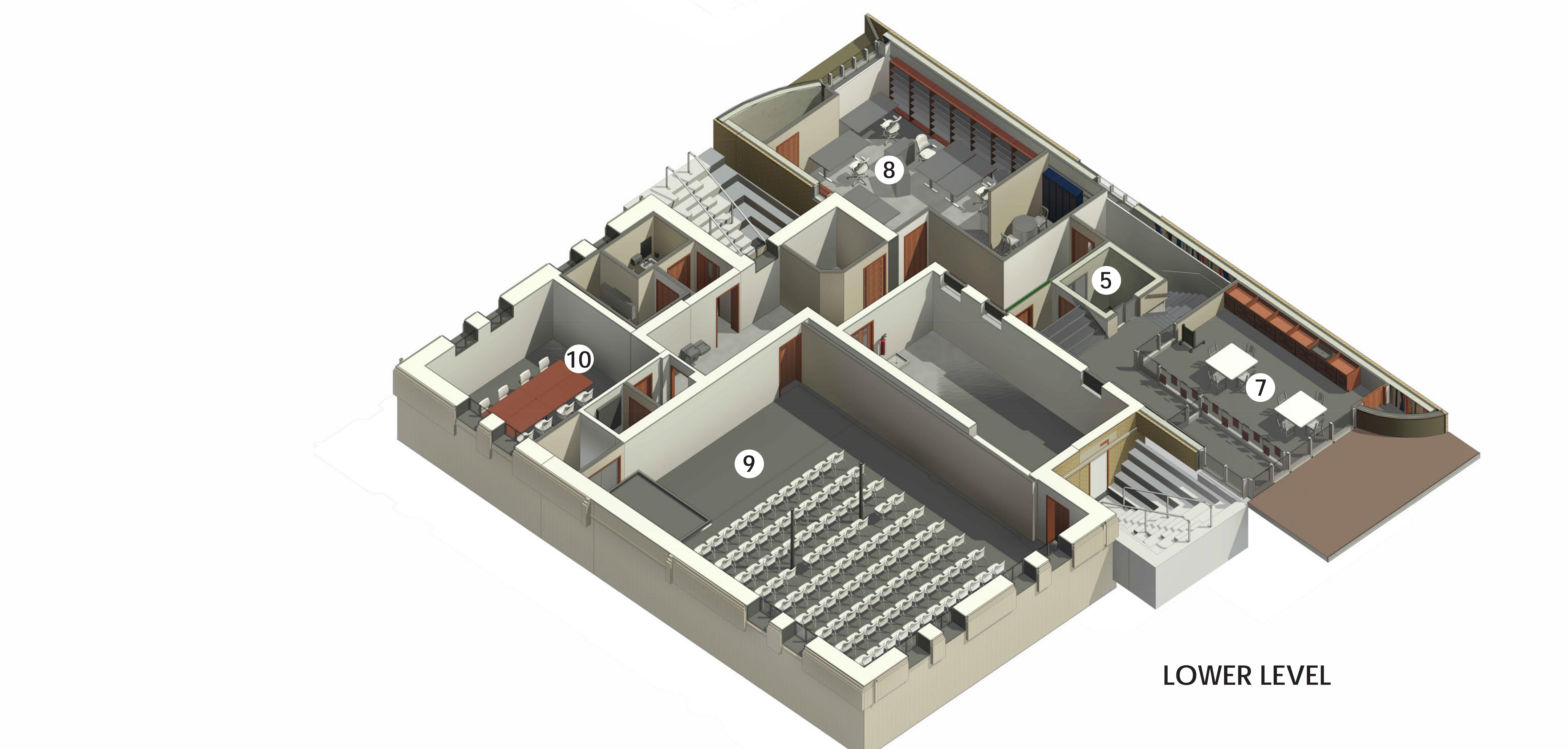
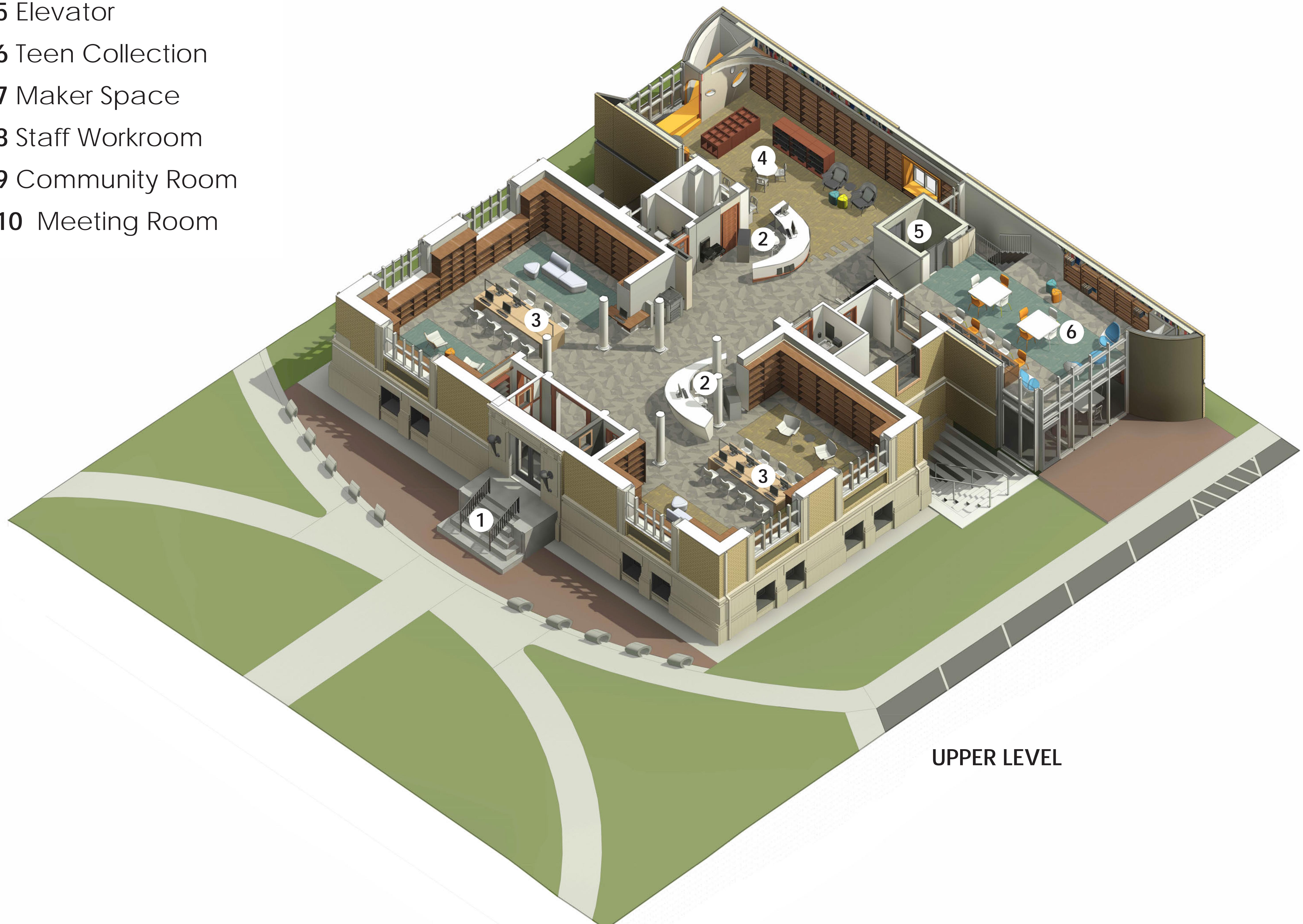
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COVER SHEET

G-001

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- 1 Historic Entrance
- 2 Service Point
- 3 Adult Collection
- 4 Children's Collection
- 5 Elevator
- 6 Teen Collection
- 7 Maker Space
- 8 Staff Workroom
- 9 Community Room
- 10 Meeting Room





EXTERIOR IMAGE OF SOUTH PLAZA FROM VIRGINIA AVE

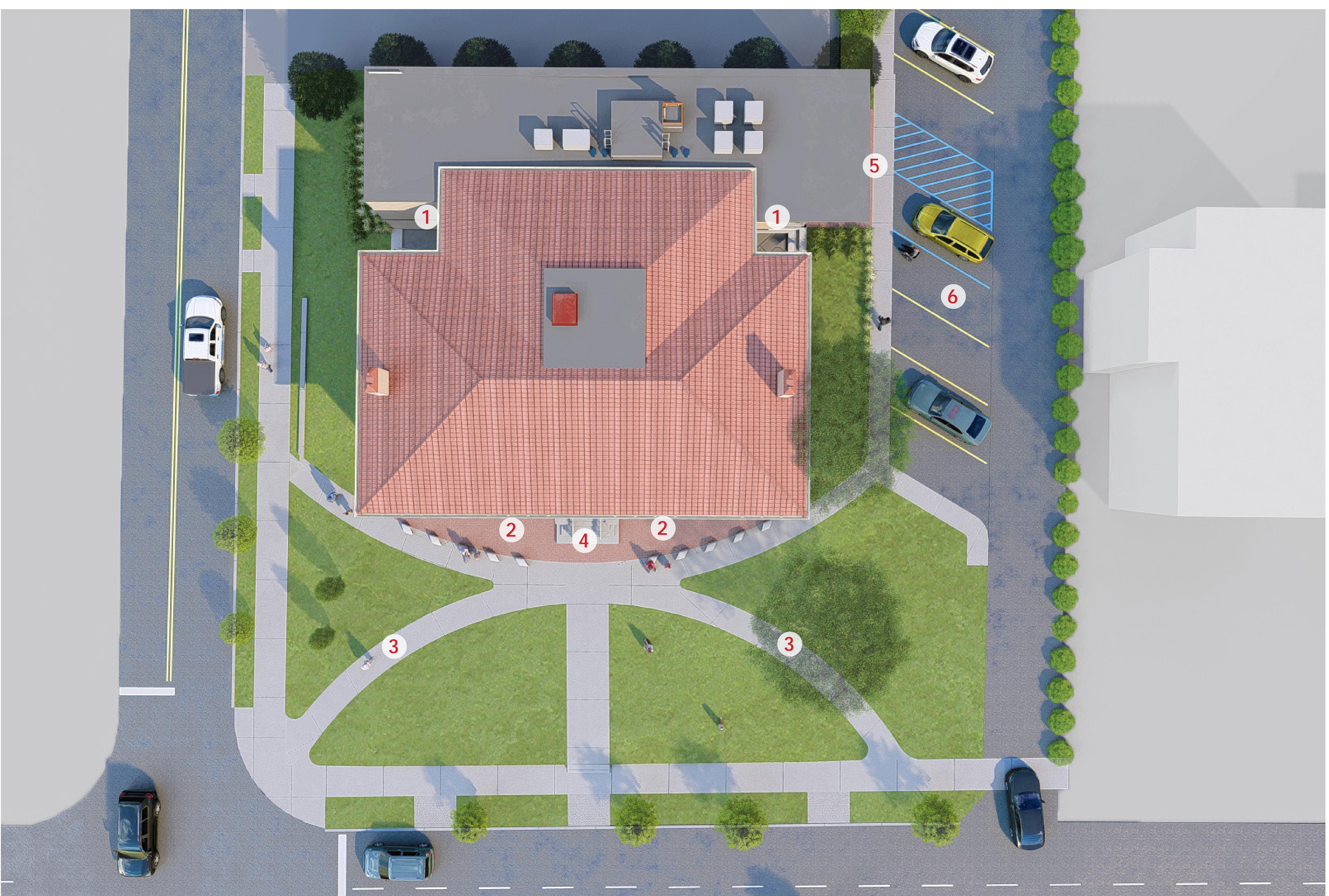


EXTERIOR IMAGE OF SOUTHWEST CORNER FROM S 28TH ST

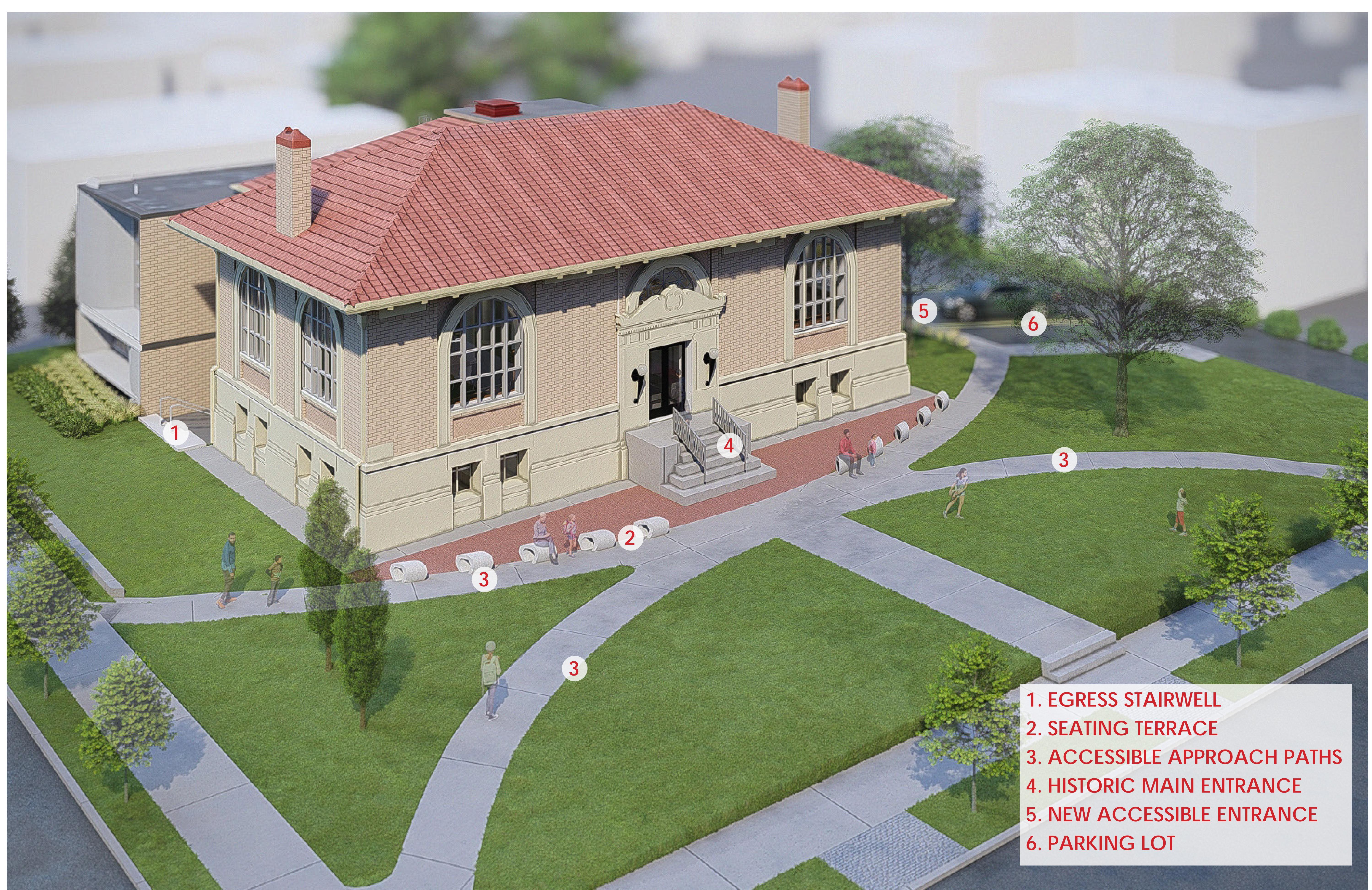


EXTERIOR IMAGE OF WEST FACADE FROM S 28TH ST





BIRDS EYE VIEW OF SITE AND BUILDING CONDITIONS



- 1. EGRESS STAIRWELL
- 2. SEATING TERRACE
- 3. ACCESSIBLE APPROACH PATHS
- 4. HISTORIC MAIN ENTRANCE
- 5. NEW ACCESSIBLE ENTRANCE
- 6. PARKING LOT

PERSPECTIVE VIEW OF SITE AND BUILDING CONDITIONS



FIRST IMPRESSION VIEW INSIDE THE HISTORIC ENTRANCE



INTERIOR IMAGE OF ADULT COLLECTION



INTERIOR IMAGE OF CHILDREN'S COLLECTION





| INDEX OF DRAWINGS - CIVIL | |
|---------------------------|----------------------------------|
| DRAWING | SHEET DESCRIPTION |
| C-100 | REFERENCE SURVEY / GENERAL NOTES |
| C-200 | DEMOLITION AND EPSC PLAN |
| C-300 | SITE LAYOUT AND UTILITY PLAN |
| C-400 | SITE GRADING PLAN |
| C-500 | SITE DETAILS |

GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS, AND SERVICES REQUIRED TO COMPLETE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK; THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
3. ALL CONSTRUCTION METHODS, MATERIALS AND WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH THE KENTUCKY TRANSPORTATION CABINET, DEPARTMENT OF HIGHWAYS' STANDARD SPECIFICATIONS AND SUPPLEMENTS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED. THE CURRENT KENTUCKY STANDARD DRAWINGS WILL ALSO APPLY UNLESS NOTED OTHERWISE ON THESE PLANS.
4. CONSTRUCTION BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ALL CONSTRUCTION WORK WITHIN THE S. 28TH STREET AND VIRGINIA AVENUE RIGHT-OF-WAY PRIOR TO CONSTRUCTION APPROVAL.
5. FORTY EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION A NOTICE SHALL BE GIVEN BY THE DEVELOPER OR CONTRACTOR TO METRO PUBLIC WORKS INSPECTOR FOR NECESSARY INSPECTION OF CONSTRUCTION WORK, SUBGRADE, SUBBASE, BASE, PAVEMENT, SURFACING, ROADWAY AND CURB REPAIRS AND SIDEWALKS. CALL THE INSPECTORS DIRECTLY OR THE MAIN PUBLIC WORKS TELEPHONE NUMBER 502-574-5810.
6. THE DEVELOPER IS RESPONSIBLE FOR THE RELOCATION AND ADJUSTMENT OF ALL UTILITY INSTALLATIONS. SHOULD ANY EXISTING DRAINAGE STRUCTURES AND/OR UTILITIES WITHIN THE RIGHT OF WAY NEED TO BE RELOCATED, EXTENDED OR OTHERWISE ALTERED, IT WILL BE AT THE OWNER'S OR DEVELOPER'S EXPENSE.
7. IF ANY UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION, EXTREME CAUTION SHALL BE EXERCISED AND THE UTILITY COMPANY NOTIFIED IMMEDIATELY. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY AT THE DIRECTION OF UTILITY COMPANY.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL FEDERAL, STATE AND LOCAL PERMITS NECESSARY TO PERFORM AND COMPLETE THE PROJECT AS SHOWN ON THESE PLANS.
9. CONSTRUCTION STAKING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ADDITIONAL INFORMATION FOR STAKING THE PROJECTS LINES AND GRADES WILL BE PROVIDED IN AUTOCAD DRAWING FILE FORMAT UPON REQUEST.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE UTILITY COMPANIES SUCH THAT ACCESS TO WORK AREAS OR SCHEDULE CONFLICTS DO NOT INTERRUPT OR DELAY THE PROJECT SCHEDULE.
11. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION, NOTIFY THE ENGINEER OF CONFLICTS OR DISCREPANCIES FOUND, AND TO COORDINATE ALL UTILITY RELOCATES, CONNECTS, AND DISCONNECTS WITH THE APPROPRIATE UTILITY COMPANY.
12. COORDINATE BUILDING DIMENSIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS WHICH TAKE PRECEDENCE OVER CIVIL DRAWINGS.
13. ALL EXISTING PLANT MATERIALS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF RESTORING/REPLACING DAMAGED PLANT MATERIALS.
14. CONTRACTOR SHALL KEEP ALL SURROUNDING PUBLIC ROADWAYS, PEDESTRIAN WAYS AND DRAINAGE SYSTEMS FREE FROM DIRT, MUD AND CONSTRUCTION DEBRIS AT ALL TIMES.
15. SANITARY SEWERS ARE AVAILABLE BY EXISTING PSC.

DEMOLITION NOTES:

1. REMOVE ALL PAVEMENT, CURBS, BUILDINGS, UTILITIES, ETC. REQUIRED FOR THE CONSTRUCTION OF THE FACILITIES SHOWN IN THIS PLAN SET WHETHER SHOWN ON THIS SHEET OR NOT.
2. REMOVE PAVEMENT AND BASE TO THE PROPOSED SUBGRADE ELEVATION.
3. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROVED WASTE DISPOSAL SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES ASSOCIATED WITH DISPOSAL OF WASTE MATERIALS.
4. COORDINATE WITH THE APPLICABLE UTILITY COMPANIES ON THE DISCONNECT, REMOVAL, ABANDONMENT, AND/OR RELOCATION OF EXISTING UTILITY SERVICE LINES ON THE SITE.
5. ALL UTILITY LINES TO BE ABANDONED IN PLACE, AND ANY OTHER PIPING, CONDUITS, ETC. ENCOUNTERED SHALL BE REMOVED TO A POINT 18" BELOW THE PROPOSED GRADE AND PLUGGED.
6. THE CONTRACTOR SHALL MAKE ALL PROVISIONS TO ASSURE ALL UTILITY MANHOLES, LIDS, VALVES, ETC. (LOCATED HEREON OR NOT) ARE PROPERLY ADJUSTED TO THE GRADES ESTABLISHED BY THIS PROJECT.
7. FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL EXPLORATION REPORT.

| | |
|------------------|----------|
| CIVIL | |
| PROJECT | 2022-70 |
| DATE | 03.10.23 |
| DRAWN | AVD |
| CHECKED | AVD |
| REVISIONS | |
| | |
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| | |

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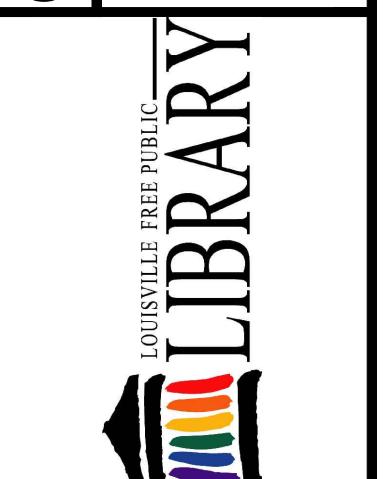
REFERENCE SURVEY GENERAL NOTES

C-100

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CONSTRUCTION DOCUMENT LFPL PARKLAND BRANCH



| CIVIL | |
|------------------|----------|
| PROJECT | 2022-70 |
| DATE | 03.10.23 |
| DRAWN | AVD |
| CHECKED | AVD |
| REVISIONS | |
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REFERENCE SURVEY GENERAL NOTES

C-100

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EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATION TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM THE CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02-03.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

DUST CONTROL MEASURES, SUCH AS WATERING OF BARE SOIL AREAS, SHALL BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT TO MINIMIZE FUGITIVE DUST.

CONSTRUCTION SEQUENCE & MAINTENANCE SCHEDULE

1. CONTACT MSD INSPECTOR FOR A PRECONSTRUCTION MEETING PRIOR TO INSTALLING ANY EROSION CONTROLS.
2. INSTALL SILT FENCE PER M.S.D. DWG. EF-09-02.
3. INSTALL SILT SOCK.
4. CONSTRUCT ALL SITE IMPROVEMENTS.
5. INSTALL PLANNED SURFACE STABILIZATIONS AS AREAS OF WORK ARE COMPLETED.
6. EPSC CONTROLS ARE TO BE INSPECTED EVERY SEVEN (7) DAYS AND AFTER EVERY $\frac{1}{2}$ " OR MORE RAINFALL EVENT.
7. ALL SEDIMENT CONTROL STRUCTURES SHALL BE CLEANED WHEN DEPOSITED SEDIMENT REACHES $\frac{1}{3}$ THE HEIGHT OF THE STRUCTURE.
8. CARE SHOULD BE TAKEN NOT TO DAMAGE SEDIMENT CONTROL STRUCTURES WHEN REMOVING DEPOSITED SEDIMENT. REPAIR AND/OR REMOVE AND REPLACE ANY DAMAGED SEDIMENT CONTROL STRUCTURE AS SOON AS PRACTICAL.
9. ONCE SITE STABILIZATION IS ACHIEVED, REMOVE ALL EROSION CONTROL MEASURES AND DISPOSE OF IN AN APPROVED WASTE DISPOSAL SITE.

SITE DEMOLITION KEYNOTES:

1. REMOVE ASPHALT PAVEMENT.
2. REMOVE SIDEWALK AND CURB (INCLUDING 3"x3" CURB AT BUILDING WALL).
3. SAW CUT AND REMOVE SIDEWALK.
4. REMOVE CONCRETE WALL.
5. RELOCATE CONDENSING UNITS. COORDINATE WITH MEP.
6. REMOVE SIGN.
7. REMOVE TREE. COORDINATE WITH ADJACENT PROPERTY OWNER FOR TREE REMOVAL ALONG NORTH PROPERTY LINE.
8. REMOVE STORM STRUCTURES AND PIPING.
9. MODIFY EXISTING DOWNSPOUTS TO DRAIN ON NEW ROOF ADDITION. SEE ARCHITECTURAL PLANS.
10. REMOVE/RELOCATE OVERHEAD UTILITY LINES. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR DISCONNECT AND REMOVAL.
11. REMOVE "HISTORIC" FENCE POST AND DISPOSE OF AS DIRECTED BY OWNER

STRUCTURE DEMOLITION NOTE

SEE ARCHITECTURAL / STRUCTURAL PLANS FOR STRUCTURE DEMOLITION
(IE RAMPS, STAIRS, PORCHES, WALLS, ETC.)

LEGEND



A CONCRETE SIDEWALK TO BE REMOVED



B ASPHALT PAVEMENT TO BE REMOVED

F — SILT FENCE

S — SILT SOCK

U... SURFACE RUNOFF FLOW ARROW

UTILITY PROTECTION NOTE:

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS & WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS & SPECIAL PROVISIONS



DEMOLITION AND E.P.S.C. PLAN

C-200



SITE LAYOUT KEYNOTES:

1. ASPHALT PAVEMENT. SEE SHEET C-500 FOR DETAIL.
2. CONCRETE SIDEWALK. LMPW DRAWING 420. USE HISTORIC CONCRETE MIX. INSTALL 3"x3" CURB ADJACENT TO THE BUILDING WALL.
3. WHEELSTOP. SEE SHEET C-500 FOR DETAIL.
4. PAVERS. SEE DETAIL SHEET L-500.
5. SEAT WALL.
6. 8' x 4' CONCRETE PAD FOR TRASH CANS. SEE SHEET C-500 FOR DETAIL.
7. 12" YARD DRAIN. NYLOPLAST DRAIN BASIN OR APPROVED EQUAL.
8. 18" MANHOLE. NYLOPLAST DRAIN BASIN WITH SOLID LID.
9. SUMP PUMP. SEE SHEET C-500 FOR DETAIL. DISCHARGE INTO DOWNSPOUT BOOT.
10. STORM CLEANOUT. 8" NYLOPLAST DRAIN BASIN WITH SOLID LID.
11. SEE MEP PLANS FOR EXACT LOCATION OF ROOF DRAIN EXIT.
12. COORDINATE WITH MEP FOR NEW ENTRANCE LOCATION FOR EXISTING DOMESTIC WATER SERVICE.
13. BOOK DROP.
14. HISTORIC HEADER CURB. LMPW DRAWING 410.
15. CONCRETE STEPS. 6" RISER, 15" TREAD.
16. INSTALL FOUNDATION DRAIN. SEE NOTE BELOW AND DETAIL SHEET C-500.

FOUNDATION DRAIN NOTES:

- A. FOUNDATION DRAIN SHALL BE INSTALLED ALONG ENTIRE BUILDING PERIMETER.
- B. CONNECT FOUNDATION DRAIN TO 18" MANHOLE ON THE WEST SIDE OF THE BUILDING. SEE SHEET C-400.

EXISTING UTILITY CONNECTIONS NOTE:

EXISTING SANITARY SEWER, WATER AND GAS SERVICE CONNECTIONS SHALL REMAIN. CONTRACTOR SHALL VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING CONNECTIONS.

UNDERGROUND STORM PIPING NOTES:

- A. EXACT LOCATION AND ELEVATION OF EXISTING SANITARY ARE UNKNOWN. CONTRACTOR SHALL UNCOVER EXISTING PIPING, VERIFY INVERT ELEVATION AND NOTIFY ARCHITECT/ENGINEER PRIOR TO UNDERGROUND PIPE INSTALLATION/CONNECTION. CONTRACTOR SHALL MAKE ALL PROVISIONS TO ASSURE EXISTING PIPING IS NOT DAMAGED AND REMAINS OPERATIONAL UPON COMPLETION OF CONSTRUCTION.
- B. IF INVERT ELEVATION OF THE EXISTING SANITARY CONNECTION IS HIGHER THAN 446.0' AND/OR DIAMETER IS LESS THAN 6", EXISTING CONNECTION SHALL BE REPLACED WITH 6" PVC. SEE ALTERNATE 1 ON SHEET C-400.

DOWNSPOUTS NOTES:

ALL DOWNSPOUTS SHALL BE CONNECTED TO NEW 6" HDPE HEADER PIPE. CONTRACTOR SHALL REFURBISH EXISTING CAST IRON DOWNSPOUT BOOTS.

UTILITY NOTES:

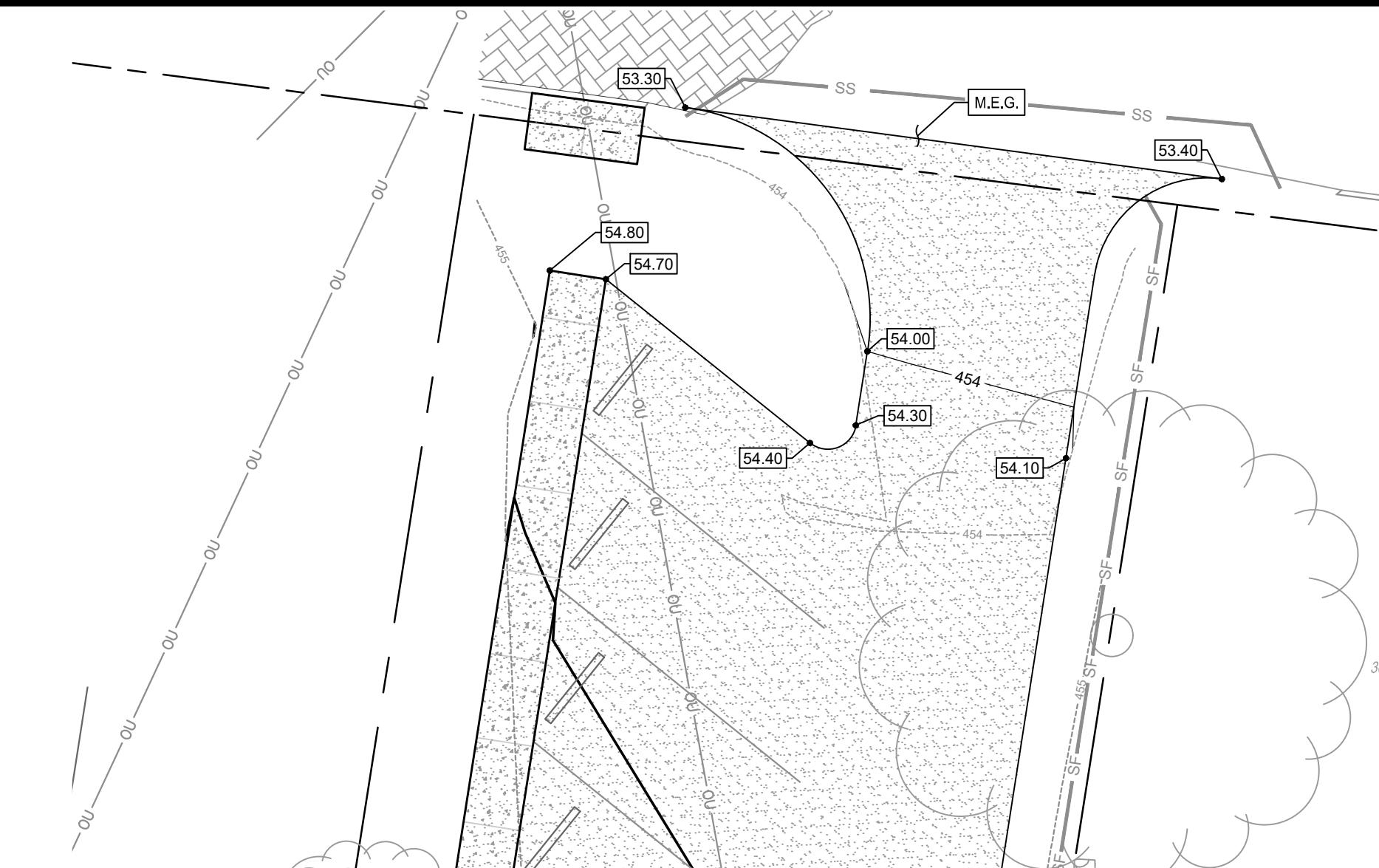
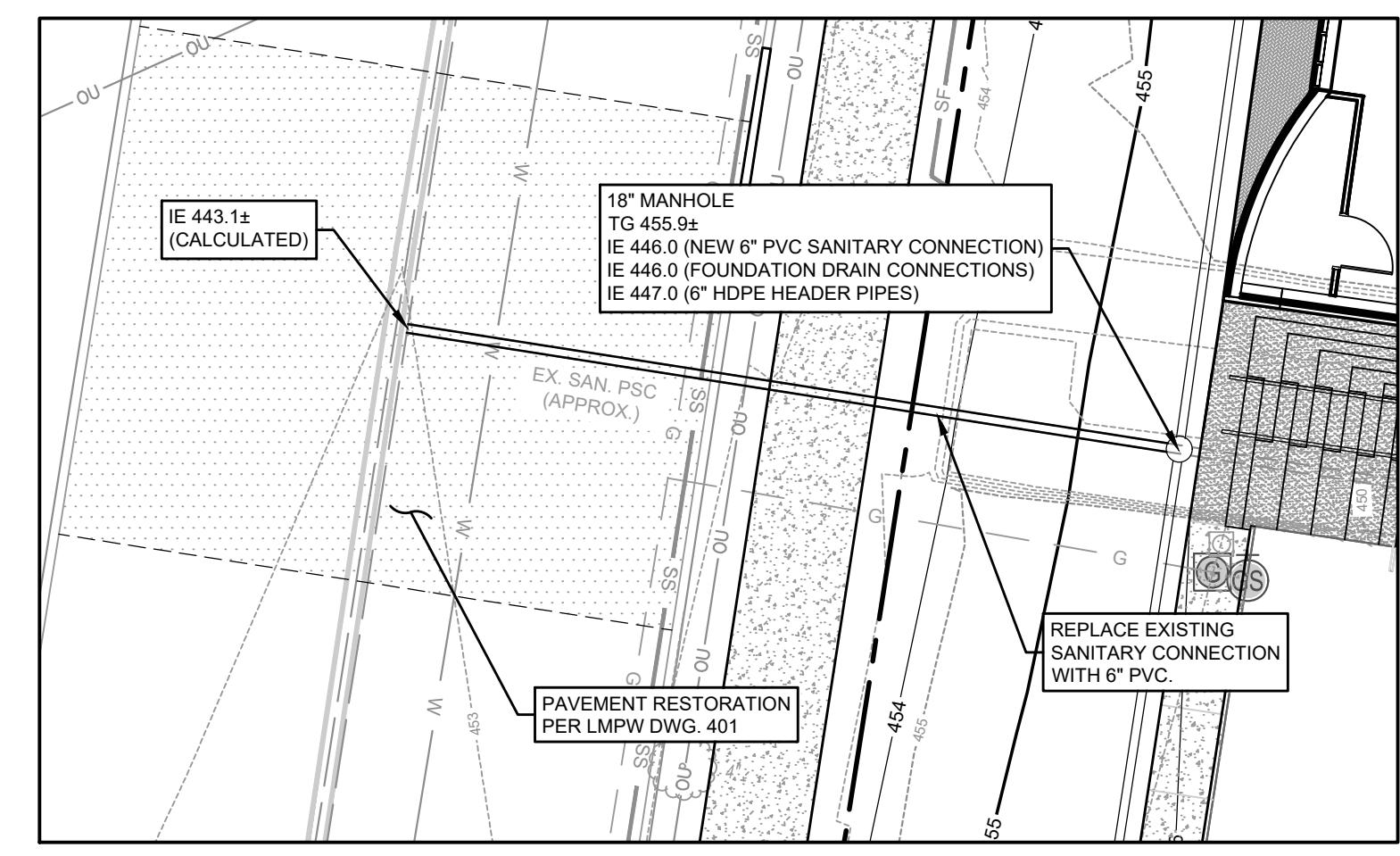
1. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL UTILITY COMPANY SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, RECORD DRAWINGS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR ALL INCLUSIVE.
4. CONTRACTOR SHALL UNCOVER AND VERIFY ALL LOCATIONS AND ELEVATIONS AT TIE IN AND CROSSING LOCATIONS PRIOR TO ANY UNDERGROUND PIPE INSTALLATION.
5. CONTRACTOR SHALL LOCATE ALL EXISTING ACTIVE UTILITIES IN THE PROJECT AREA. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING CONSTRUCTION ACTIVITIES AND COORDINATE ANY DISRUPTION OF SERVICE WITH THE UTILITY COMPANY, OWNER AND CONSTRUCTION MANAGER.
6. CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MINIMIZE ENVIRONMENTAL CONTAMINATION ENTERING UTILITY LINES BEING CONSTRUCTED TO ENSURE CONTAMINATION DOES NOT LEAVE THE SITE.

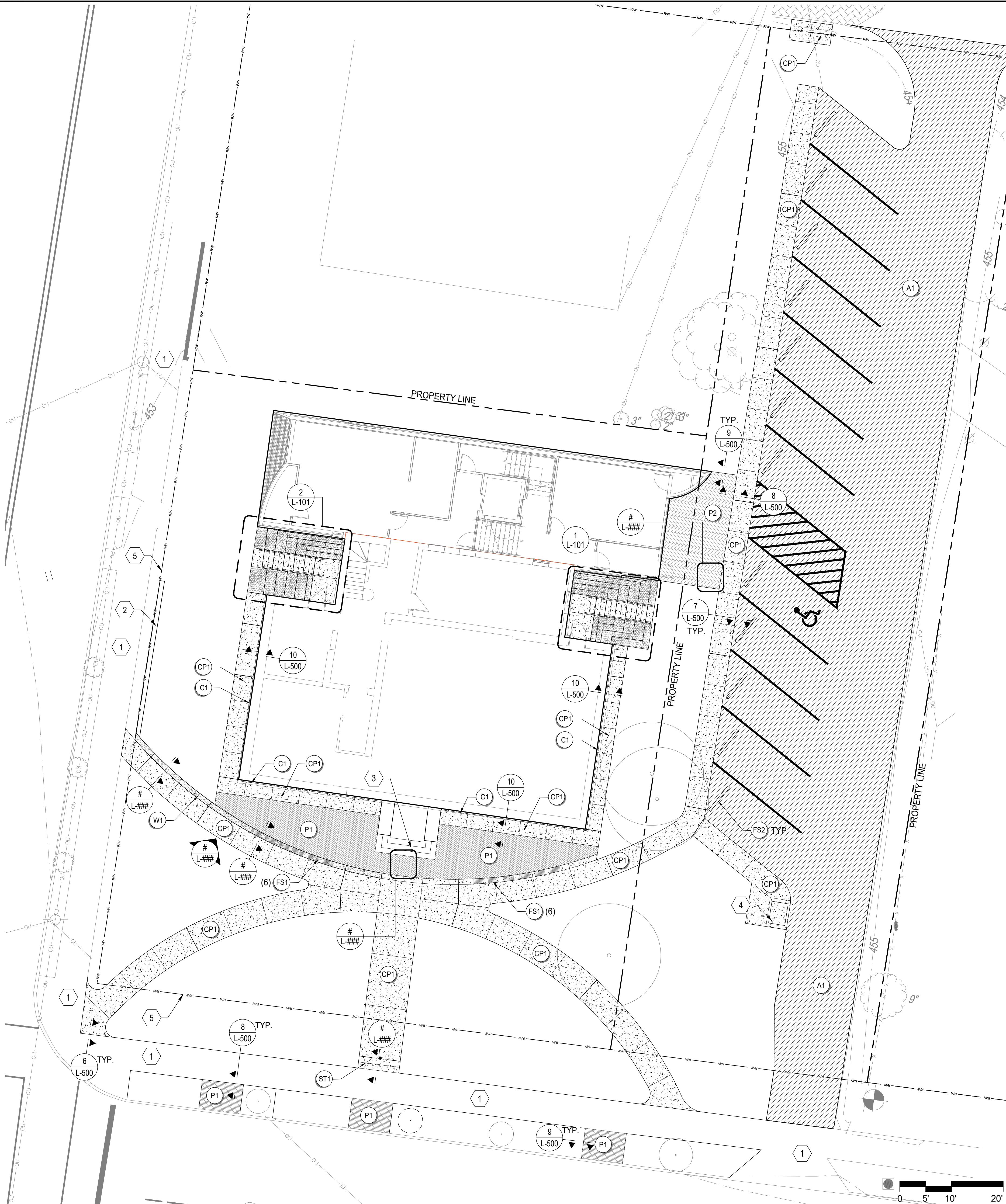
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0 5 10 20 Feet
1'=10'





MATERIALS SCHEDULE

| ITEM | SYM | DETAIL | SPECIFICATION |
|-------------------------|-----|------------|---------------|
| CURBS | | | |
| INTEGRAL CONCRETE CURB | C1 | 10 / L-500 | 32 13 13 |
| PAVING | | | |
| ASPHALT PAVING | A1 | PER CIVIL | |
| CONCRETE PAVING | CP1 | 1 / L-500 | 32 13 13 |
| PAVERS - TYPE 1 | P1 | 2 / L-500 | 32 14 00 |
| PAVERS - TYPE 2 | P2 | 2 / L-500 | 32 14 00 |
| FURNISHINGS | | | |
| CUSTOM BENCH | FS1 | | |
| WHEEL STOP | FS2 | PER CIVIL | |
| RAILINGS | | | |
| HANDRAIL | RG1 | 1 / L-501 | |
| STAIRS | | | |
| CONCRETE STAIRS | ST1 | 1 / L-501 | 32 13 13 |
| WALLS | | | |
| CONCRETE RETAINING WALL | W1 | | 32 13 13 |
| CONCRETE STADIUM STEPS | W2 | 3 / L-502 | 32 13 13 |

CODED NOTES

- 1 EXISTING CONCRETE WALK TO BE REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 2 SECTION OF EXISTING CONCRETE WALL TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 3 EXISTING STAIRS AND CHEEKWALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 4 PROPOSED BOOK-DROP BOX
- 5 RIGHT-OF-WAY BOUNDARY

The logo for JRA Architects. It features the letters 'JRA' in a large, stylized, white, sans-serif font. Below 'JRA', the word 'architects' is written in a smaller, lowercase, white, sans-serif font.

829 East Market Street, Suite 1
Louisville, Kentucky 40206
502.583.4697



DESIGN DEVELOPMENT

FPL PARKLAND BRANCH



1 EAST STAIRWELL ENLARGEMENT

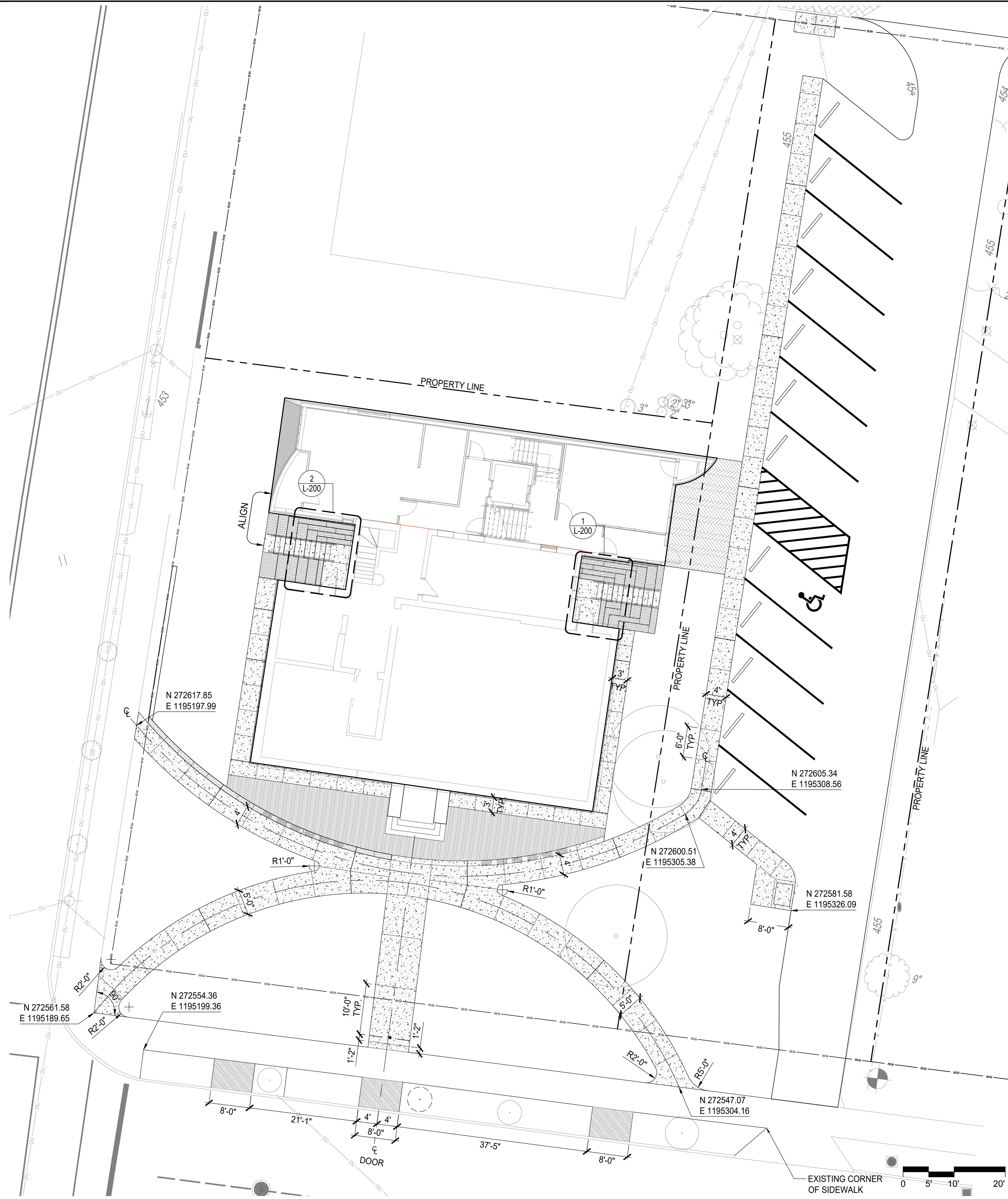


© WEST STAIRWELL ENLARGEMENT

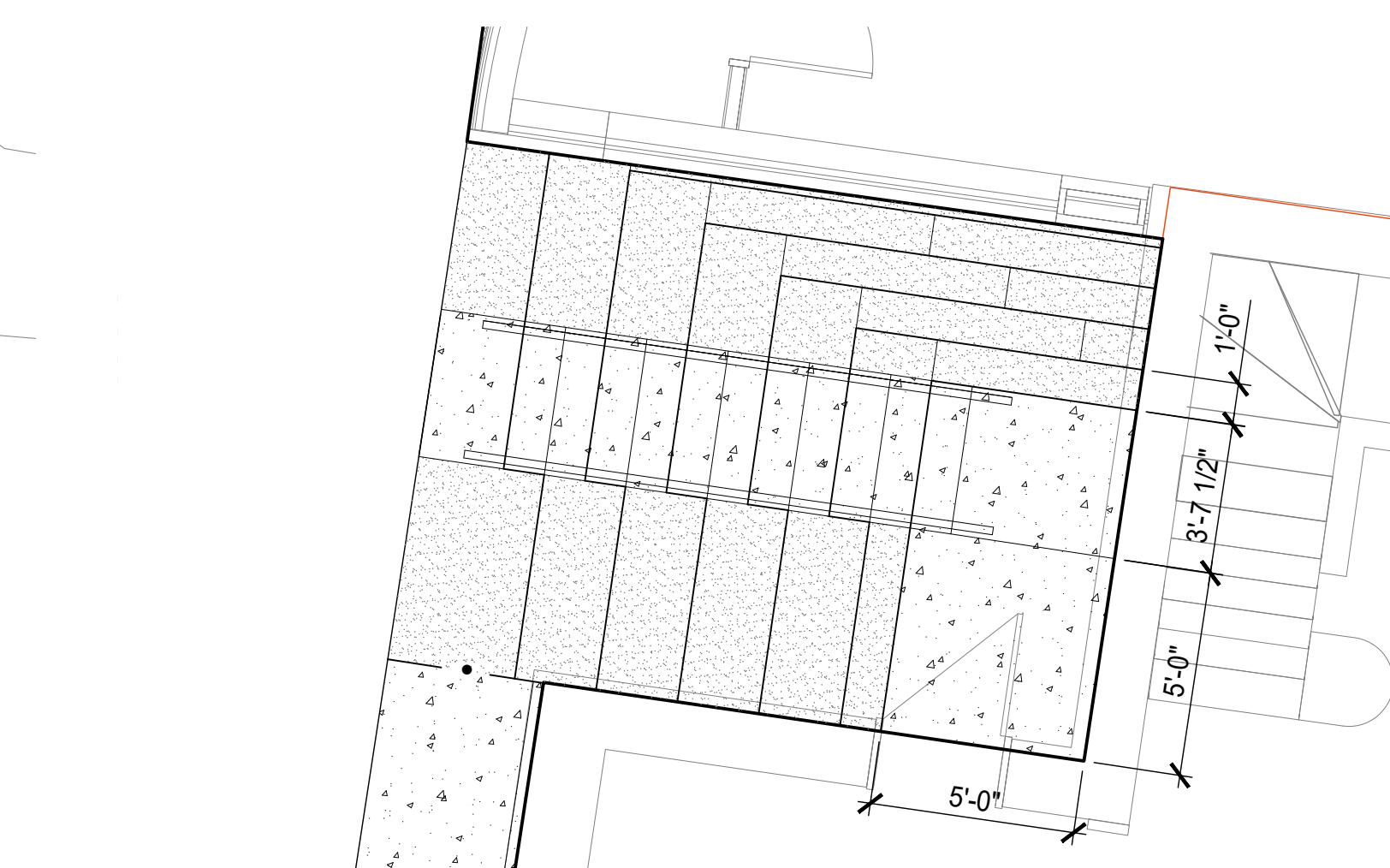
| LANDSCAPE | |
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| PROJECT | 2022-70 |
| DATE | 01.27.23 |
| DRAWN | RB |
| CHECKED | DJ |
| REVISIONS | |
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| <p>JRA ARCHITECTS HAS RETAINED AN ELECTRONIC VERSION OF THESE DRAWINGS. THE CLIENT AGREES NOT TO REUSE THESE DRAWINGS - IN ELECTRONIC OR ANY OTHER FORMAT - IN WHOLE, OR IN PART, FOR ANY PURPOSE OTHER THAN FOR THE PROJECT. THE CLIENT AGREES NOT TO TRANSFER THESE ELECTRONIC FILES TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. THE CLIENT FURTHER AGREES TO WAIVE ALL CLAIMS AGAINST THE ARCHITECT RESULTING IN ANY WAY FROM ANY UNAUTHORIZED CHANGES TO OR REUSE OF THE ELECTRONIC FILES FOR ANY OTHER PROJECT BY ANYONE OTHER THAN THE</p> | |

LANDSCAPE MATERIALS PLAN

I .101



1 EAST STAIRWELL ENLARGEMENT



2 WEST STAIRWELL ENLARGEMENT

CODED NOTE

1

LAYOUT NOT

1. REFER GENERAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL INSTRUCTIONS.
2. FIELD STAKING AND LAYOUT TO BE PERFORMED BY A REGISTERED SURVEYOR. LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
3. IN THE EVENT THAT DISCREPANCIES ARISE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
4. UNLESS NOTED OTHERWISE, DIMENSIONS SHOWN ARE IN FEET AND INCHES AND TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB.
5. RADII OF EXISTING CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. MAKE ALL MODIFICATIONS NECESSARY TO ASSURE NEW CURBS MEET, FLUSH, EVEN AND ON TANGENT TO EXISTING CURB.
6. WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE SMOOTH CONTINUOUS CURVES AND ABUTT AT 90 DEGREE ANGLES UNLESS OTHERWISE INDICATED.
7. CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.
8. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING OR PROPOSED).
9. PROVIDE FLUSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
10. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.

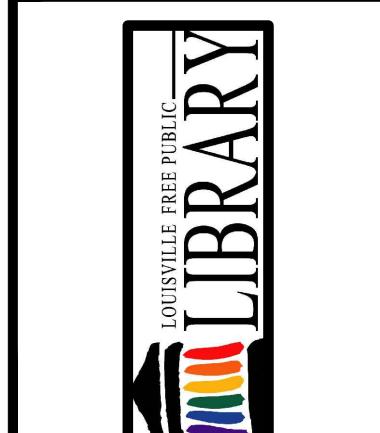
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LFPL PARKLAND BRANCH

DESIGN DEVELOPMENT

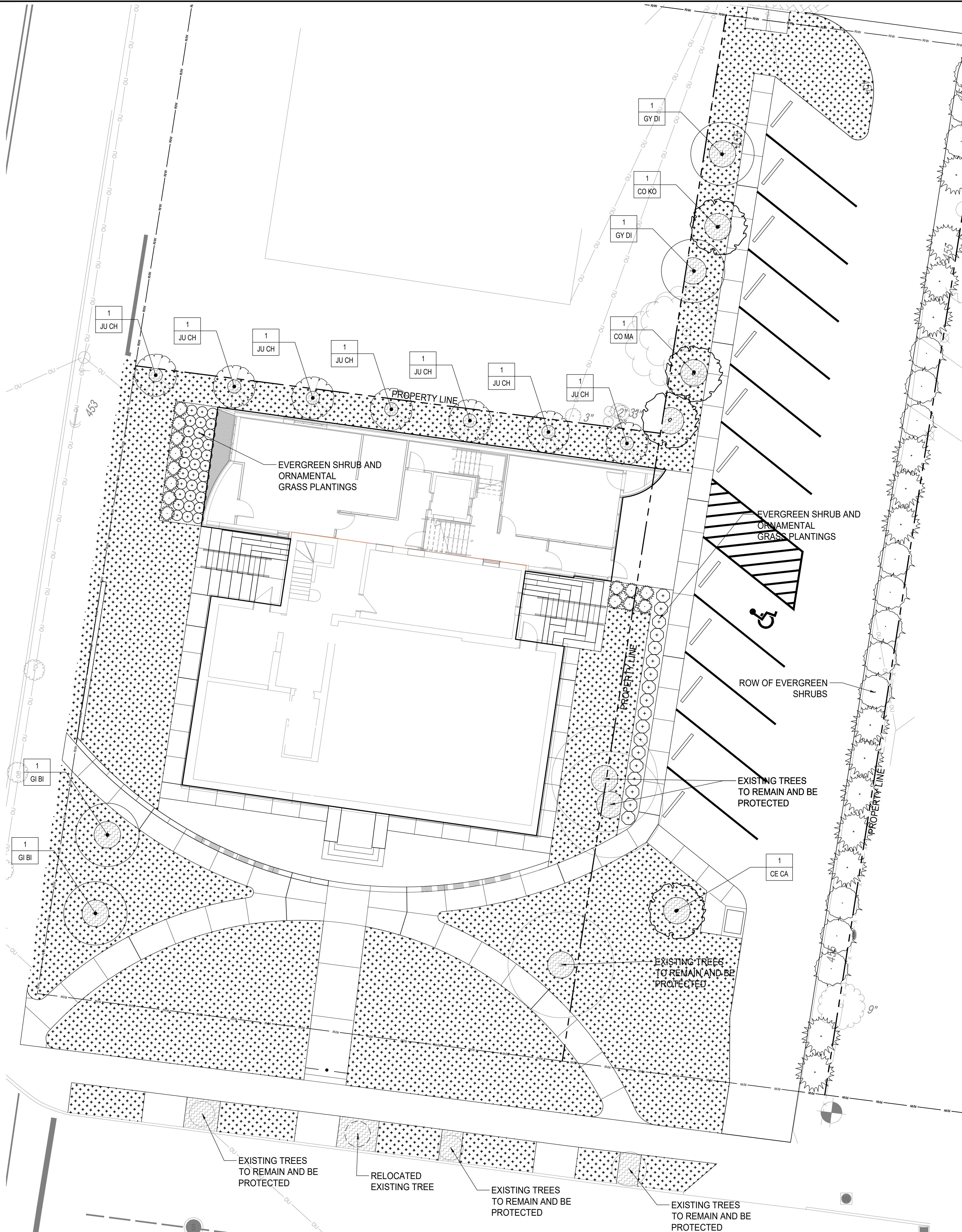


| LANDSCAPE | |
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| PROJECT | 2022-70 |
| DATE | 01.27.23 |

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LANDSCAPE LAYOUT AND JOINTING PLAN

L-200



PLANT SCHEDULE

| KEY | SCIENTIFIC NAME | COMMON NAME | SIZE | SPACING | CONDITION | NOTES |
|-------------------------|------------------------------------|------------------------------|------------|----------|-----------|----------------------|
| ORNAMENTAL TREES | | | | | | |
| CE CA | CERCIS CANADENSIS VAR. ALBA | WHITE EASTERN REDBUD | 2" CAL. | AS SHOWN | B&B | MULTI-STEM |
| CO KO | CORNUS KOUSHA 'KN30-8' | VENUS DOGWOOD | 2" CAL. | AS SHOWN | B&B | MULTI-STEM |
| CO MA | CORNUS MAS 'GOLDEN GLORY' | CORNELIAN CHERRY DOGWOOD | 6' TALL | AS SHOWN | B&B | MULTI-STEM, SPECIMEN |
| DECIDUOUS TREES | | | | | | |
| GI BI | GINGKO BILoba 'PRINCETON CENTRY' | COLUMNAR GINKGO TREE | 3" CAL. | AS SHOWN | B&B | |
| GY DI | GYMNOCLADUS DIOICUS 'ESPRESSO/JFS' | ESPRESSO KENTUCKY COFFEETREE | 4" CAL. | AS SHOWN | B&B | |
| EVERGREEN TREES | | | | | | |
| JU CH | JUNIPERUS CHINENSIS 'KETELEERI' | CHINESE JUNIPER | 8'-9' TALL | AS SHOWN | B&B | |

PLANTING NOTES

- SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. SUBSTITUTIONS FOR PLANT MATERIALS WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
- PROTECT PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
- PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- VERIFY PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
- STAKE BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.
- ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
- PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- TEST FILL EACH TREE AND PLANTING PIT WITH WATER. PRIOR TO PLANTING TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER SCARIFIED ALONG OUTER EDGES AND SIDES OF PIT. DO NOT DISTURB AREA SUPPORTING TREE BALL. REPEAT TEST. ALLOWANCES WILL NOT BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE.
- PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT.
- REMOVE PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.
- PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION AND MAINTAINED WEED FREE THROUGH FINAL ACCEPTANCE.

| LANDSCAPE | |
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| PROJECT | 2022-70 |
| DATE | 01.27.23 |
| DRAWN | RB |
| CHECKED | DJ |
| REVISIONS | |
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PLANTING PLAN

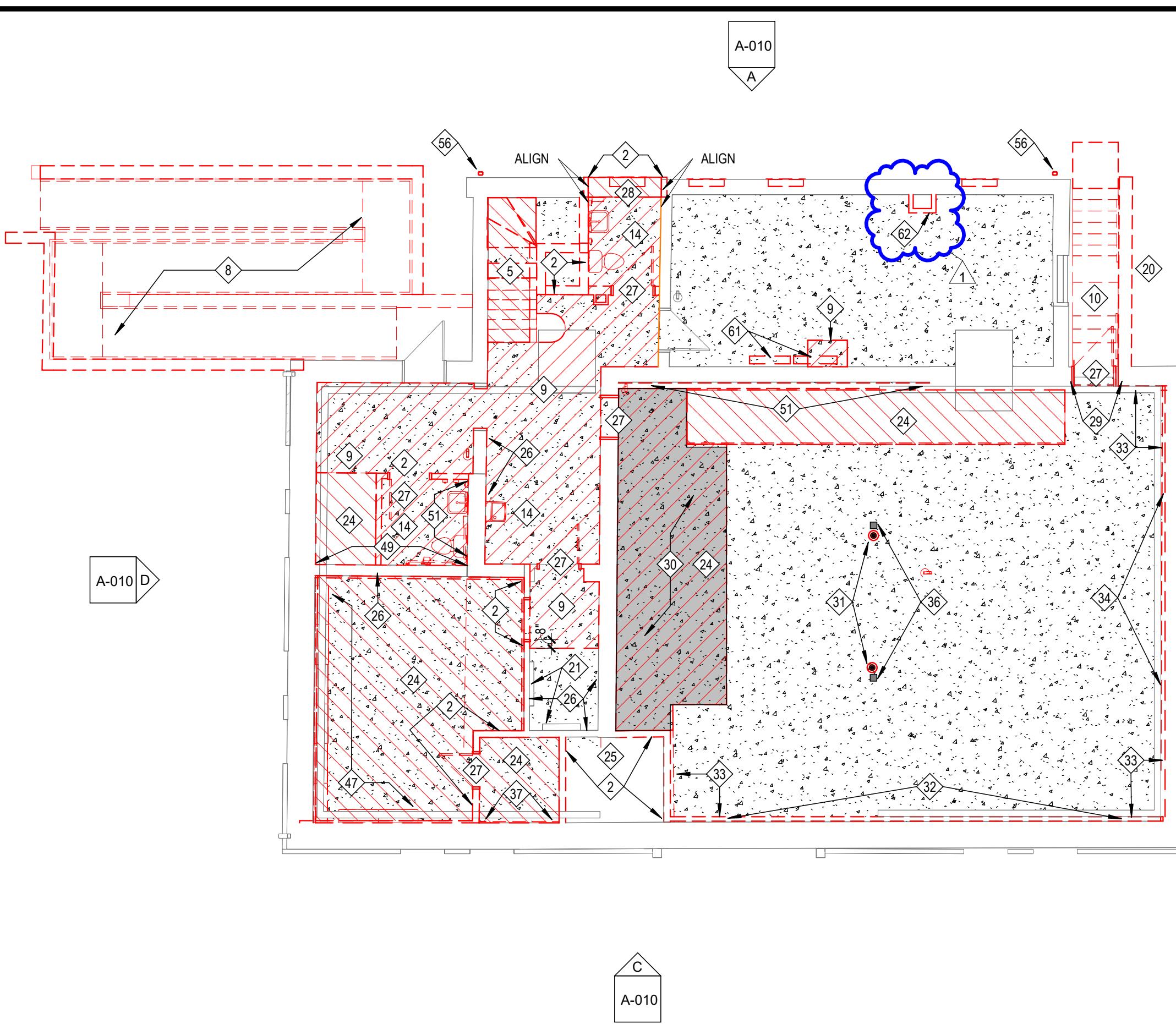
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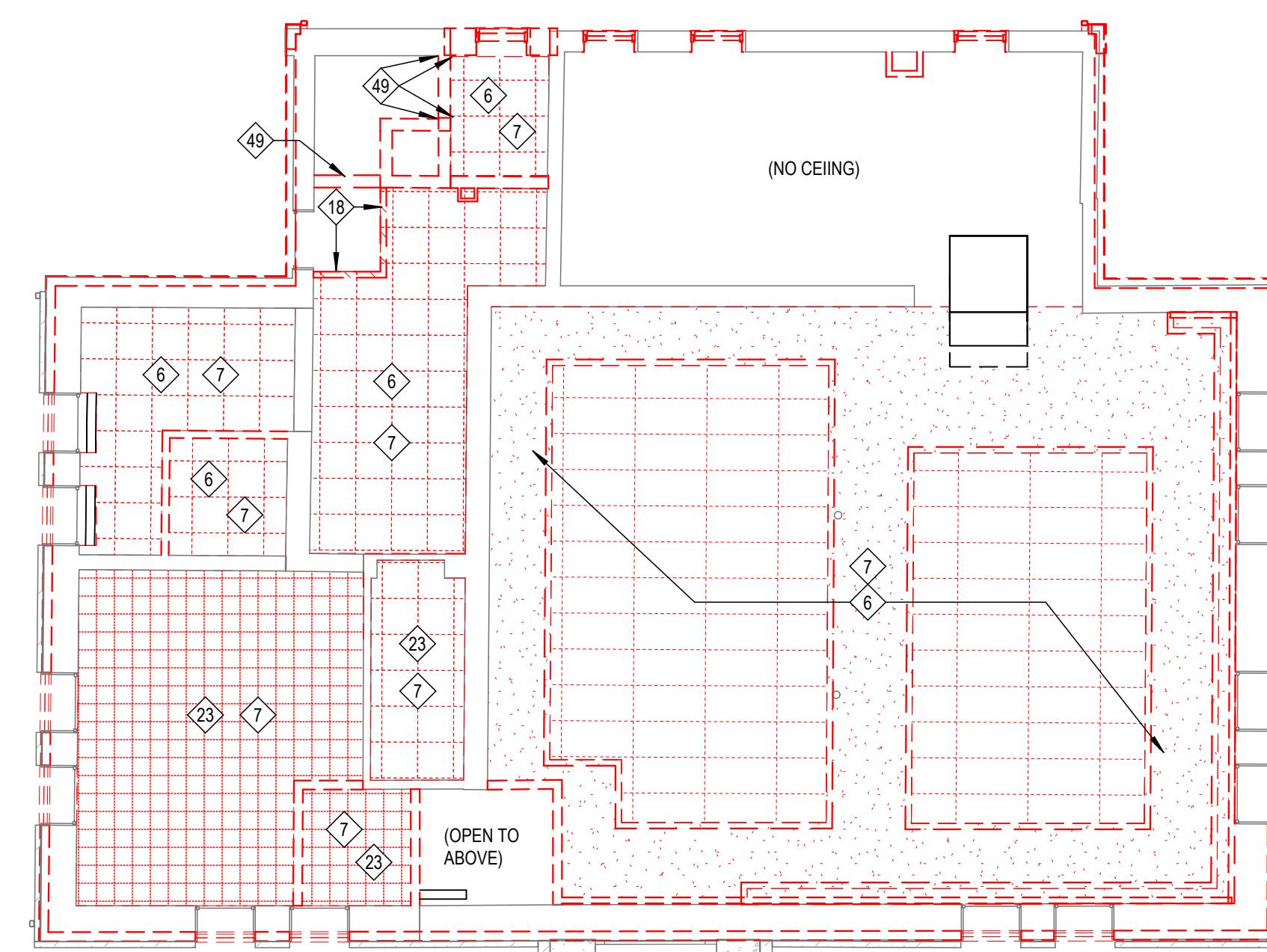
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MKSK
LANDSCAPE ARCHITECTURE • URBAN PLANNING
607 WEST MAIN STREET #400
LOUISVILLE, KENTUCKY 40202
502.694.1416 MKSKSTUDIOS.COM

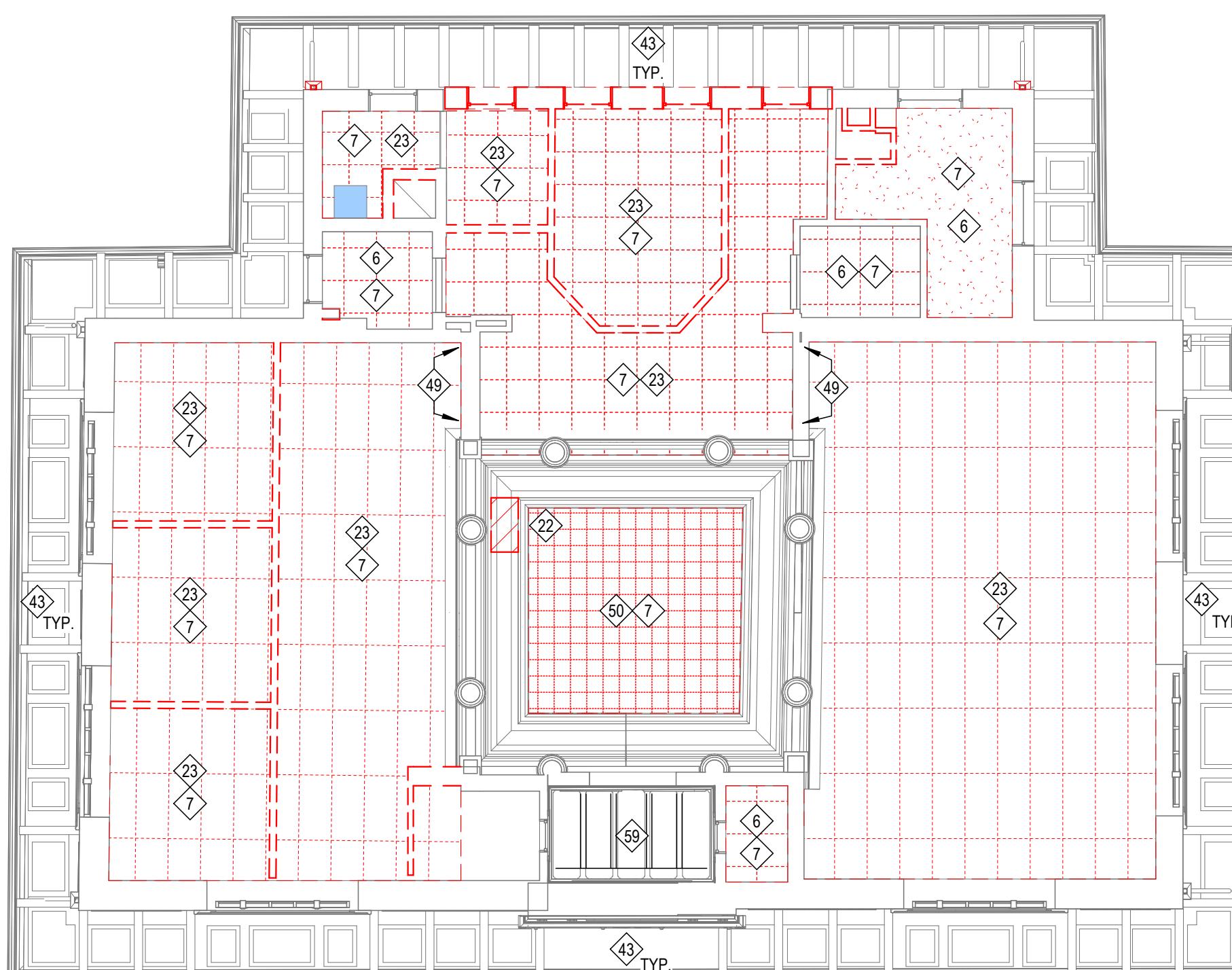
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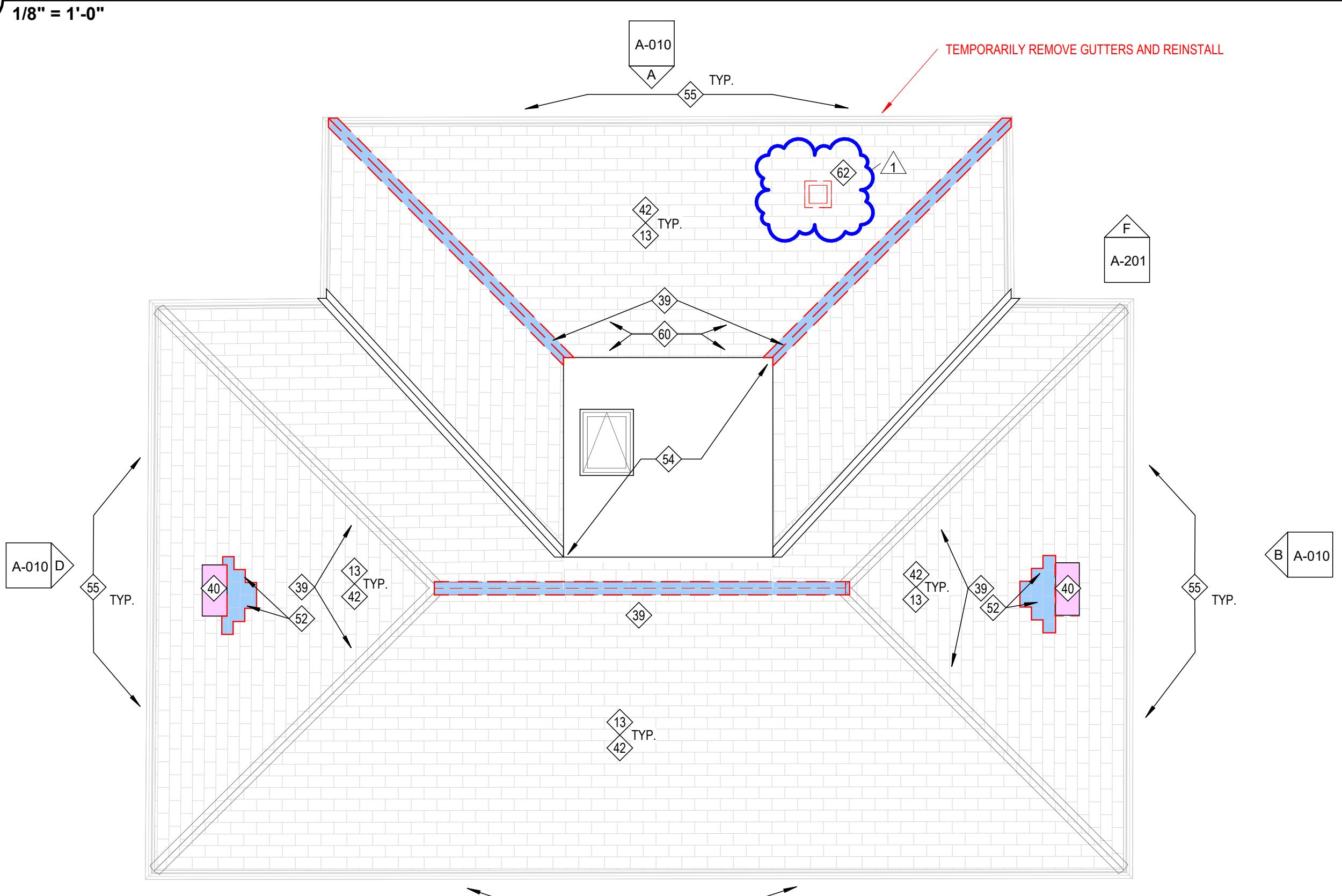
(A) BASEMENT DEMOLITION PLAN
1/8" = 1'-0"



(B) FIRST FLOOR PLAN DEMO PLAN
1/8" = 1'-0"



(C) BASEMENT DEMOLITION REFLECTED CEILING PLAN
1/8" = 1'-0"



(D) FIRST FLOOR REFLECTED CEILING PLAN DEMO
1/8" = 1'-0"

(E) ROOF DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION KEYNOTES

- DEMOLISH DRYWALL CEILINGS AND ACT CEILINGS IN THEIR ENTIRETY, INCLUDING WIRES AND SUPPORT FRAMING. INTACT PORTIONS OF PLASTER CEILING TO REMAIN.
- DEMOLISH WALL TO EXTENTS INDICATED. DEMOLISH ELECTRICAL ROUGH INS. & REMOVE WIRING BACK TO PANEL.
- DEMOLISH WALL TO EXTENTS INDICATED. DEMOLISH ELECTRICAL ROUGH INS. & REMOVE WIRING BACK TO PANEL.
- DEMOLISH EXISTING PROTECTIVE CAGE & FOUNDATIONS. SALVAGE EXISTING MECHANICAL UNITS. PERFORM MANUFACTURE RECOMMENDED CLEANING & ROUTINE SERVICE DURING REINSTALLATION.
- REMOVE EXISTING FLOORING & SUBSTRATES DOWN TO ORIGINAL WOOD SUBFLOOR.
- REMOVE EXISTING RUBBER TREADS AND RISERS. PREP EXISTING WOOD STAIRS FOR PAINT.
- REMOVE CEILING AND BULKHEAD, COMPLETE.
- TEMPORARILY SUPPORT. EXISTING LIGHTING TO REMAIN AFTER CEILING DEMOLITION.
- DEMOLISH EXISTING RAMPS, STEM WALLS, FOUNDATIONS AND HAND RAIL, COMPLETE.
- REMOVE EXISTING FLOOR SLAB. EXCAVATE EXISTING GRADE AS NEEDED TO PREPARE FOR NEW GRANULAR FILL & FLOOR SLAB.
- DEMOLISH EXISTING STAIN RETAINING WALLS, RAILINGS, TRENCH DRAINS, AND FOUNDATIONS. PROTECT STORM PUMPING FOR CONNECTION TO NEW SEWER. PROTECT EXISTING STORM DRAINS.
- DEMOLISH EXISTING ROOF CANOPY SUPPORT STRUCTURE, AND FLASHING. REMOVE ALL SEALANT & REPAIR MORTAR TO MATCH ADJACENT.
- DEMOLISH MILLWORK AND SALVAGE APPLIANCES TO BE RETURNED TO OWNER. REMOVE EXISTING DOOR TRIM.
- REMOVE EXISTING DAMAGED TILE. CLEAN ALL ROOF TILES, AND PREP ROOF FOR NEW REPLACEMENT TILES (APPROXIMATELY 50 TILES). REFER TO ALTERNATE 1 FOR FULL ROOF TILE REMOVAL.
- DEMOLISH EXISTING PLUMBING FIXTURES. TEMPORARILY VALVE OFF OR CAP ROUGH INS.
- SAVAGE EXISTING WINDOW UNITS.
- REMOVE EXISTING FLOORING TO TILE BELOW. IN AREAS WITH NO TILE, DEMOLISH TO ORIGINAL WOOD SUBFLOOR.
- REMOVE PANEL ABOVE DOOR TO EXPOSE FRAMING.
- EXISTING LIGHTING TO REMAIN AFTER CEILING DEMOLITION.
- DEMOLISH EXISTING BULLETIN BOARD.
- DEMOLISH CONCRETE RETAINING WALL.
- PROTECT DATA EQUIPMENT DURING DEMOLITION.
- REMOVE PORTION OF DAMAGED SOFFIT DOWN TO STABLE SUBSTRATE. CLEAN AND REPAIR NEW SOFFIT.
- REMOVE EXISTING ACOUSTICAL PANEL CEILING SYSTEM. ACOUSTIC CEILING, SLIP SHEET, AND LOOSE PORTIONS OF ORIGINAL PLASTER CEILING. STABLE PORTIONS OF ORIGINAL PLASTER CEILING TO REMAIN.
- DEMOLISH EXISTING FLOORING, SUBFLOOR, AND ALL FLOOR FRAMING. CLEAN DEBRIS FROM FLOORING POCKETS, AND OFF EXISTING SLAB OR UNDERSIDE OF EARTH BELOW.
- EXISTING SHAFT PIT TO REMAIN. REMOVE DEBRIS FROM PIT & CLEAN. EXISTING WALL TO REMAIN.
- DEMOLISH EXISTING DOOR AND FRAME.
- DEMOLISH EXISTING LOUVERS.
- DEMOLISH PORTION OF EXISTING WALL ABOVE EXISTING DOOR FRAME TO ACCOMMODATE NEW, RAISED DOOR FRAME.
- GRAY HATCH INDICATES EXTENT OF ORIGINAL STAGE. DEMOLISH TO 8" BELOW NEW FLOOR HEIGHT.
- SAVAGE EXISTING DECORATIVE COLUMN BASE TRIM FOR REINSTALLATION ABOVE NEW FINISHED FLOOR. COLUMNS TO REMAIN, & PREP FOR NEW PAINT.
- DEMOLISH SURFACE MOUNTED ELECTRICAL BOXES, ROUGH AND RECEPTACLES. REMOVE WIRE BACK TO SOURCE & TERMINATE.
- DEMOLISH DRYWALL FROM LOWER FLOOR UP TO TYPICAL FINISH FLOOR ELEVATION IN CORRIDOR. EXISTING WALL FRAMING AND DRYWALL ABOVE TO REMAIN.
- REWORK ELECTRICAL RECEPTICAL AND ROUGH INS TO RAISE BOX TO 18" ABOVE NEW FINISHED FLOOR HEIGHT. CLEANLY CUT AND REMOVE PORTION OF DRYWALL AND CENTER AS NEEDED. TYPICAL AT ALL LOWER FLOOR RECEPTICALS.
- DEMOLISH EXISTING POWER POLES. REMOVE WIRE TO SOURCE & TERMINATE.
- SAVAGE EXISTING WOOD TRIM.
- REMOVE EXISTING CLAY ROOF FLOOR TILES. REMOVE EXISTING SETTING CEMENT, CLAY RIDGE TILES, AND PREP FOR REINSTALLATION.
- REMOVE EXISTING TERRA COTTA CHIMNEY CAP UNIT. DELIVER TO FABRICATOR TO CREATE NEW REPLICA CAP UNIT MOLDS. INSTALL TYPICAL CLAY ROOF TILES.
- CLEAN EXISTING CLAY ROOF TILES.
- EXISTING SOFFIT & DECORATIVE BRACKETS TO REMAIN. CLEAN & PREP FOR NEW PAINT.
- SAVAGE EXISTING RAILINGS FOR REINSTALLATION.
- DEMOLISH EXISTING MILLWORK.
- DEMOLISH PORTION OF WALL FOR NEW CASED OPENING AND MATCH EXISTING DOOR HEIGHTS. DEMOLISH EXISTING SHELF.
- DEMOLISH DRYWALL/PLASTER TO EXPOSE WALL CAVITY.
- DEMOLISH EXISTING ACOUSTICAL CEILING TILES & SUPPORT FRAMING TO REACH ORIGINAL PLASTER. REMOVE ANY LOOSE OR DAMAGED PLASTER.
- DEMOLISH INTERIOR LAYERS OF WALL, DOWN TO THE ORIGINAL FACE OF PLASTERED MASONRY. REMOVE ANY LOOSE OR DAMAGED PLASTER.
- SAVAGE EXISTING CLAY SHINGLES FOR NEW CRICKET INSTALLATION.
- NONE
- CLEANING COPPER ROOF & ROOF HATCH TO REMAIN. PROTECT DURING CONSTRUCTION. MODIFY FLASHINGS AS REQUIRED TO FLASH OVER ROOF TILES. TIE IN NEW FLASHING.
- REMOVE ALL DEBRIS FROM EXISTING GUTTERS. CHECK SLOPES TO ENSURE PROPER DRAINAGE.
- TEMPORARILY REMOVE DOWNSPOUTS DURING SURROUNDING DEMOLITION. REVIEW CONFIGURATION TO TIE INTO NEW IRON BOOT. REMOVE COATING FROM FACE OF STONE.
- CLEAN & ABRADE FACE OF STONE TO RESTORE CONSISTENT SURFACE TEXTURE. REVIEW TEST AREA WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH FULL APPLICATION.
- DEMOLISH ROOF PVC.
- REMOVE FULL, UNDAMAGED ROOF TILES FROM THIS AREA TO REPLACE BROKEN UNITS ON OTHER ROOF FACES.
- REMOVE EXISTING CHIMNEY COMPLETELY. SALVAGE FACE BRICK. STORE AND PROTECT.

GENERAL NOTES - DEMOLITION

- DEMOLISH ALL EXISTING BATHROOM ACCESSORIES.
- SALVAGE DOOR LOCKSETS FROM ORIGINAL DOORS INDICATED TO REMAIN. PREP DOORS FOR NEW HARDWARE.
- EXISTING MONITORS, FURNISHINGS, AND ACCESSORIES TO BE REMOVED.
- SALVAGE EXISTING FLOORENTS FOR REINSTALLATION.
- ALARM SYSTEM TO REMAIN ACTIVE DURING DEMOLITION. PROTECT AND COVER IF VACANT. DEMOLISH UNREQUIRED. PROTECT AND TEMPORARILY SUPPORT.
- SALVAGE ALL EXISTING STILE & RAIL DOORS FOR REINSTALLATION AND PROTECT AND TO OWNER.
- ORIGINAL PLASTER TO REMAIN. REMOVE ANY LOOSE OR DAMAGED MATERIAL.
- REMOVE ALL WINDOW TREATMENTS & TINTING FILM ON GLASS. TYPICAL.
- ORIGINAL WOOD TRIM TO REMAIN. REMOVE NON-MATCHING TRIM.
- SCRAPE AND REMOVE ALL LOOSE PAINT ON WALLS RECEIVING NEW PAINT. FOLLOW ALL HAZARDOUS MATERIAL REMOVAL PROTOCOLS.
- SALVAGE ALL ORIGINAL WOOD TRIM FROM WALLS BEING DEMOLISHED. PROTECT AND TO OWNER.

| PROJECT | 2022-28 |
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| DATE | 3/31/23 |

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| No. | Description | Date |
| 1 | PR-1 | 1/10/2023 |

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DEMOLITION PLANS

A-001

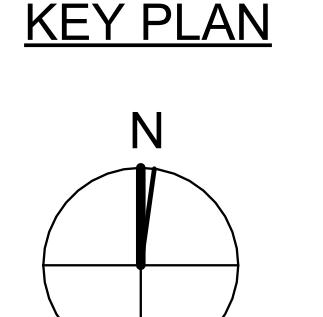
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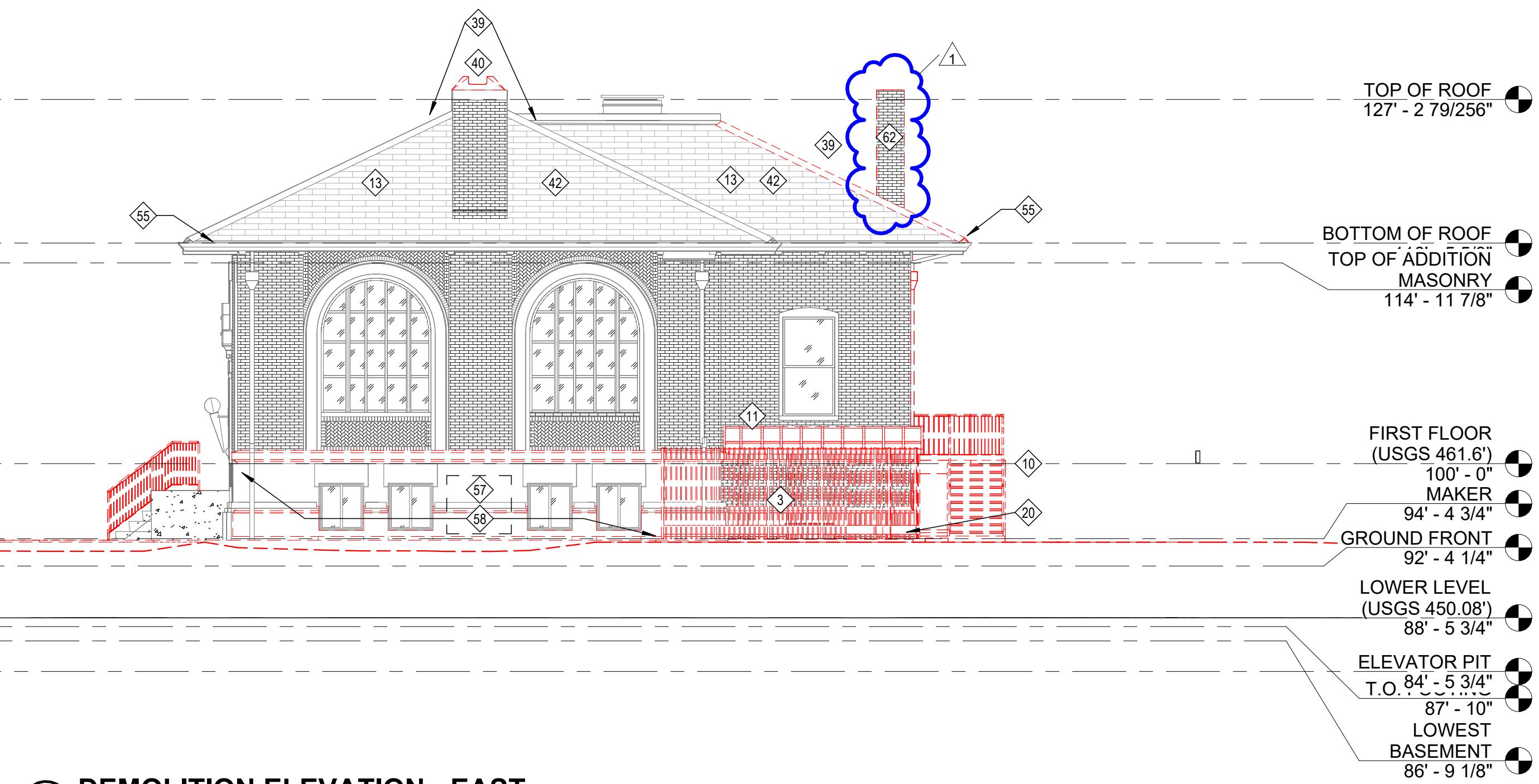
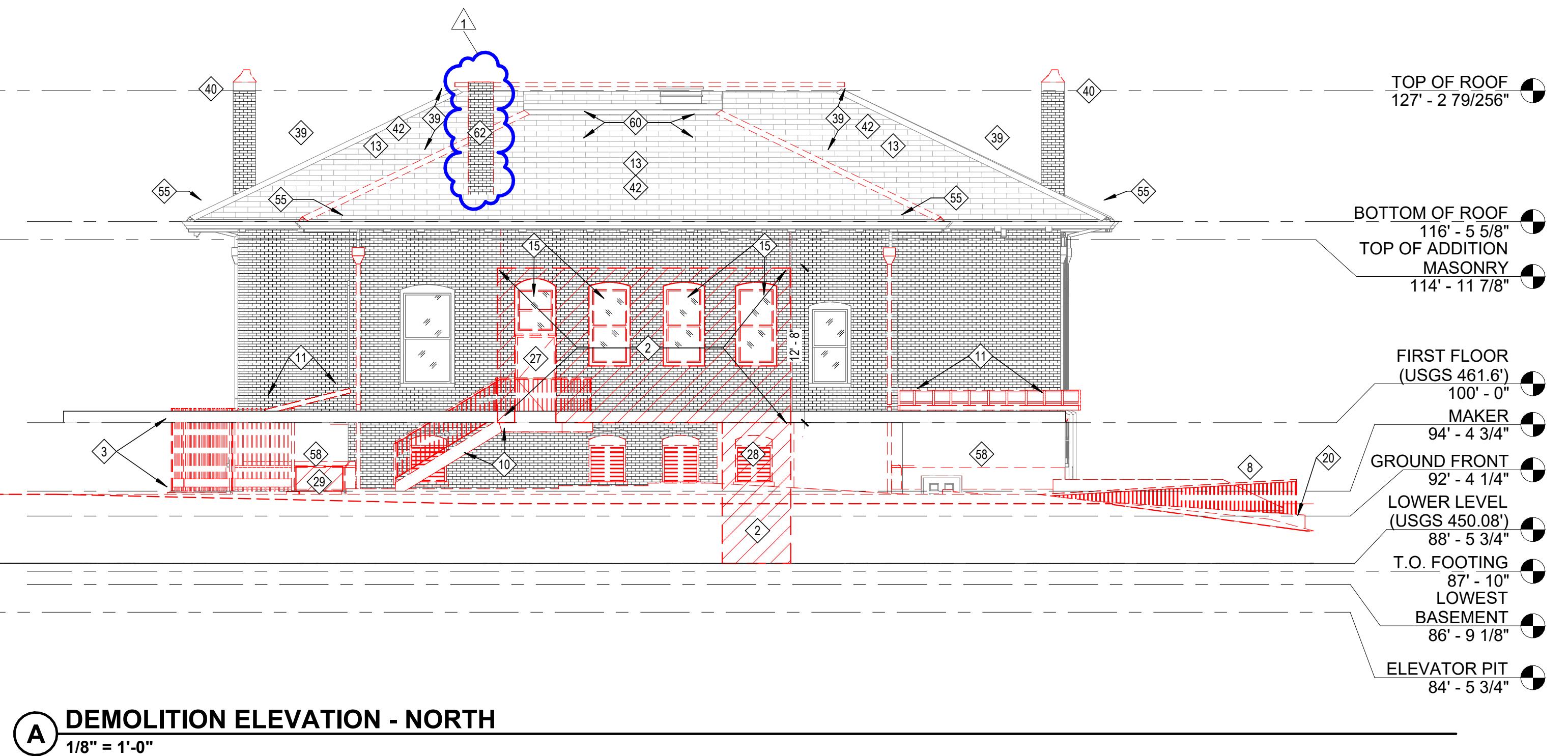
JRA
architects
829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

CONSTRUCTION DOCUMENTS

PARKLAND BRANCH
2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY

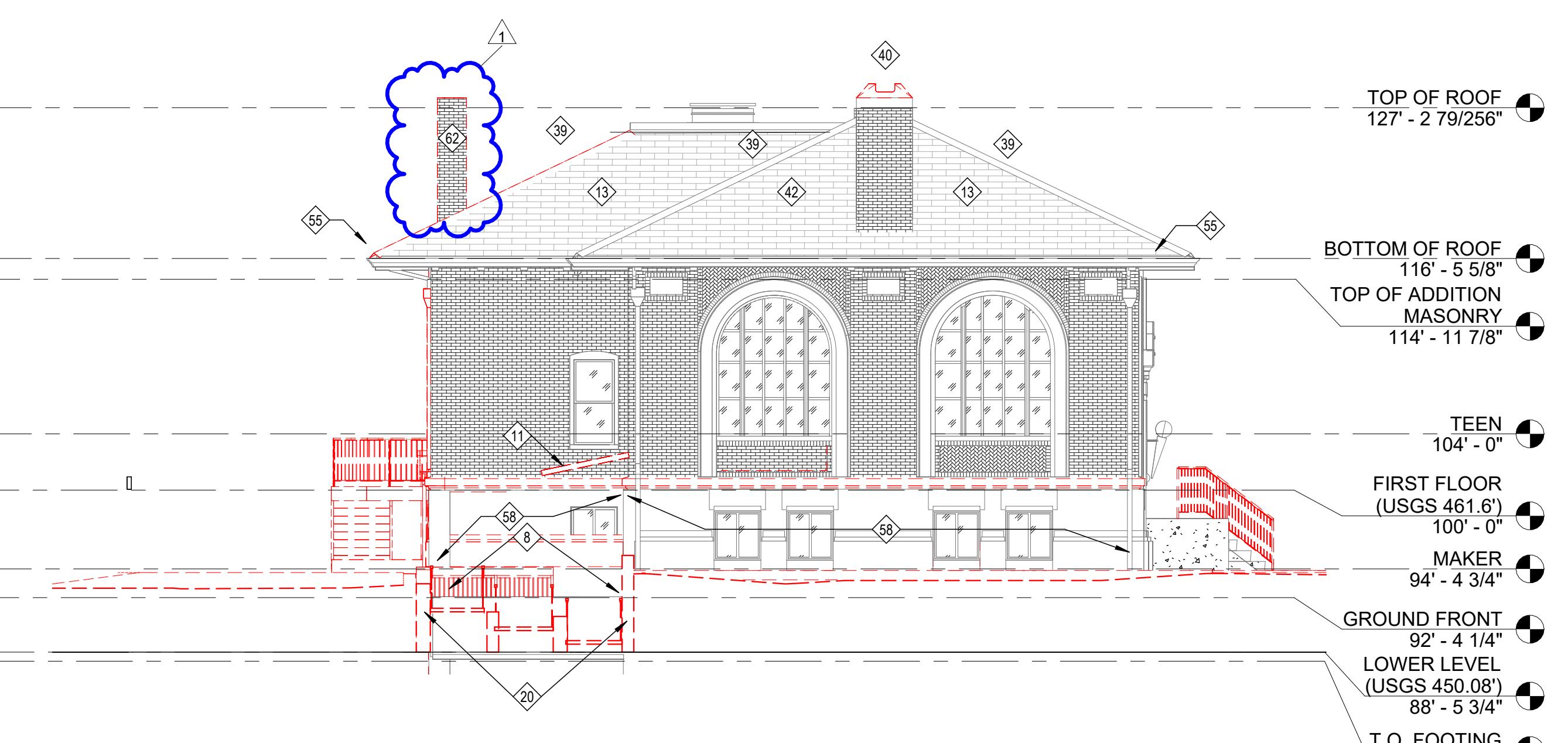
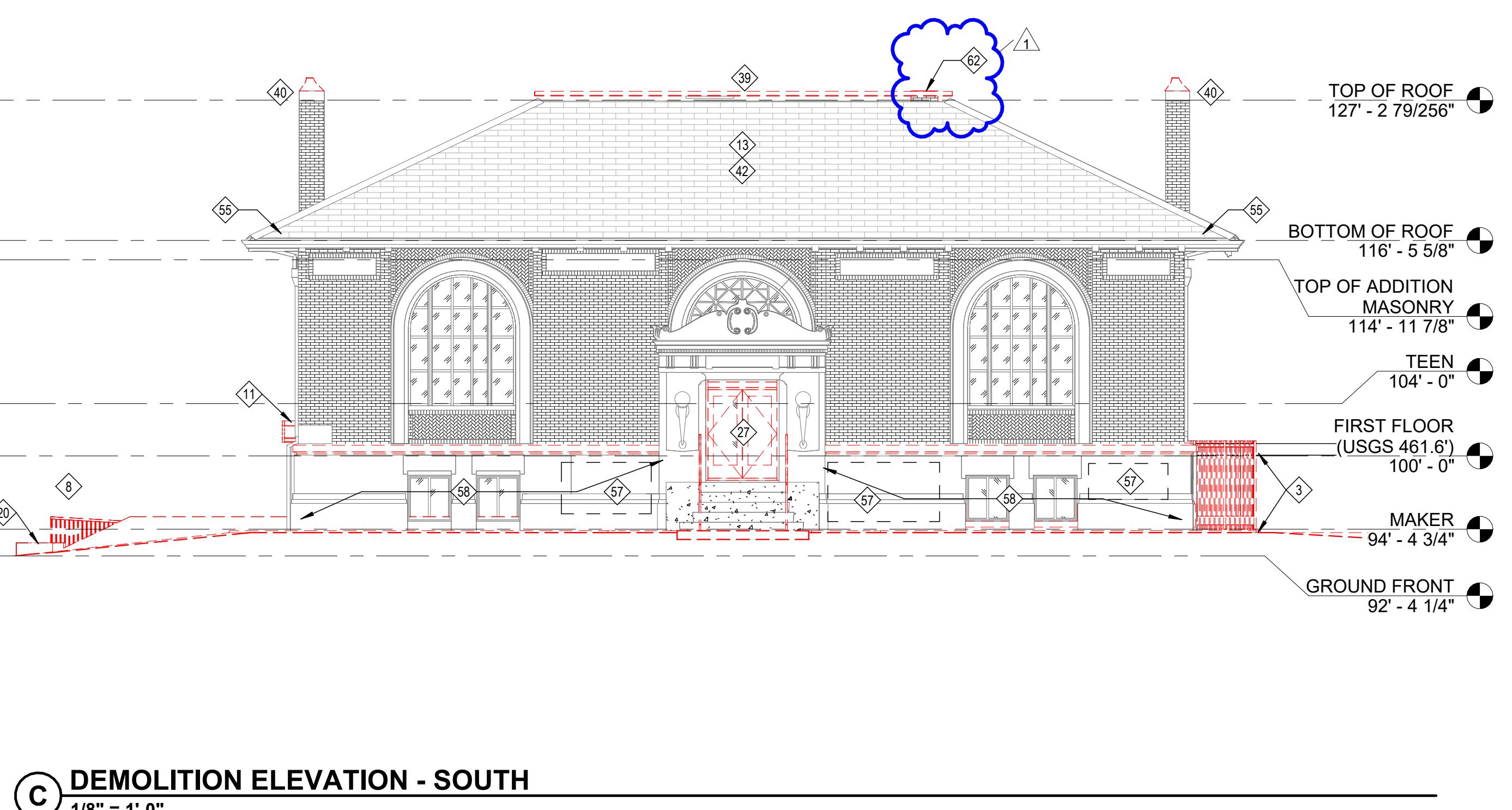
KEY PLAN





DEMOLITION KEYNOTES

- DEMOLISH DRYWALL CEILINGS AND ACST CEILINGS IN THEIR ENTIRETY, INCLUDING WIRES AND SUPPORT FRAMING. INTACT PORTIONS OF PLASTER CEILING TO REMAIN.
- DEMOLISH WALL TO EXTENTS INDICATED. DEMOLISH ELECTRICAL ROUGH INS. & REMOVE WIRING BACK TO PANEL.
- DEMOLISH WALL TO EXTENTS INDICATED. DEMOLISH ELECTRICAL ROUGH INS. & REMOVE WIRING BACK TO PANEL.
- DEMOLISH EXISTING PROTECTIVE LACE & FOUNDATIONS. SALVAGE EXISTING MECHANICAL UNITS. PERFORM MANUFACTURE RECOMMENDED CLEANING & ROUTINE SERVICE DURING REINSTALLATION.
- REMOVE EXISTING RUBBER TREADS AND RISERS. PREP EXISTING WOOD STAIRS TO REUSE.
- REMOVE CEILING AND BULKHEAD, COMPLETE.
- TEMPORARILY SUPPORT. EXISTING LIGHTING TO REMAIN AFTER CEILING REMOVAL.
- DEMOLISH EXISTING RAMP STEM WALLS, FOUNDATIONS AND HAND RAIL, COMPLETE.
- REMOVE EXISTING FLOOR SLAB. EXCAVATE EXISTING GRADE AS NEEDED TO PREPARE FOR NEW GRANULAR FILL & FLOOR SLAB.
- DEMOLISH EXISTING STAIN RETAINING WALLS, RAILINGS, TRENCH DRAINS, AND FOUNDATIONS. PROTECT STORM PUMPING FOR CONNECTION TO NEW STORM DRAIN. REMOVE EXISTING STORM DRAIN.
- DEMOLISH EXISTING ROOF CANOPY SUPPORT STRUCTURE, AND FLASHING. REMOVE ALL SEALANT & REPAIR MORTAR TO MATCH ADJACENT.
- DEMOLISH MILLWORK AND SALVAGE APPLIANCES TO BE RETURNED TO OWNER. REMOVE EXISTING DOOR.
- REMOVE EXISTING DAMAGED TILE. CLEAN ALL ROOF TILES, AND PREP ROOF FOR NEW REPLACEMENT TILES (APPROXIMATELY 50 TILES). REFER TO ALTERNATE 1 FOR FULL ROOF TILE REMOVAL.
- DEMOLISH EXISTING PLUMBING FIXTURES. TEMPORARILY VALVE OFF OR CAP ROUGH INS.
- SALVAGE EXISTING WINDOW UNITS.
- REMOVE EXISTING FLOORING TO TILE BELOW. IN AREAS WITH NO TILE, DEMOLISH TO ORIGINAL WOOD SUBFLOOR.
- REMOVE PANEL ABOVE DOOR TO EXPOSE FRAMING.
- EXISTING LIGHTING TO REMAIN AFTER CEILING DEMOLITION.
- DEMOLISH EXISTING BULLETIN BOARD.
- DEMOLISH CONCRETE RETAINING WALL.
- PROTECT DATA EQUIPMENT DURING DEMOLITION.
- REMOVE PORTION OF DAMAGED SOFFIT DOWN TO STABLE SUBSTRATE. CLEAN DEBRIS FROM HOLLOW SPACES.
- REMOVE EXISTING ACOUSTICAL PANEL CEILING SYSTEM. ACOUSTIC CEILING, SLIP SHEET, AND LOOSE PORTIONS OF ORIGINAL PLASTER CEILING. STABLE PORTIONS OF ORIGINAL PLASTER CEILING TO REMAIN.
- DEMOLISH EXISTING FLOORING, SUBFLOOR, AND ALL FLOOR FRAMING. CLEAN DEBRIS FROM HOLLOW SPACES, AND OFF EXISTING SLAB OR UNDERSIDE EARTH BELOW.
- EXISTING SHAFT TO REMAIN. REMOVE DEBRIS FROM PIT & CLEAN. EXISTING WALL TO REMAIN.
- DEMOLISH EXISTING DOOR AND FRAME.
- DEMOLISH EXISTING LOUVER.
- DEMOLISH PORTION OF EXISTING WALL ABOVE EXISTING DOOR FRAME TO ACCOMMODATE NEW, RAISED DOOR FRAME.
- GRAY HATCH INDICATES EXTENT OF ORIGINAL STAGE. DEMOLISH TO 8" BELOW EXISTING FLOOR.
- SALVAGE EXISTING DECORATIVE COLUMN BASE TRIM FOR REINSTALLATION ABOVE NEW FINISHED FLOOR. COLUMNS TO REMAIN, & PREP FOR NEW PAINT.
- DEMOLISH SURFACE MOUNTED ELECTRICAL BOXES AND RECEIVERS. REMOVE WIRE BACK TO SOURCE & TERMINATE.
- DEMOLISH DRYWALL FROM LOWER FLOOR UP TO TYPICAL FINISH FLOOR ELEVATION IN CORRIDOR. EXISTING WALL FRAMING AND DRYWALL ABOVE TO REMOVE.
- REWORK ELECTRICAL RECEPTICAL AND ROUGH INS TO RAISE BOX TO 18" ABOVE NEW FINISHED FLOOR HEIGHT. CLEANLY CUT AND REMOVE PORTION OF DRYWALL IN CENTER AS NEEDED. TYPICAL AT ALL LOWER FLOOR RECEPTICALS.
- DEMOLISH EXISTING POWER POLES. REMOVE WIRE TO SOURCE & TERMINATE.
- SALVAGE EXISTING WOOD TRIM.
- REMOVE EXISTING CLAY ROOF FLOOR TILES. REMOVE EXISTING SETTING CEMENT. CLEAN ROOF TILES, AND PREP FOR REINSTALLATION.
- DEMOLISH SURFACE RAILINGS FOR REINSTALLATION.
- DEMOLISH PORTION OF WALL FOR NEW CASED OPENING AND MATCH EXISTING DOOR HEIGHTS. DEMOLISH EXISTING SHELF.
- DEMOLISH DRYWALL TO EXPOSE TERRA COTTA CHIMNEY CAP. DELIVER TO FABRICATOR TO CREATE NEW REPLICA CAP UNIT MOLDS. INSTALL TERRA COTTA CHIMNEY CAP.
- DEMOLISH INTERIOR LAYERS OF WALL, DOWN TO THE ORIGINAL FACE OF PLASTERED MASONRY. REMOVE ANY LOOSE OR DAMAGED PLASTER.
- SALVAGE EXISTING CLAY SHINGLES FOR NEW CRICKET INSTALLATION.
- DEMOLISH COPPER ROOF & ROOF HATCH TO REMAIN. PROTECT DURING CONSTRUCTION. MODIFY FLASHINGS AS REQUIRED TO FLASH OVER ROOF TILES & TIE IN NEW FLASHING.
- REMOVE ALL DEBRIS FROM EXISTING GUTTERS. CHECK SLOPES TO ENSURE PROPER DRAINAGE.
- TEMPORARILY REMOVE DOWNSPOUTS DURING SURROUNDING DEMOLITION. REWORK CONFIGURATION TO TIE INTO NEW IRON BOOT. REMOVE COATING FROM FACE OF STONE.
- CLEAN & ABRADE FACE OF STONE TO RESTORE CONSISTENT SURFACE TEXTURE. REVIEW TEST AREA WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH FULL APPLICATION.
- DEMOLISH LIGHT FIXTURES.
- SALVAGE FULL, UNDAMAGED ROOF TILES FROM THIS AREA TO REPLACE BROKEN UNITS ON OTHER ROOF FACES.
- REMOVE UP ANCHORS EDGED TO TOP AND ASSOCIATE TIPING.
- REMOVE EXISTING CHIMNEY COMPLETELY. SALVAGE FACE BRICK. STORE AND PROTECT.



GENERAL NOTES - DEMOLITION

- DEMOLISH ALL EXISTING BATHROOM ACCESSORIES.
- SALVAGE DOOR LOCKSETS FROM ORIGINAL DOORS INDICATED TO REMAIN. PREP DOORS FOR NEW HARDWARE.
- EXISTING MONITORS, FURNISHINGS, AND ACCESSORIES TO BE REMOVED.
- SALVAGE EXISTING FLOOR VENTS FOR REINSTALLATION.
- ALARM SYSTEM TO REMAIN ACTIVE DURING DEMOLITION. PROTECT AND COVER IF VISIBLE.
- DEMOLITION IS REQUIRED. PROTECT AND TEMPORARILY SUPPORT.
- SALVAGE ALL EXISTING STILE & RAIL DOORS FOR REINSTALLATION AND PROTECT FROM NEW PAINT.
- ORIGINAL PLASTER TO REMAIN. REMOVE ANY LOOSE OR DAMAGED MATERIAL.
- REMOVE ALL WINDOW TREATMENTS & TINTING FILM OR GLASS TYPICAL.
- ORIGINAL WOOD TRIM TO REMAIN. REMOVE NON-MATCHING TRIM.
- SCRAPE AND REMOVE ALL LOOSE PAINT ON WALLS RECEIVING NEW PAINT. FOLLOW A HAZARDOUS MATERIAL REMOVAL PROTOCOLS.
- SALVAGE ALL ORIGINAL WOOD TRIM FROM WALLS BEING DEMOLISHED. PROTECT AND RETURN TO OWNER.

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DEMOLITION ELEVATIONS

A-010

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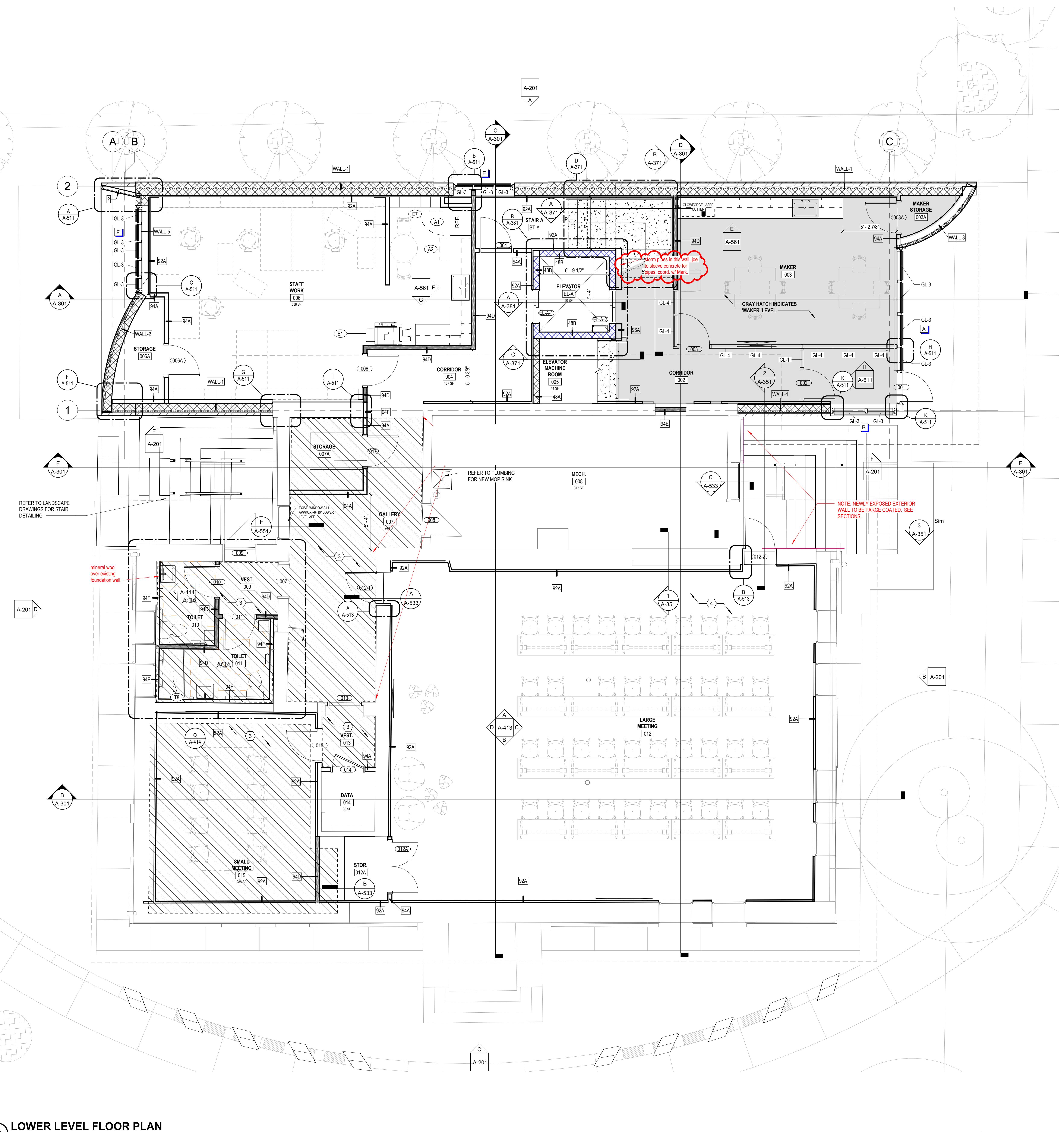
23-COA-0051

CONSTRUCTION DOCUMENTS
PARKLAND BRANCH
273 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



| PROJECT | 2022-28 |
|------------------|-------------|
| DATE | 3/31/23 |
| REVISIONS | |
| No. | Description |
| PR-1 | 1/10/2023 |

2023 COA-0051



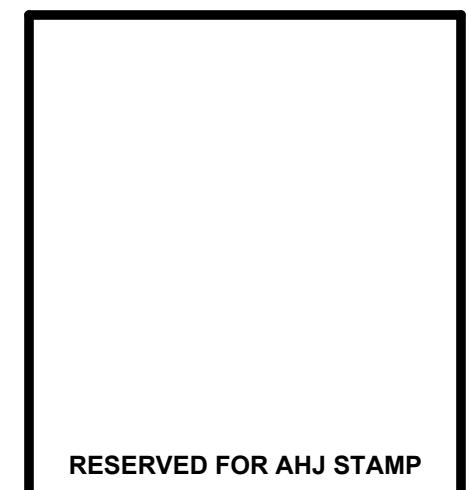
A LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"

PLAN KEYNOTES

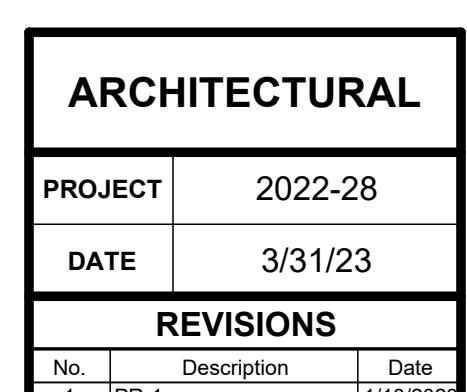
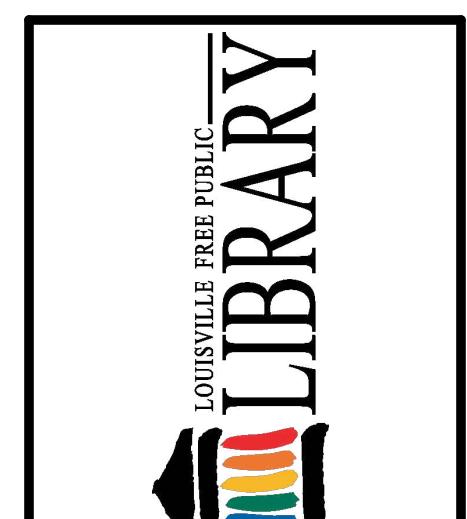
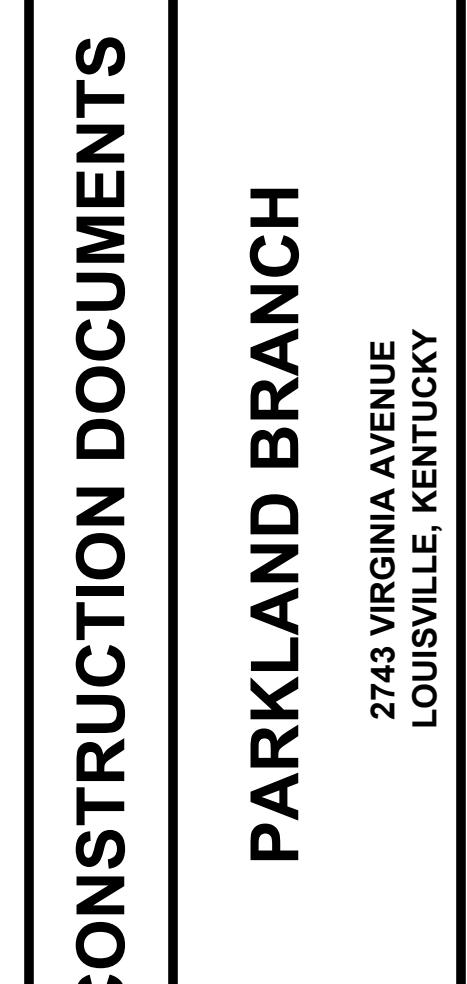
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- INFILL EXISTING FLOOR OPENING WITH FLOOR STRUCTURE AND SUBSTRATE. REFER TO STRUCTURAL.
- 4" CONCRETE SLAB OVER CRUSHED STONE W/ VAPOR BARRIER. RAISED ACCESS FLOOR.

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| SPECIALTIES & EQUIPMENT SCHEDULE | | | |
|----------------------------------|---|-------------|----------|
| MARK | DESCRIPTION | PROVIDED BY | COMMENTS |
| 10 2800 - TOILET ACCESSORY | | | |
| T1 | GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL | C.F.C.I. | |
| T3 | DYSON AIRBLADE DRY HAND DRYER | C.F.C.I. | |
| T4 | SOAP DISPENSER - SURFACE MOUNTED, VERTICAL | O.F.O.I. | |
| T5 | FRAMED MIRROR - 18" x 30" | C.F.C.I. | |
| T7 | BABY CHANGING STATION | C.F.C.I. | |
| T8 | ADULT CHANGING STATION | C.F.C.I. | |
| T9 | JUMBO BATH TISSUE DISPENSER - SINGLE ROLL | C.F.C.I. | |
| T10 | BOBRICK B-2260 STANDING TRASH CAN | C.F.C.I. | |
| 11 3100 - RESIDENTIAL APPLIANCES | | | |
| A1 | REFRIGERATOR - TOP FREEZER | O.F.O.I. | |
| A2 | MICROWAVE | O.F.O.I. | |
| 11 5116 - BOOK DEPOSITORY | BOOK DEPOSITORY | | |
| EQUIPMENT | | | |
| E1 | MULTI-FUNCTION PRINTER/COPIER | O.F.O.I. | |
| E2 | COPIER | O.F.O.I. | |
| E4 | General purpose access door for all surface types | C.F.C.I. | |
| E5 | ROOF HATCH | C.F.C.I. | |
| E7 | EMPLOYEE LOCKER | C.F.C.I. | |
| E8A | TV - 60" | O.F.O.I. | |
| E8B | TV - 50" | O.F.O.I. | |
| E9 | LAPTOP KIOSK | O.F.O.I. | |
| VERTICAL LADDER | | | |
| L1 | ATTIC ACCESS LADDER | C.F.C.I. | |
| L2 | ROOF ACCESS LADDER | C.F.C.I. | |
| L3 | EXGLAZING SCHEDULE | C.F.C.I. | |
| MARK TYPE | | | |
| GL-1 | 1/4" CLEAR TEMPERED | | |
| GL-2 | 1/2" CLEAR TEMPERED | | |
| GL-3 | 1" INSULATED, CLEAR TEMPERED | | |
| GL-4 | DONOR GLASS - TBD | | |

MARK TYPE
 GL-1 1/4" CLEAR TEMPERED
 GL-2 1/2" CLEAR TEMPERED
 GL-3 1" INSULATED, CLEAR TEMPERED
 GL-4 DONOR GLASS - TBD

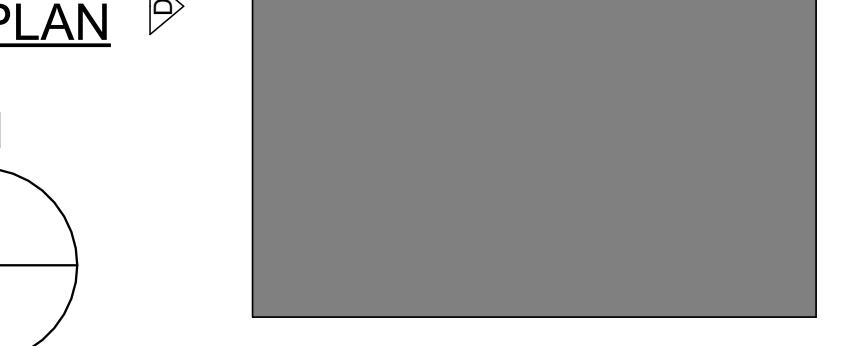


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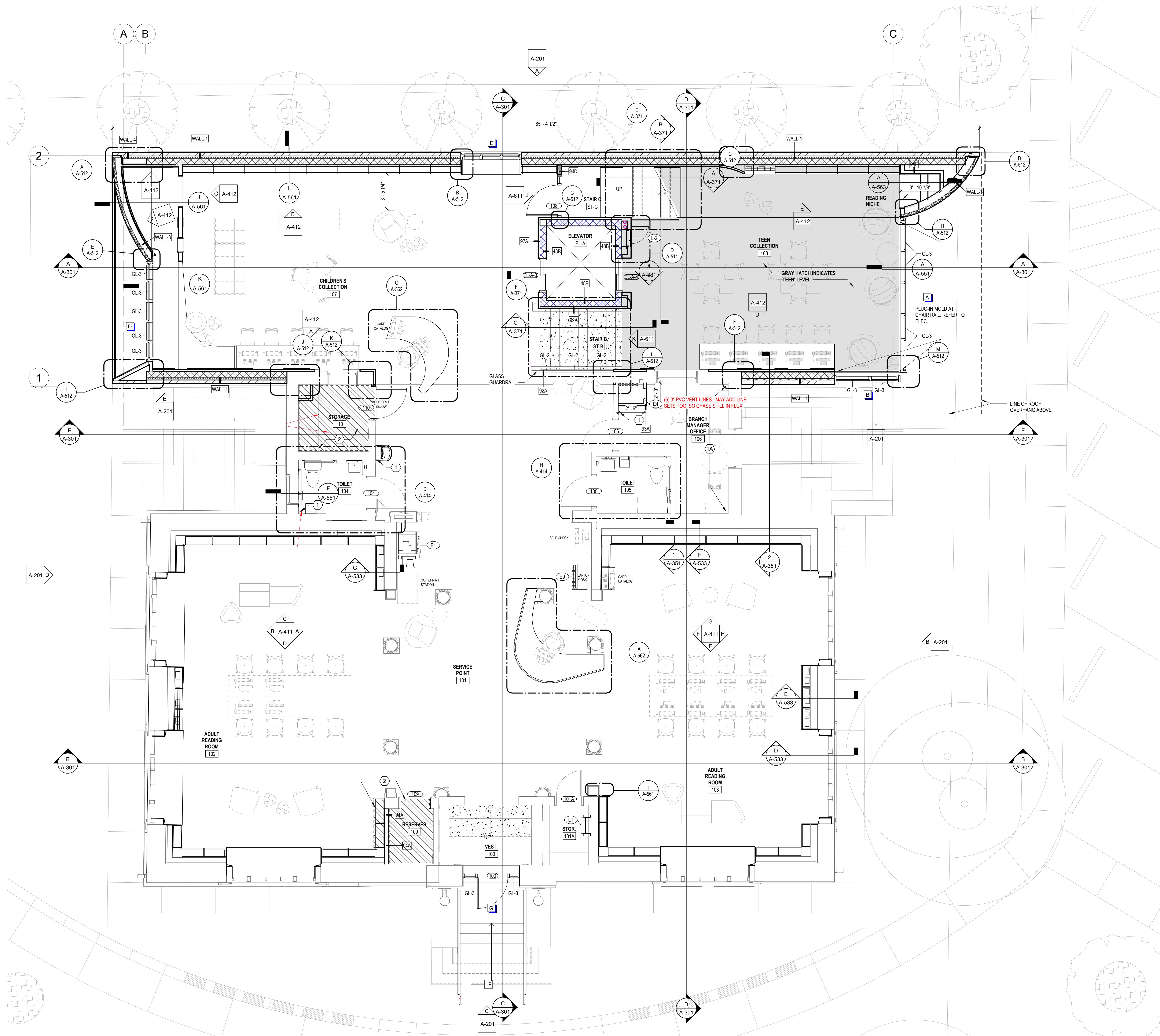
LOWER LEVEL FLOOR PLAN

A-100

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23-COA-0051

A-101
UPPER LEVEL FLOOR PLAN

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1/4" = 1'-0"

PLAN KEYNOTES

- PATCH AND REPAIR WALL WHERE WALLS ARE REMOVED. PLASTER SKIM COAT TO LEVEL 4 FINISH.
- PATCH AND REPAIR WALL WHERE CASEWORK AND PLUMBING IS CAPPED IN PLACE. PLASTER SKIM COAT TO LEVEL 4 FINISH.
- INFILL EXISTING FLOOR OPENING WITH FLOOR STRUCTURE AND SUBSTRATE. REFER TO STRUCTURAL.
- 4" CONCRETE SLAB OVER CRUSHED STONE W/ VAPOR BARRIER. RAISED ACCESS FLOOR.

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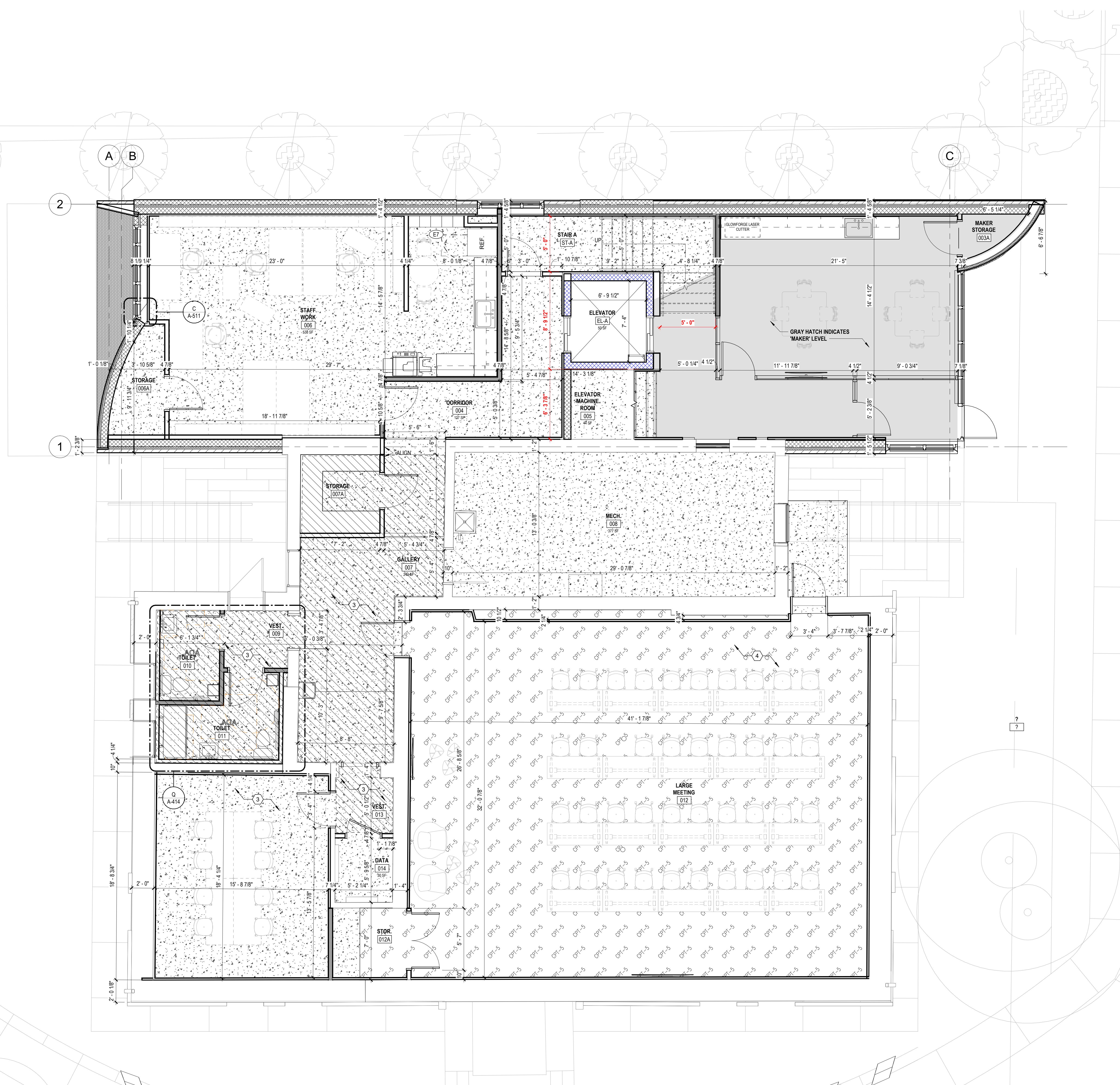
RESERVED FOR AHJ STAMP

| SPECIALTIES & EQUIPMENT SCHEDULE | | |
|----------------------------------|---|-------------|
| MARK | DESCRIPTION | PROVIDED BY |
| 10 2800 - TOILET ACCESSORY | | |
| T1 | GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL | C.F.C.I. |
| T3 | DYSON AIRBLADE DRY HAND DRYER | C.F.C.I. |
| T4 | SOAP DISPENSER - SURFACE MOUNTED, VERTICAL | O.F.O.I. |
| T5 | FRAMED MIRROR - 18" x 30" | C.F.C.I. |
| T7 | BABY CHANGING STATION | C.F.C.I. |
| T8 | ADULT CHANGING STATION | C.F.C.I. |
| T9 | JUMBO BATH TISSUE DISPENSER - SINGLE ROLL | C.F.C.I. |
| T10 | BOBRICK B-2260 STANDING TRASH CAN | C.F.C.I. |
| 11 5100 - RESIDENTIAL APPLIANCES | | |
| A1 | REFRIGERATOR - TOP FREEZER | O.F.O.I. |
| A2 | MICROWAVE | O.F.O.I. |
| 11 5116 - BOOK DEPOSITORY | | |
| | BOOK DEPOSITORY | |
| | | |
| | | |
| EQUIPMENT | | |
| E1 | MULTI-FUNCTION PRINTER/COPIER | O.F.O.I. |
| E2 | COPIER | O.F.O.I. |
| E4 | General purpose access door for all surface types | C.F.C.I. |
| E5 | ROOF HATCH | C.F.C.I. |
| E7 | EMPLOYEE LOCKER | C.F.C.I. |
| E8A | TV - 60" | O.F.O.I. |
| E8B | TV - 50" | O.F.O.I. |
| E9 | LAPTOP KIOSK | O.F.O.I. |
| | | |
| VERTICAL LADDER | | |
| L1 | ATTIC ACCESS LADDER | C.F.C.I. |
| L2 | ROOF ACCESS LADDER | C.F.C.I. |
| L3 | EXTERIOR ROOF LADDER | C.F.C.I. |
| | | |
| MARK | TYPE | |
| GL-1 | 1/4" CLEAR TEMPERED | |
| GL-2 | 1/2" CLEAR TEMPERED | |
| GL-3 | 1" INSULATED, CLEAR TEMPERED | |
| GL-4 | DONOR GLASS - TBD | |

| MARK | TYPE |
|------|------------------------------|
| GL-1 | 1/4" CLEAR TEMPERED |
| GL-2 | 1/2" CLEAR TEMPERED |
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| GL-4 | DONOR GLASS - TBD |

L1 ATTIC ACCESS LADDER
L2 ROOF ACCESS LADDER
L3 EXTERIOR ROOF LADDER

C.F.C.I.
C.F.C.I.
C.F.C.I.



A LOWER LEVEL DIMENSION PLAN

1/4" = 1'-0"

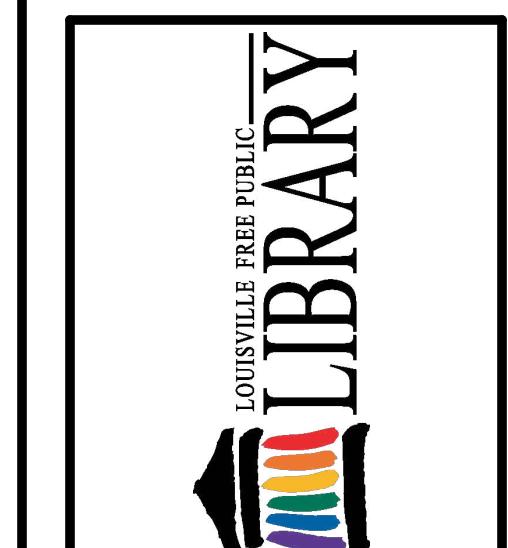
PLAN KEYNOTES

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- PATCH AND REPAIR WALL WHERE CASEWORK AND PLUMBING IS CAPPED IN PLACE. PLASTER SKIM COAT TO LEVEL 4 FINISH.
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- 4" CONCRETE SLAB OVER CRUSHED STONE W/ VAPOR BARRIER. RAISED ACCESS FLOOR.

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CONSTRUCTION DOCUMENTS
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2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL
PROJECT 2022-28
DATE 3/31/23

REVISIONS
No. Description Date

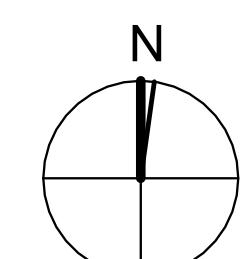
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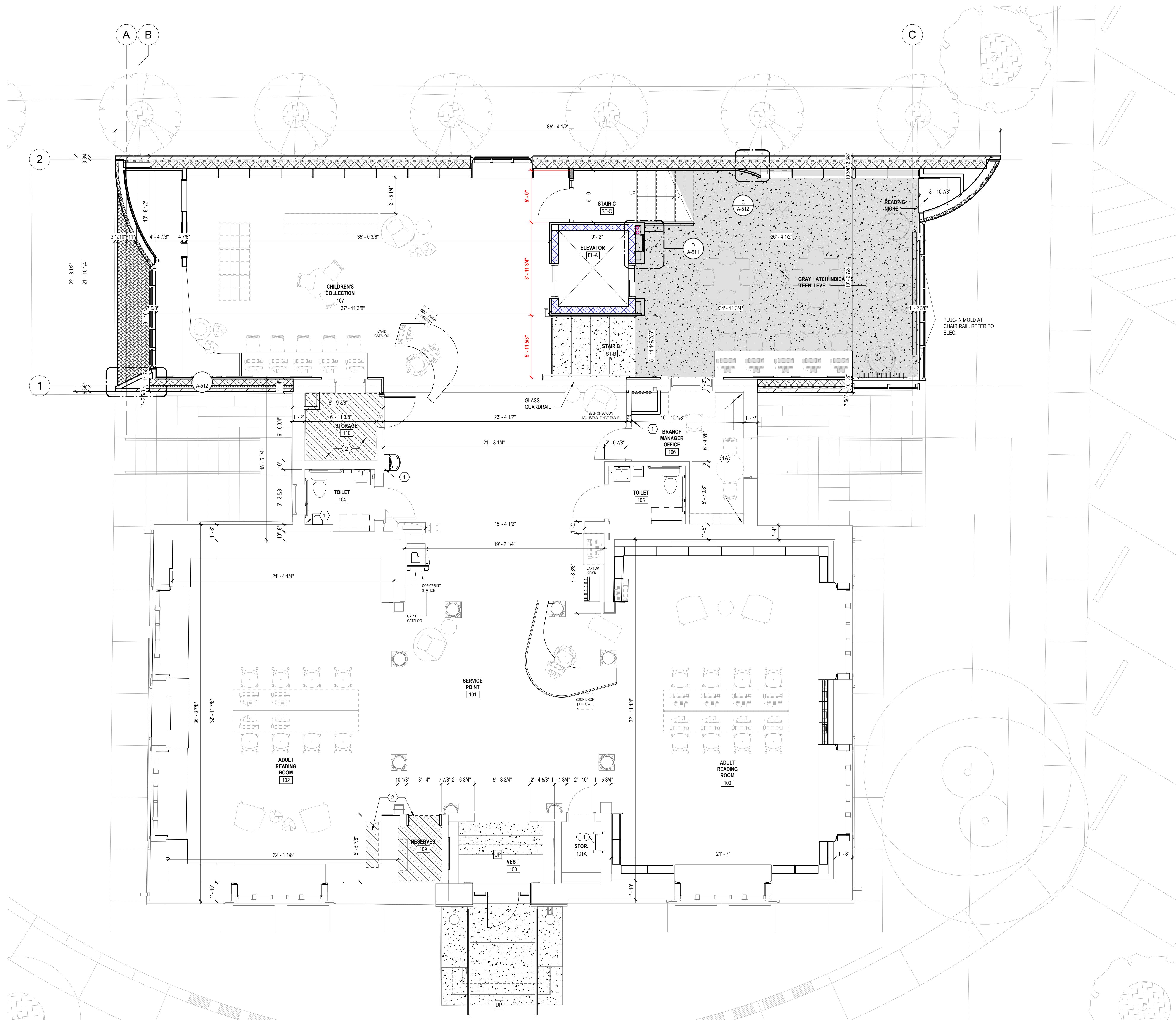
**LOWER LEVEL
DIMENSION
PLAN**

A-110

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KEY PLAN



A-111
UPPER LEVEL DIMENSION PLAN
1/4" = 1'-0"

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PLAN KEYNOTES

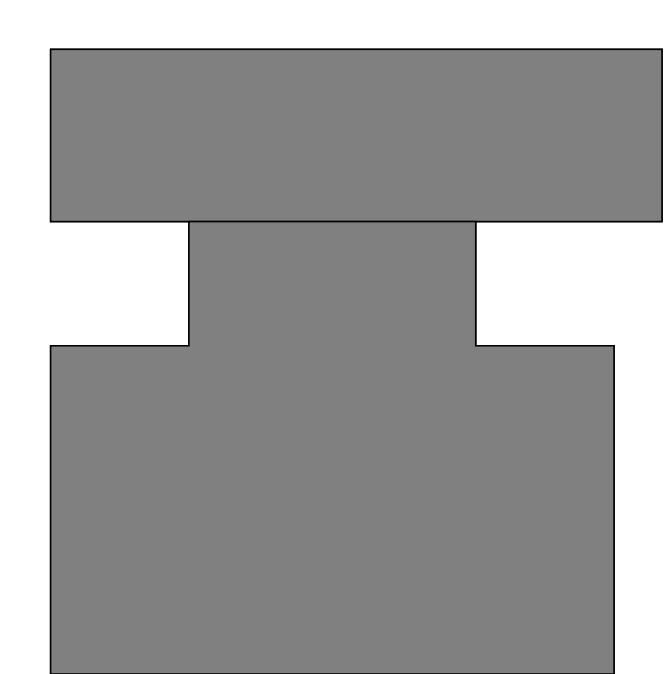
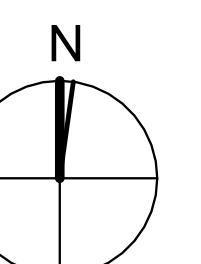
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| SPECIALTIES & EQUIPMENT SCHEDULE | | | |
|----------------------------------|---|-------------|----------|
| MARK | DESCRIPTION | PROVIDED BY | COMMENTS |
| 10 2800 - TOILET ACCESSORY | | | |
| T1 | GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL | C.F.C.I. | |
| T3 | DYSON AIRBLADE DRYER | C.F.C.I. | |
| T4 | SOAP DISPENSER - SURFACE MOUNTED, VERTICAL | O.F.O.I. | |
| T5 | FRAMED MIRROR - 18" x 30" | C.F.C.I. | |
| T7 | BABY CHANGING STATION | C.F.C.I. | |
| T8 | ADULT CHANGING STATION | C.F.C.I. | |
| T9 | JUMBO BATH TISSUE DISPENSER - SINGLE ROLL | C.F.C.I. | |
| T10 | BOBRICK B-2260 STANDING TRASH CAN | C.F.C.I. | |
| 11 3100 - RESIDENTIAL APPLIANCES | | | |
| A1 | REFRIGERATOR - TOP FREEZER | O.F.O.I. | |
| A2 | MICROWAVE | O.F.O.I. | |
| 11 5116 - BOOK DEPOSITORY | BOOK DEPOSITORY | | |
| EQUIPMENT | | | |
| E1 | MULTI-FUNCTION PRINTER/COPIER | O.F.O.I. | |
| E2 | COPIER | O.F.O.I. | |
| E4 | General purpose access door for all surface types | C.F.C.I. | |
| E5 | ROOF HATCH | C.F.C.I. | |
| E7 | EMPLOYEE LOCKER | C.F.C.I. | |
| E8A | TV - 60" | O.F.O.I. | |
| E8B | TV - 50" | O.F.O.I. | |
| E9 | LAPTOP KIOSK | O.F.O.I. | |
| VERTICAL LADDER | | | |
| L1 | ATTIC ACCESS LADDER | C.F.C.I. | |
| L2 | ROOF ACCESS LADDER | C.F.C.I. | |
| L3 | EXTERIOR ROOF LADDER | C.F.C.I. | |

KEY PLAN



A-111

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CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE

LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT 2022-28
DATE 3/31/23

REVISIONS

No. Description Date

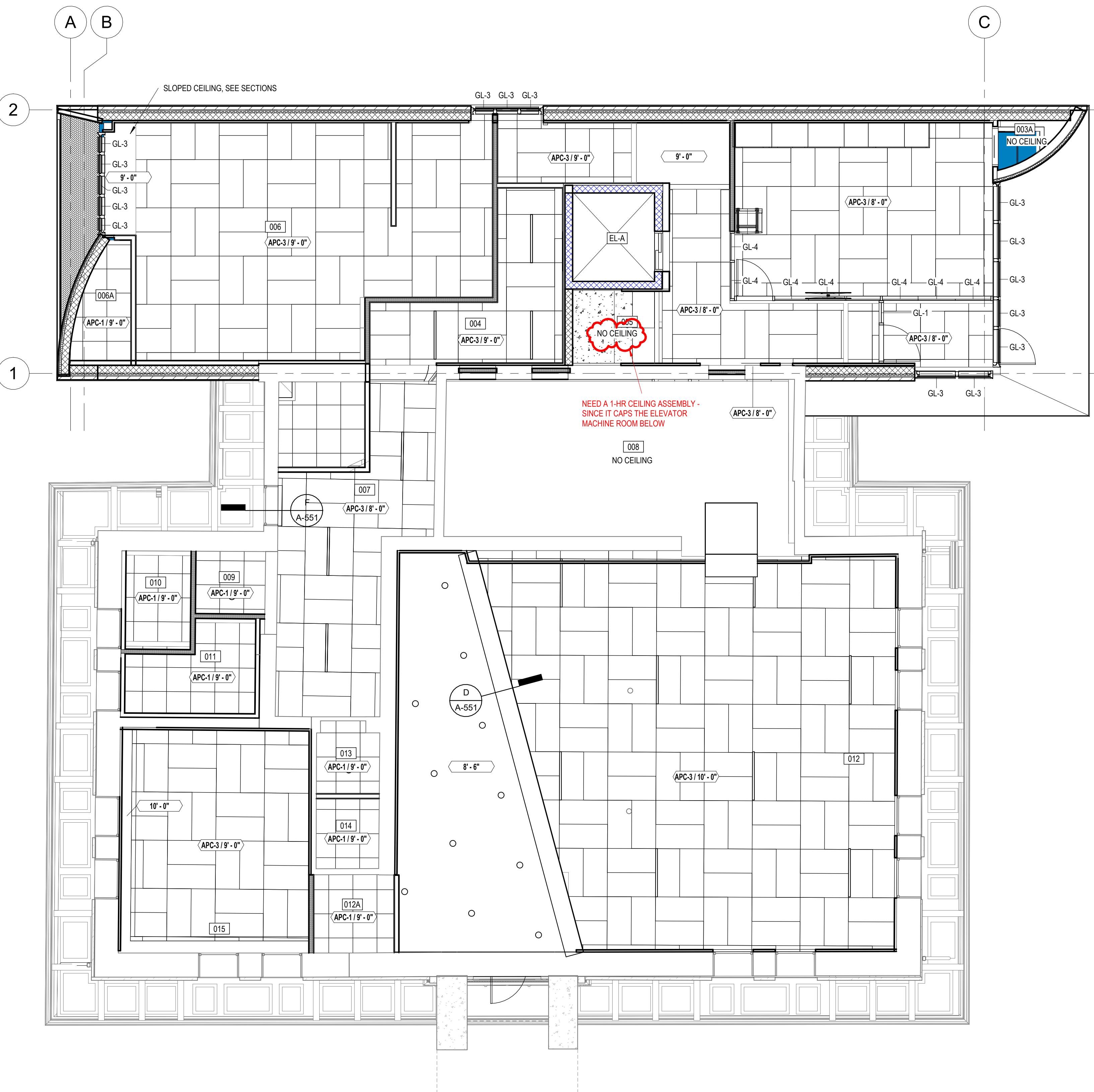
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UPPER LEVEL
DIMENSION
PLAN

23-COA-0051

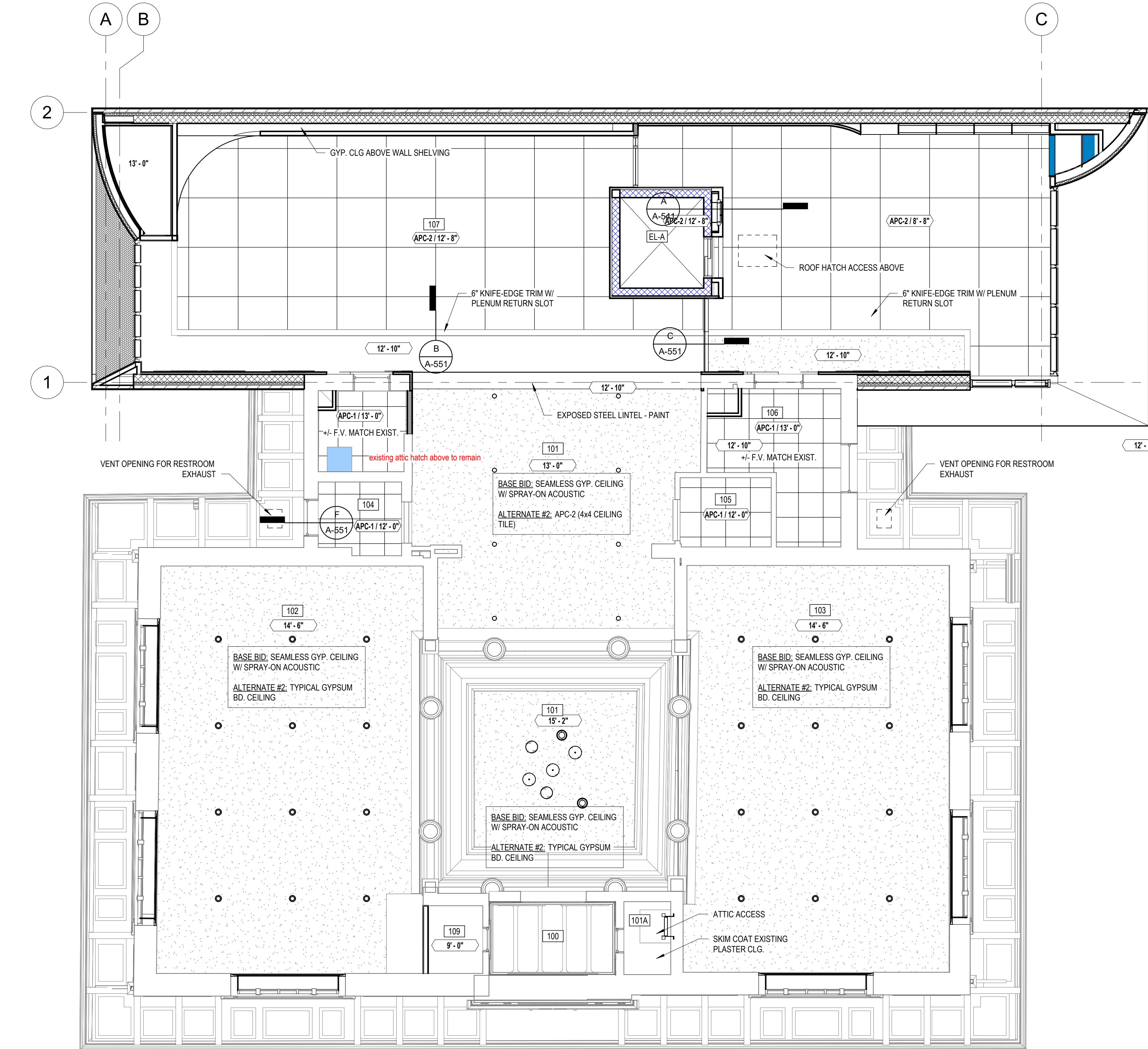
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23-COA-0051



A REFLECTED CEILING PLAN - LOWER LEVEL

A 3/16" = 1'-0"



B REFLECTED CEILING PLAN - UPPER LEVEL

B 3/16" = 1'-0"

CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE



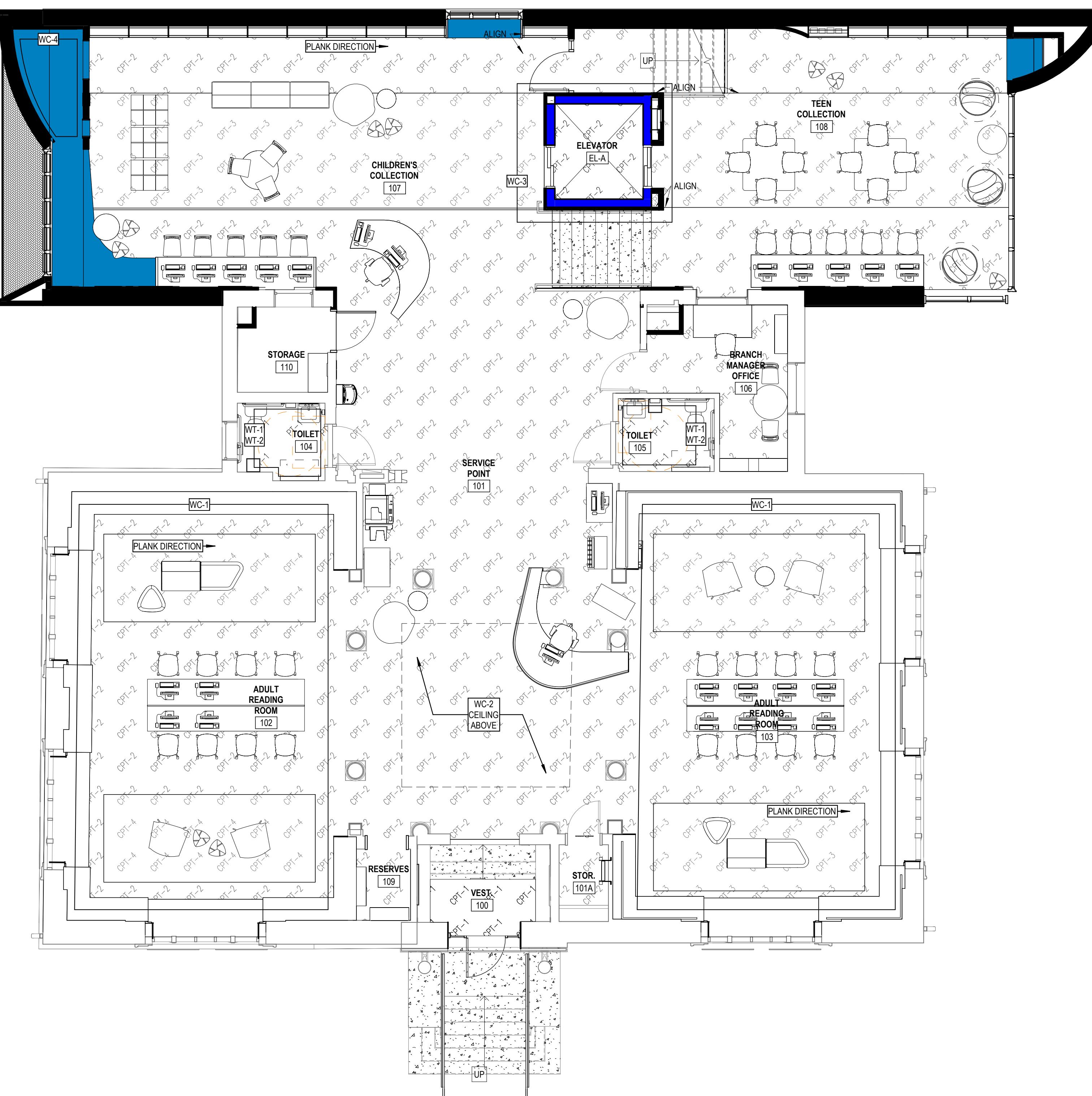
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| PROJECT | 2022-28 |
| DATE | 3/31/23 |

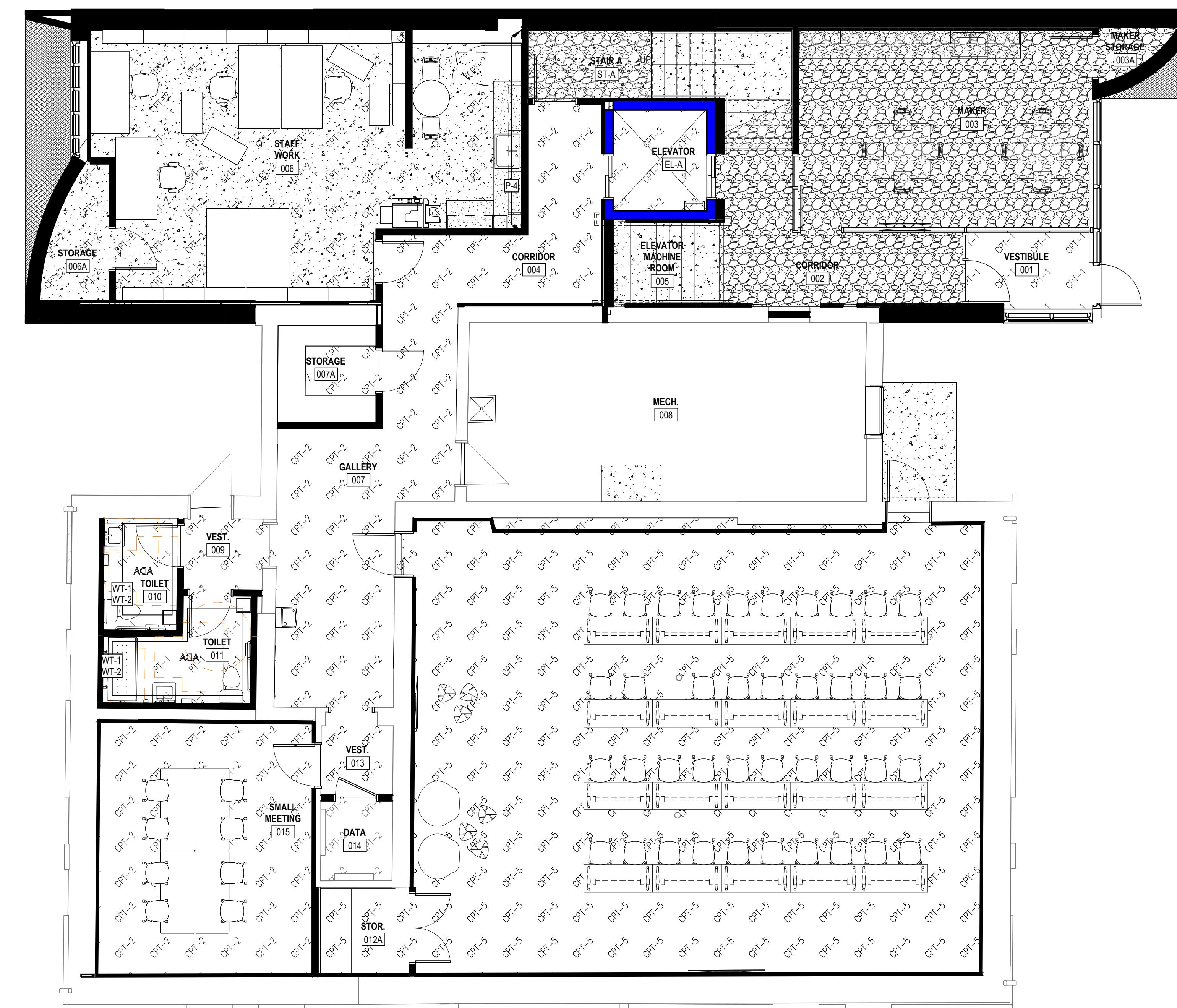
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REFLECTED CEILING PLANS

A-131



(A) UPPER LEVEL FLOOR FINISH PLAN
3/16" = 1'-0"



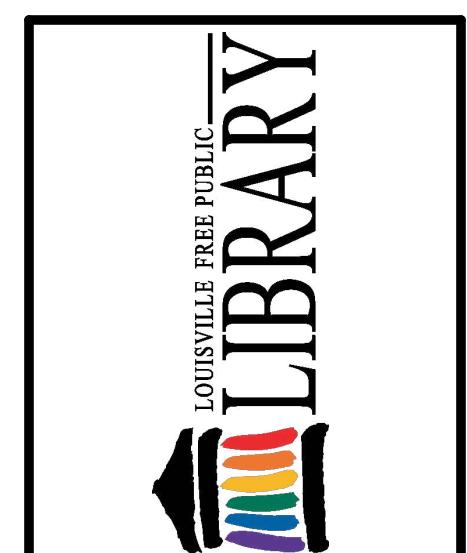
(B) LOWER LEVEL FLOOR FINISH PLAN
3/16" = 1'-0"

| KEYNOTE LEGEND | |
|----------------|---------------------|
| KEY VALUE | KEYNOTE DESCRIPTION |

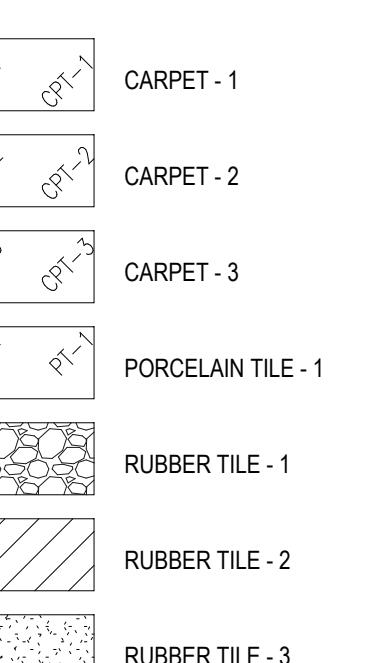
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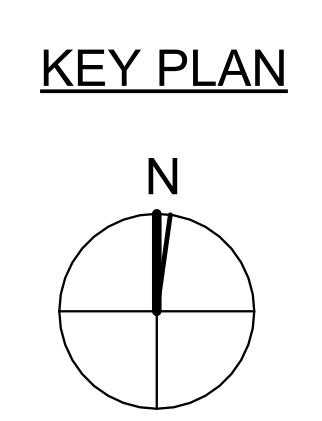
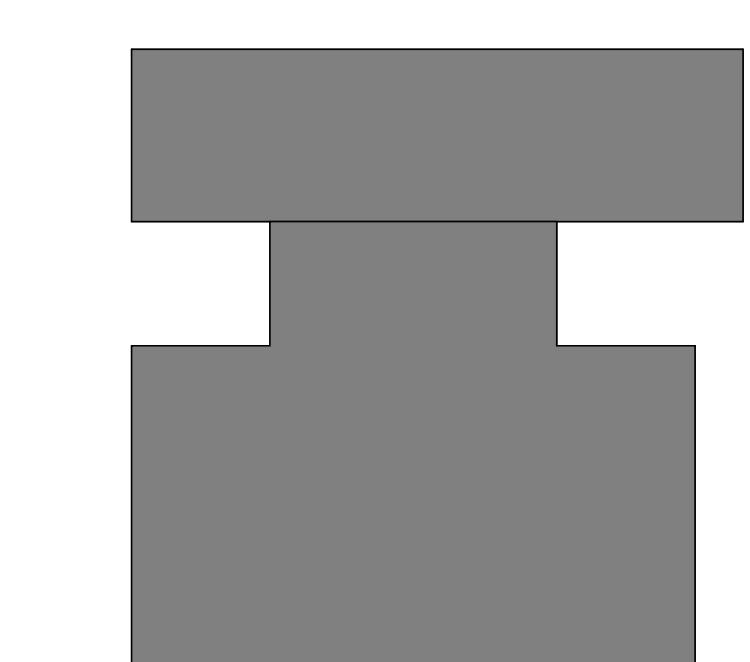
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PARKLAND BRANCH
2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



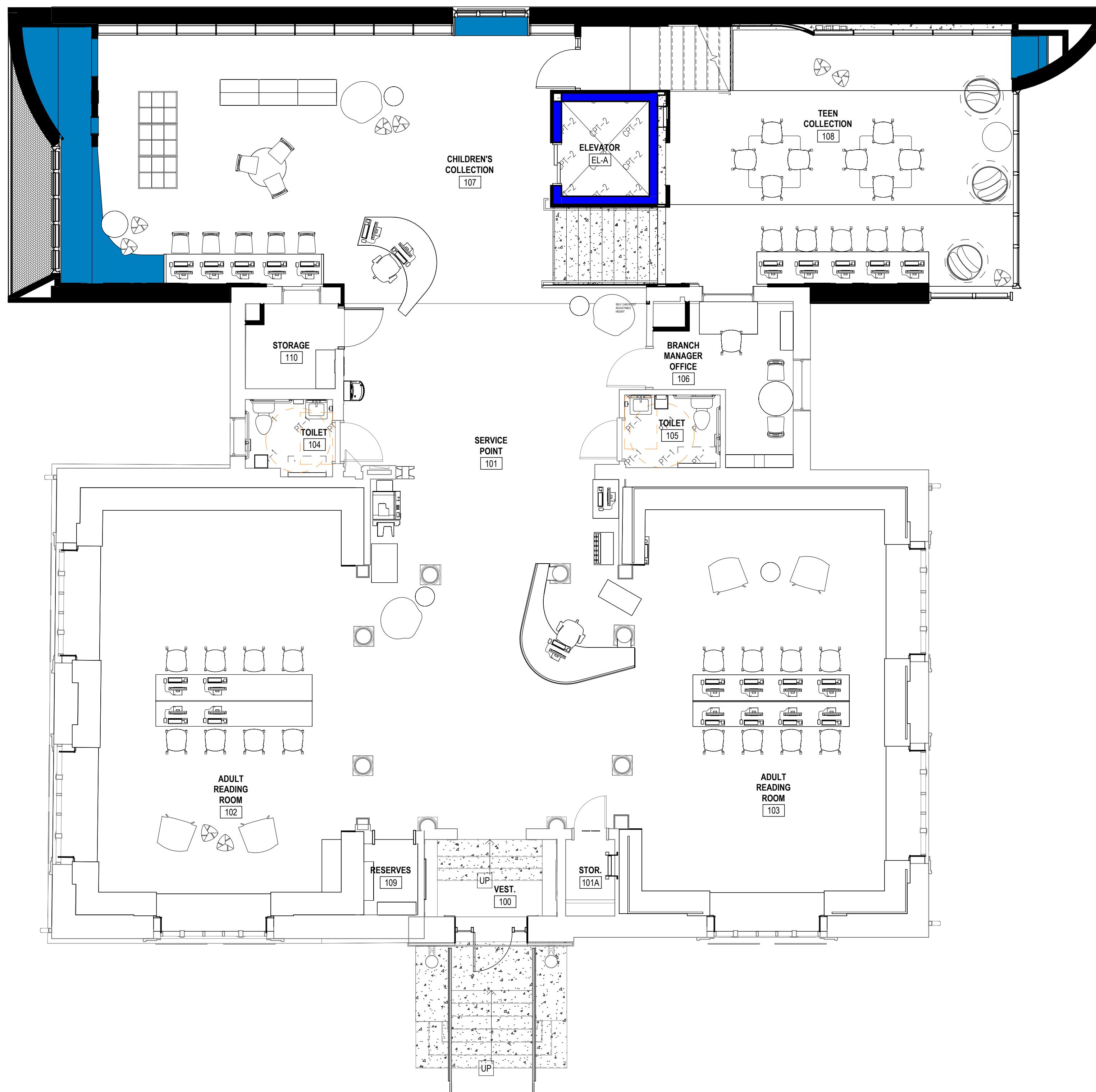
ARCHITECTURAL
PROJECT 2022-28
DATE 3/31/23
REVISIONS
No. Description Date



(C) FINISH FLOOR LEGEND
1/8" = 1'-0"



FINISH PLANS
A-141
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A UPPER LEVEL FURNITURE FLOOR PLAN

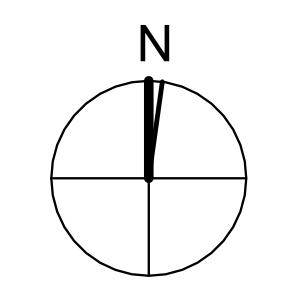
3/16" = 1'-0"



B LOWER LEVEL FURNITURE FLOOR PLAN

3/16" = 1'-0"

KEY PLAN



FURNITURE
FLOOR PLANS

A-151

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PARKLAND BRANCH

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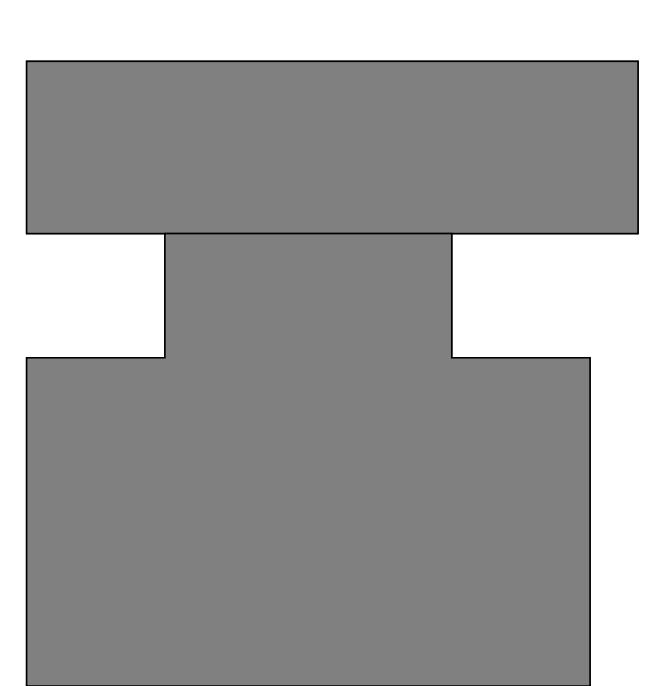
PROJECT 2022-28

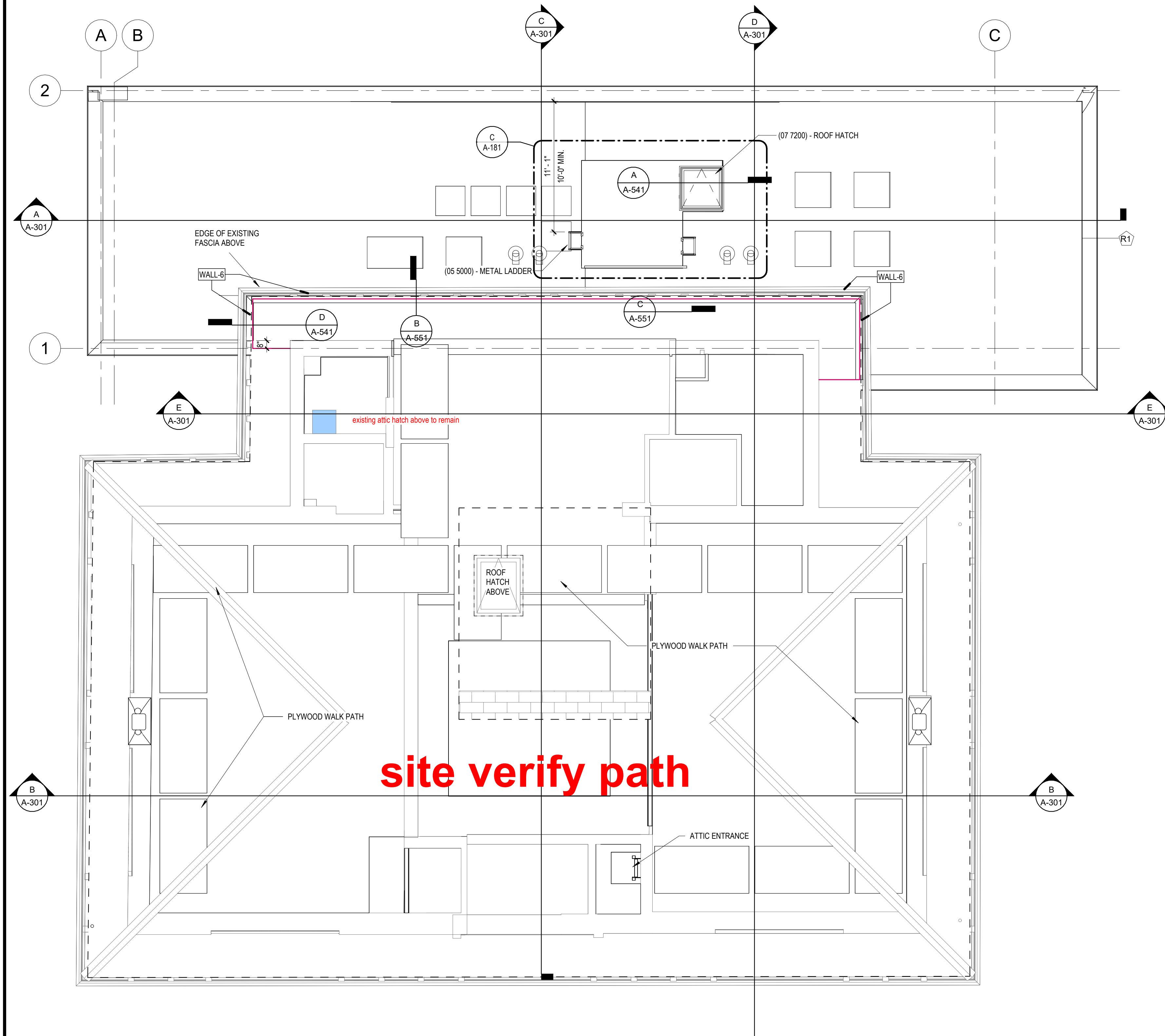
DATE 3/31/23

REVISIONS

No. Description Date

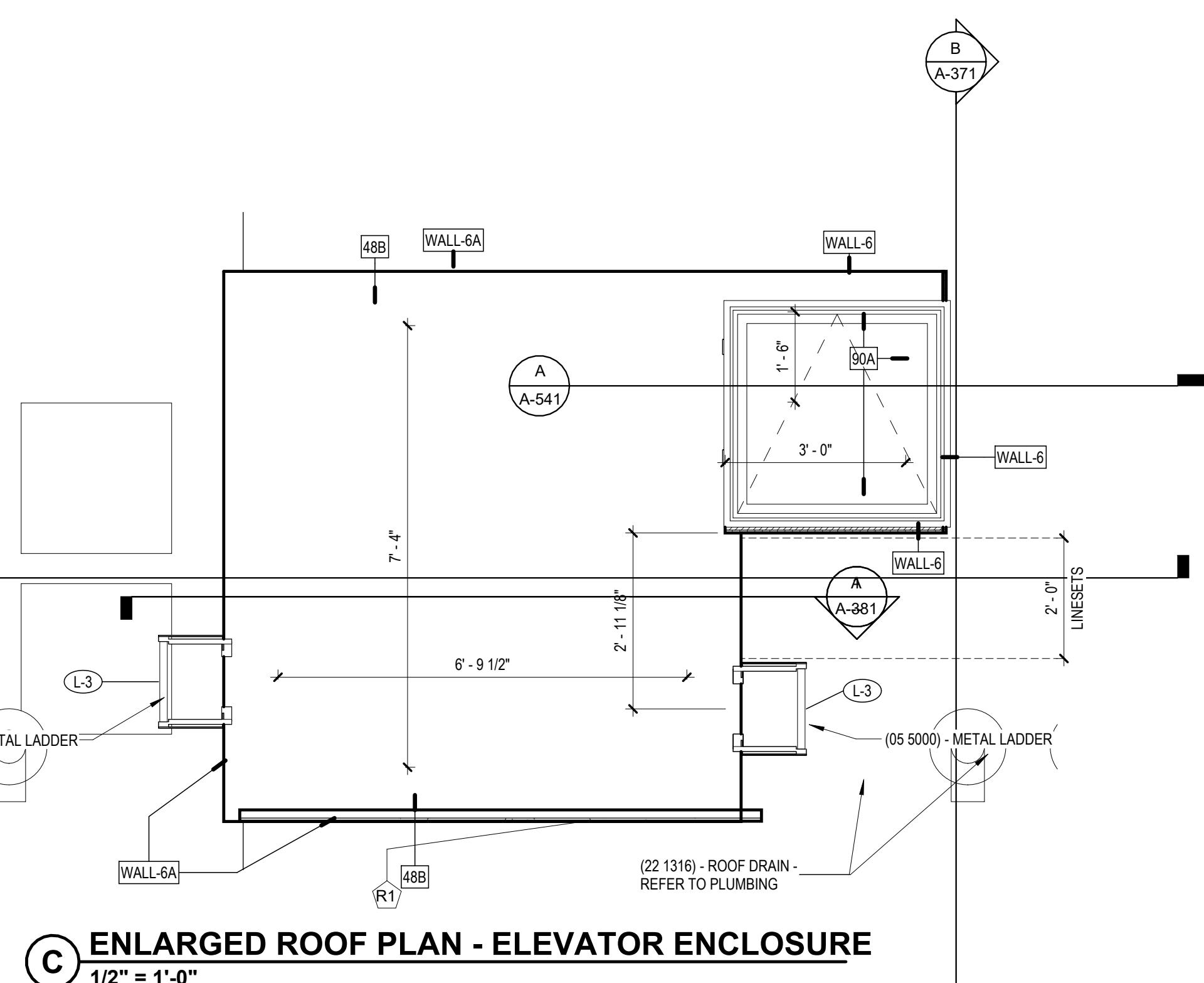
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A ATTIC

3/16" = 1'-0"

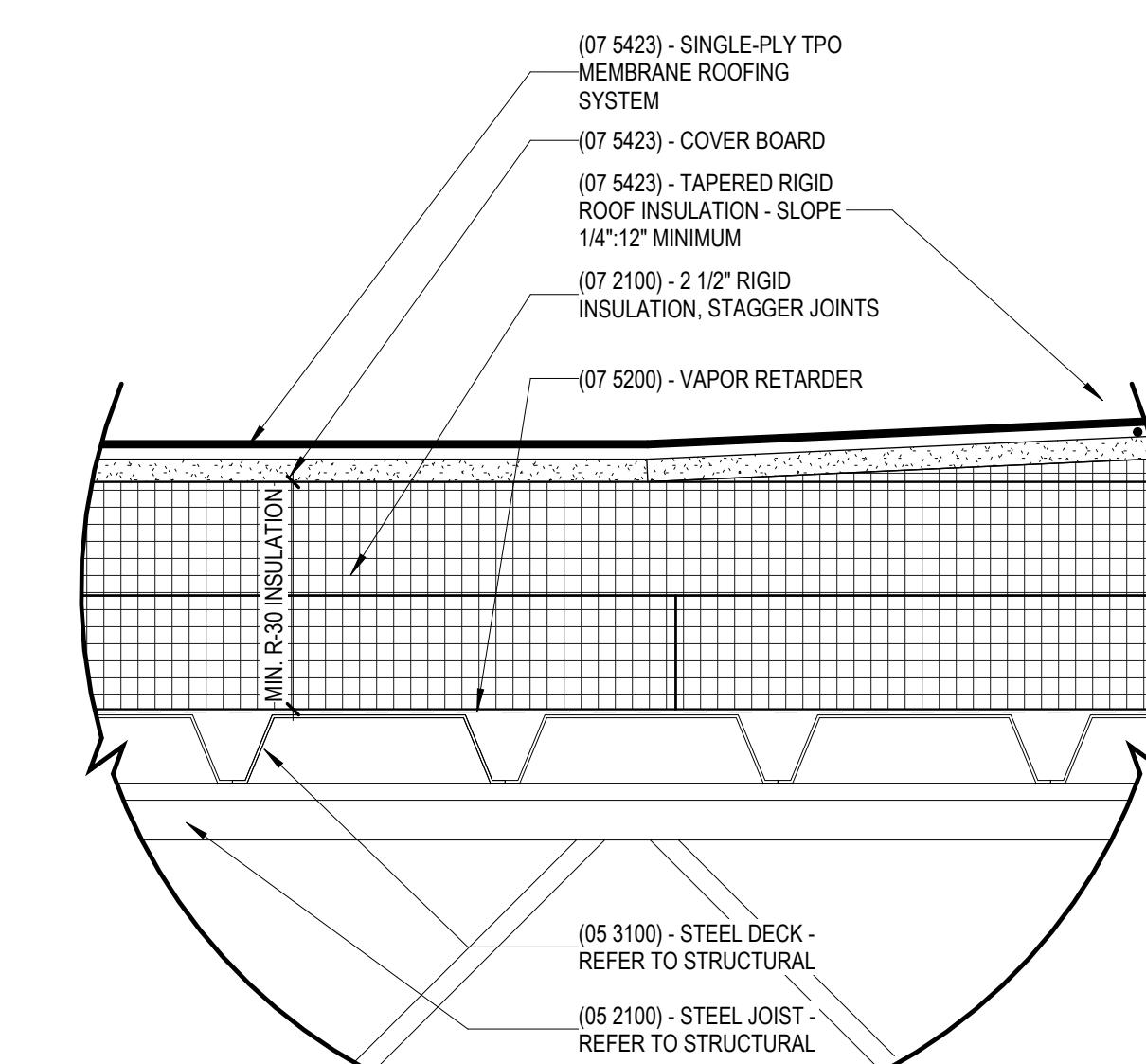
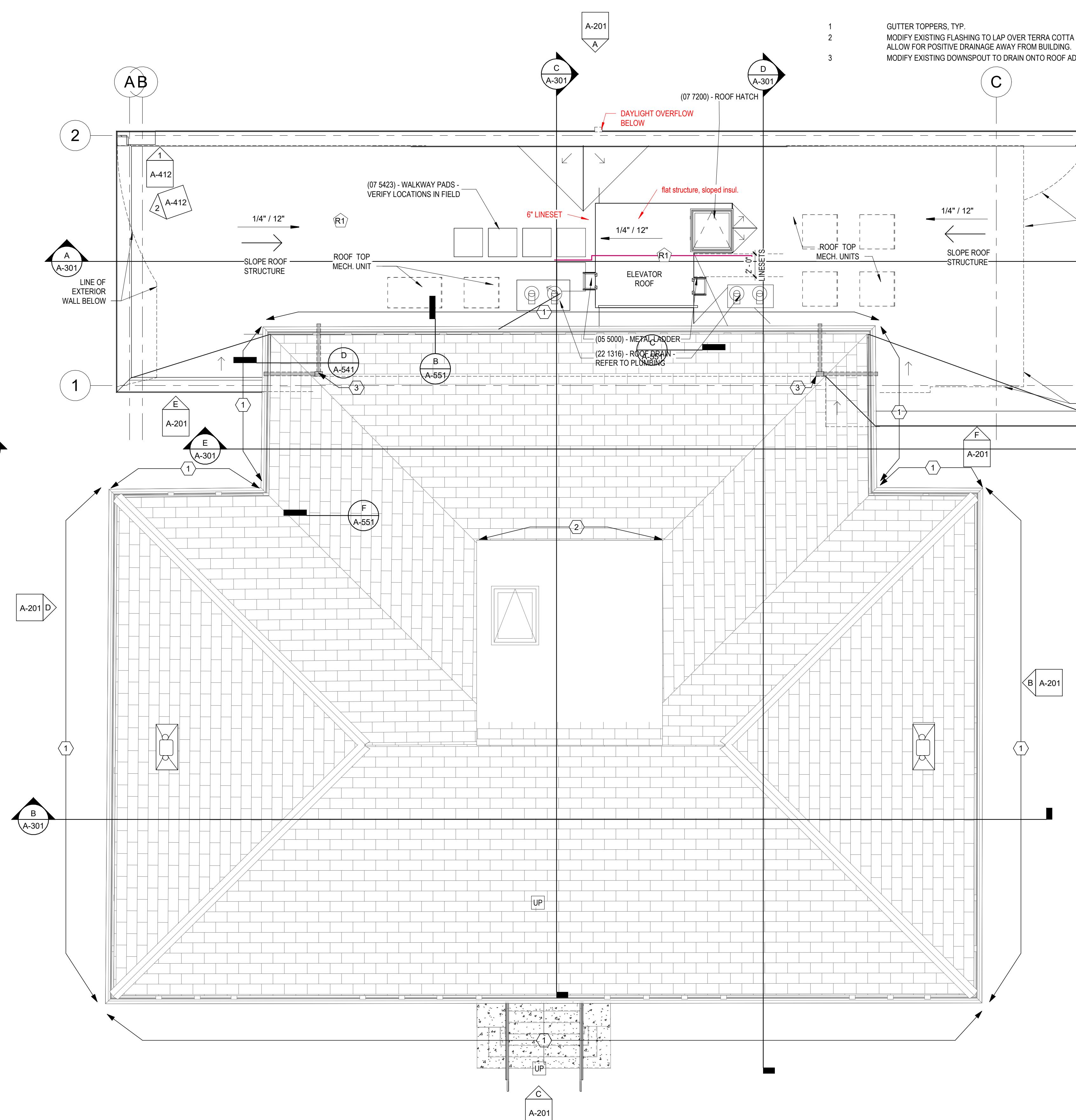


C ENLARGED ROOF PLAN - ELEVATOR ENCLOSURE

1/2" = 1'-0"

B ROOF PLAN

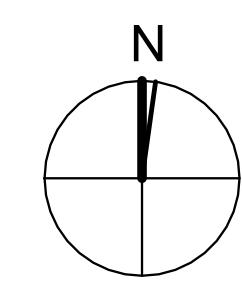
3/16" = 1'-0"



D ROOF TYPE - R1

3" = 1'-0"

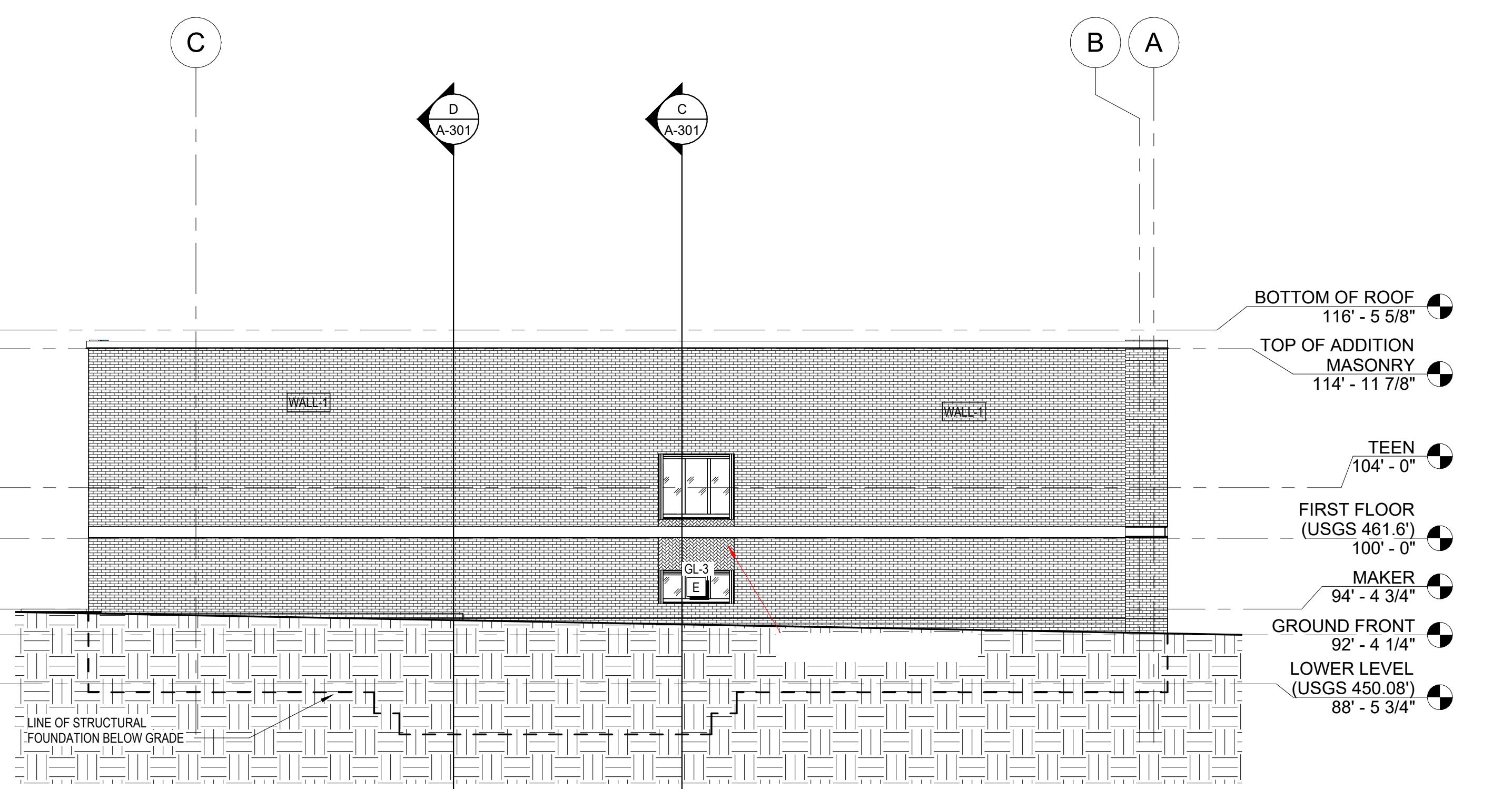
KEY PLAN



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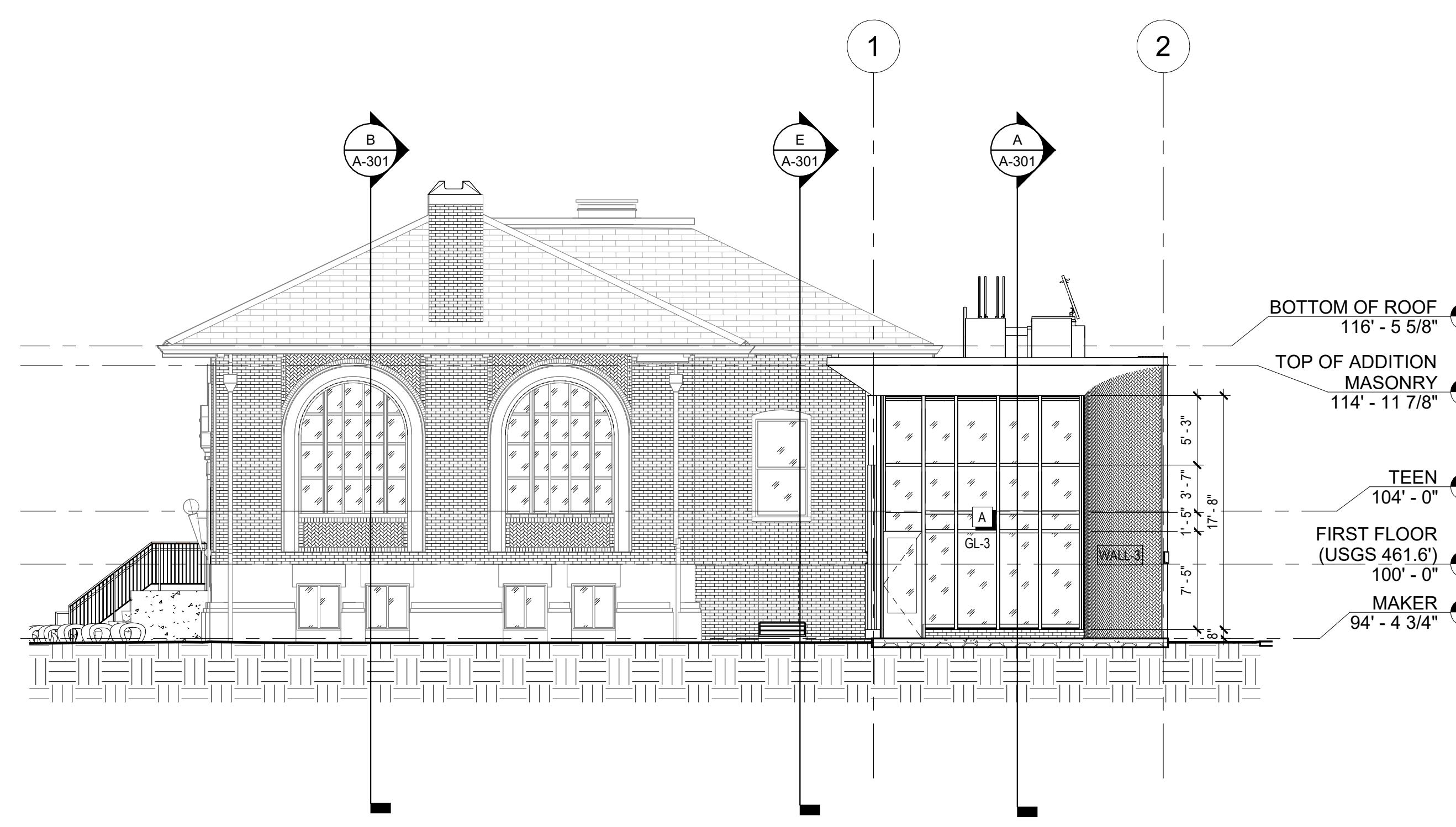


| ARCHITECTURAL | | |
|--|-------------|------|
| PROJECT | 2022-28 | |
| DATE | 3/31/23 | |
| REVISIONS | | |
| No. | Description | Date |
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| ATTIC & ROOF PLAN | | |
| A-181 | | |
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A NORTH BUILDING ELEVATION
1/8" = 1'-0"

1/8" = 1



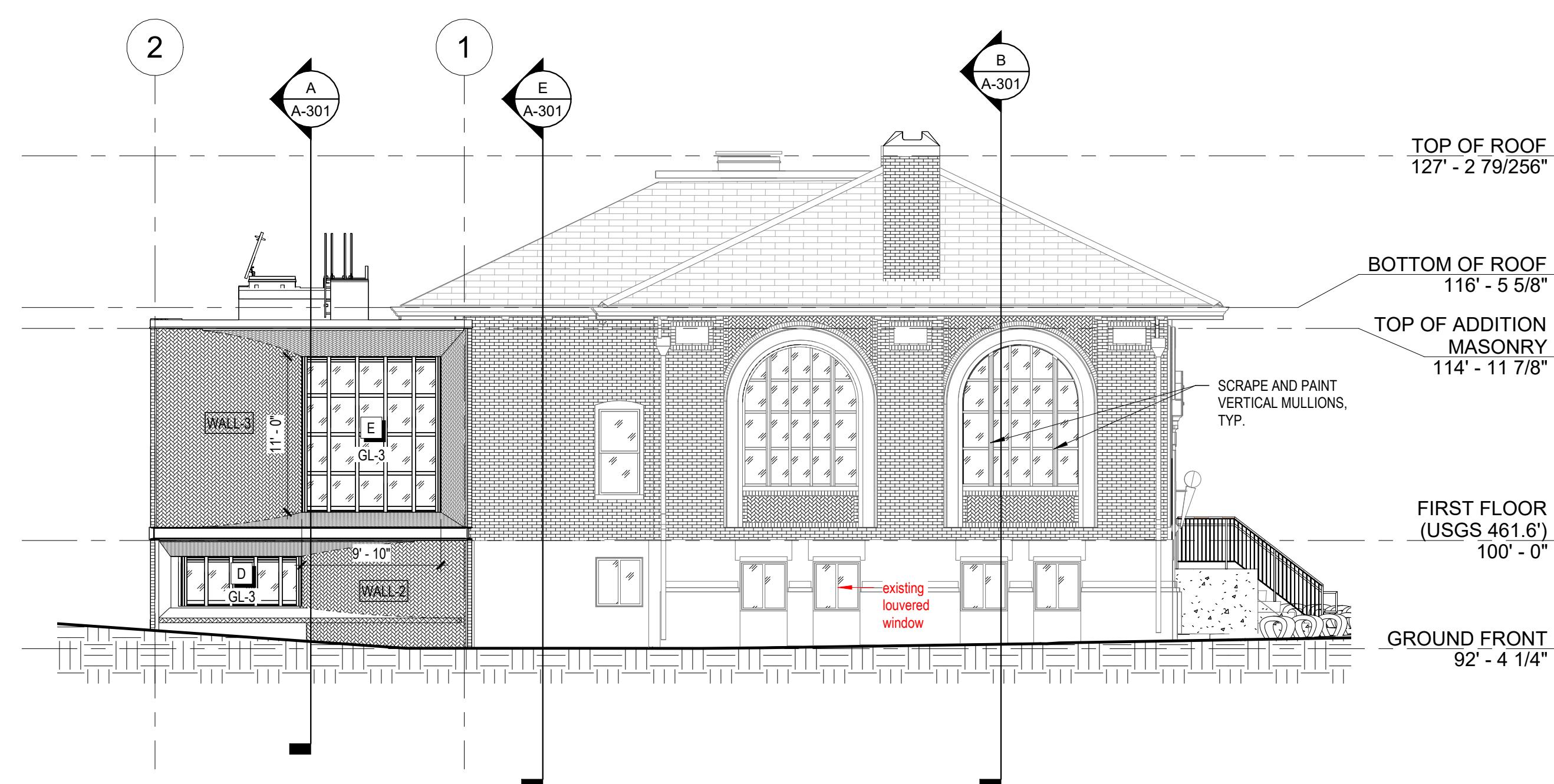
B EAST BUILDING ELEVATION

1/8



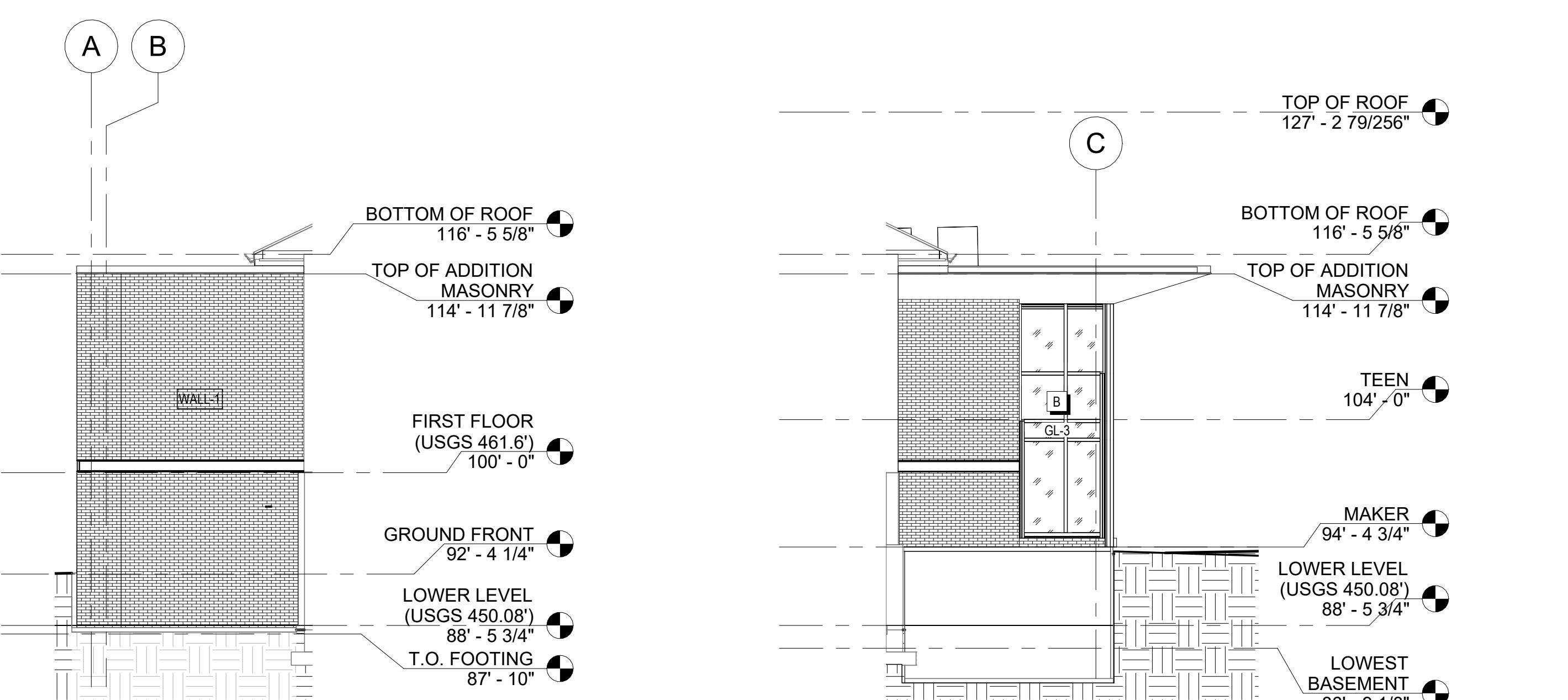
C SOUTH BUILDING ELEVATION

1/8" = 1



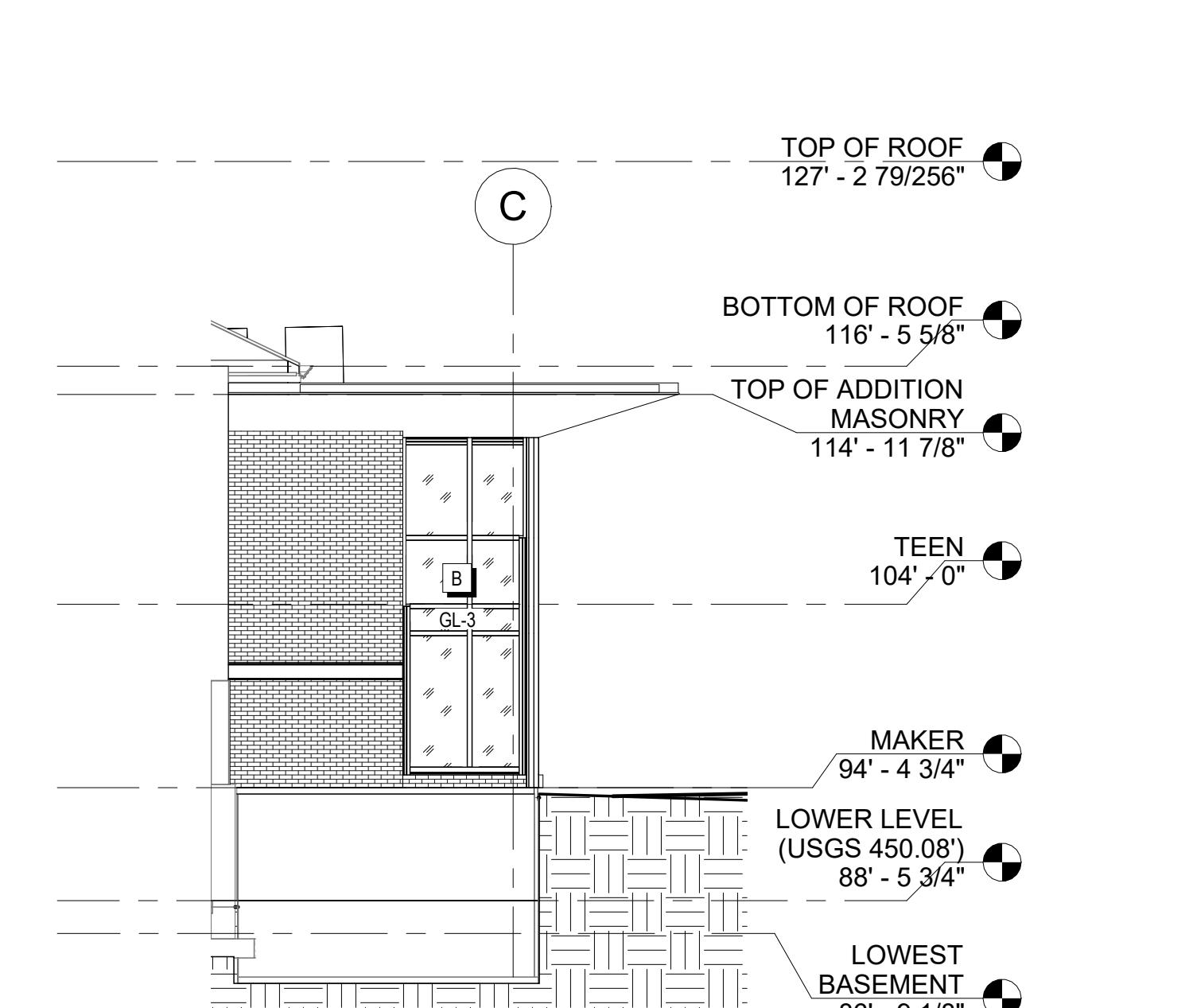
P **WEST BUILDING ELEVATION**

1/8



BUILDING ELEVATION E

1/8



F BUILDING ELEVATION F

1/8" = 1

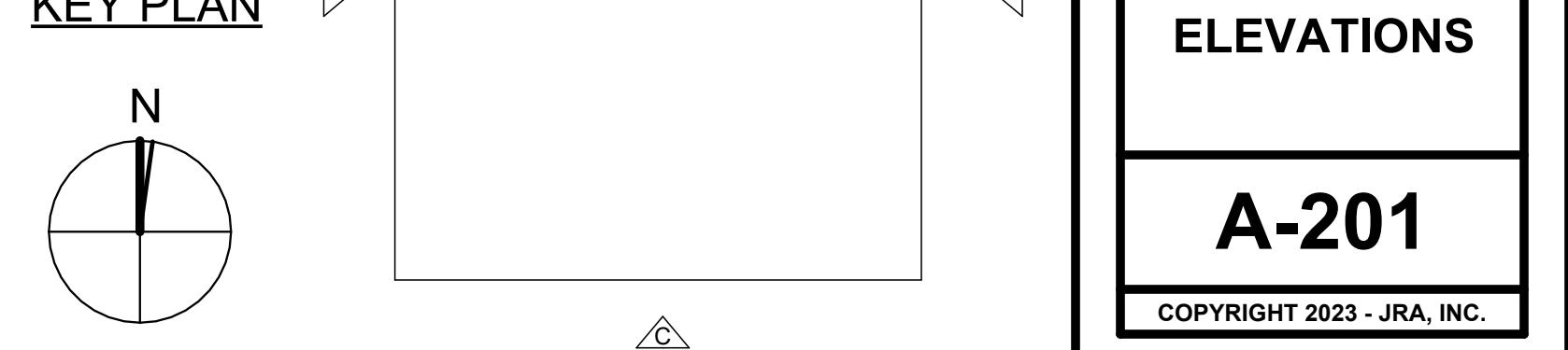
GLAZING SCHEDULE

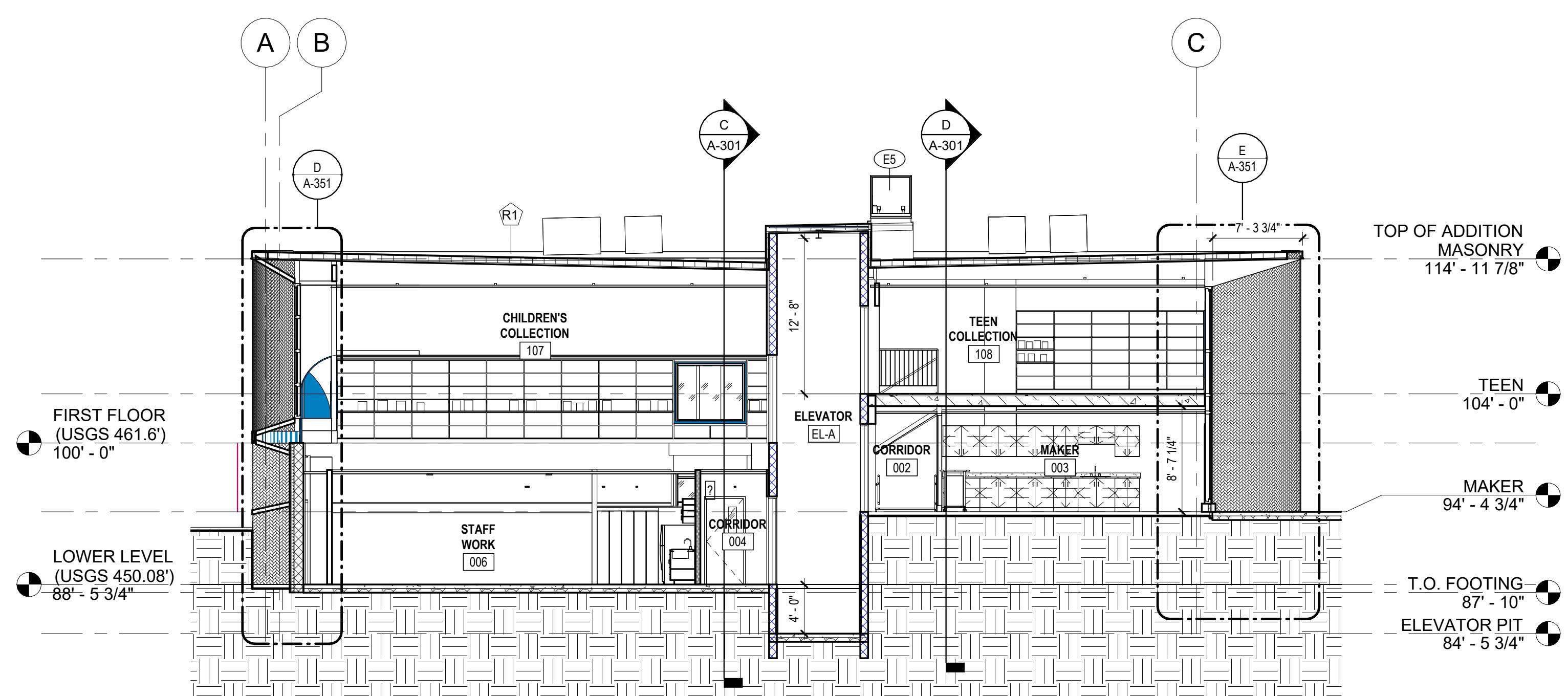
GL-4 DONOR GLASS - TBD

A

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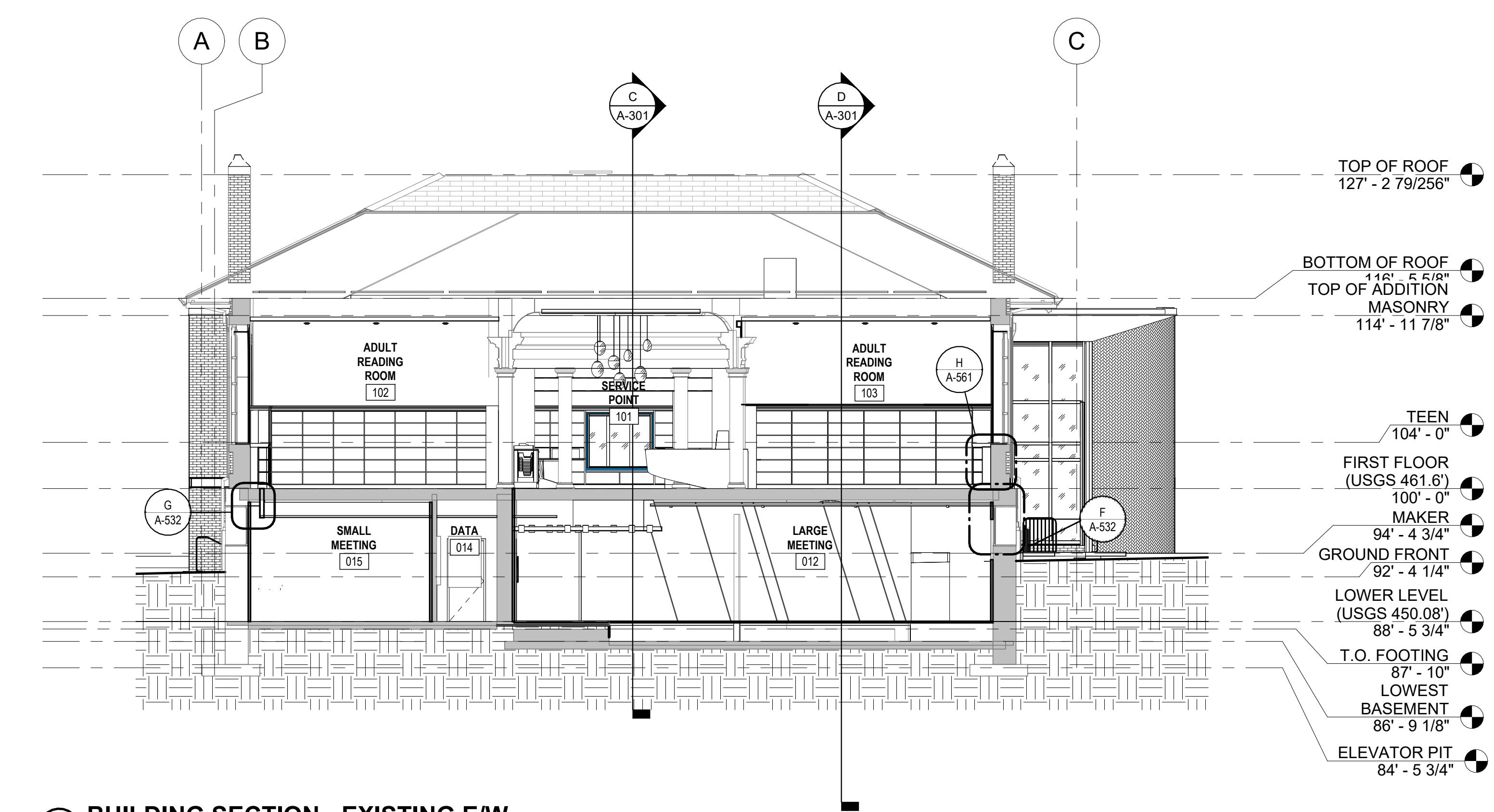
KEY PLAN





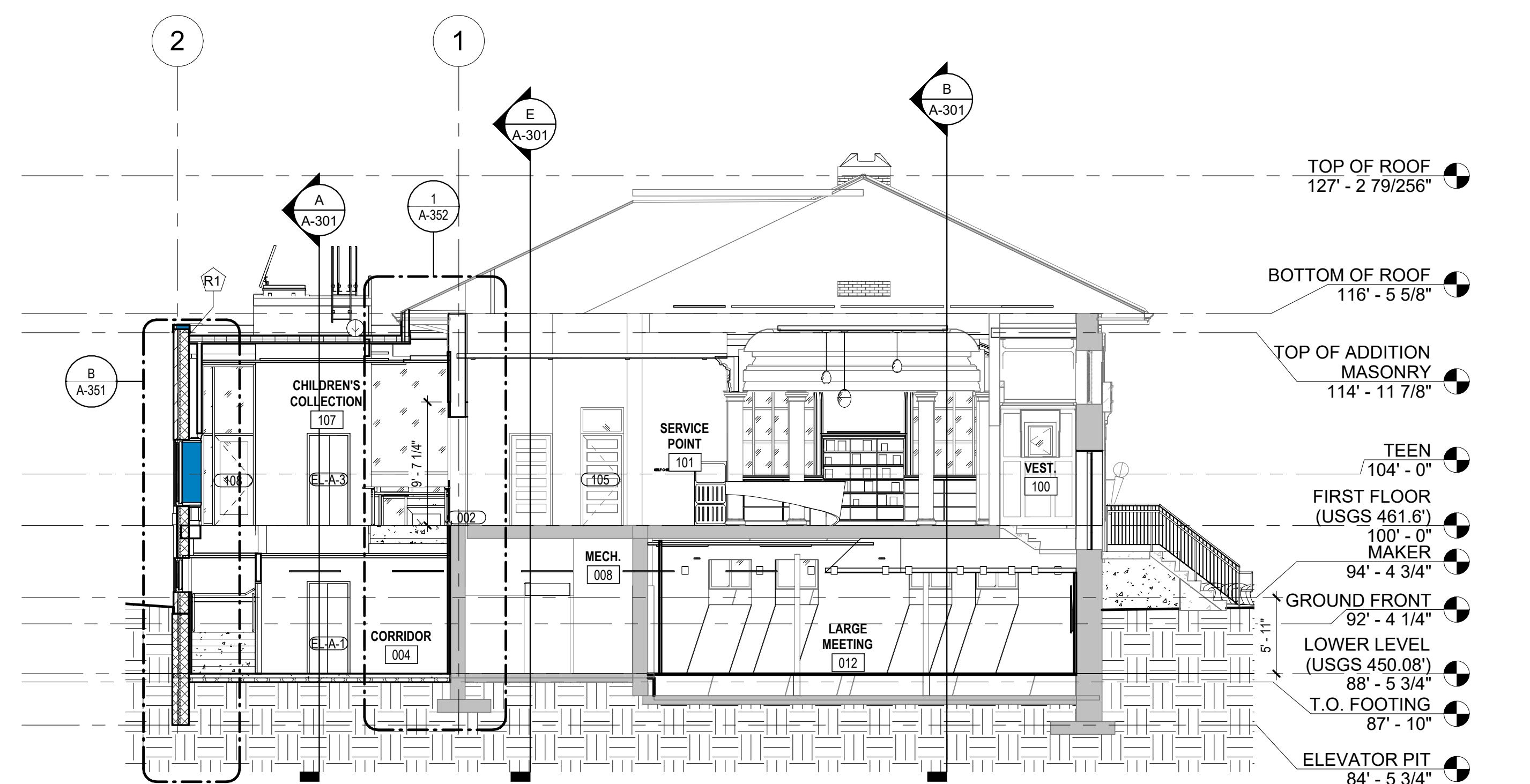
A BUILDING SECTION - NEW ADDITION E/W

1/8" = 1'-0"



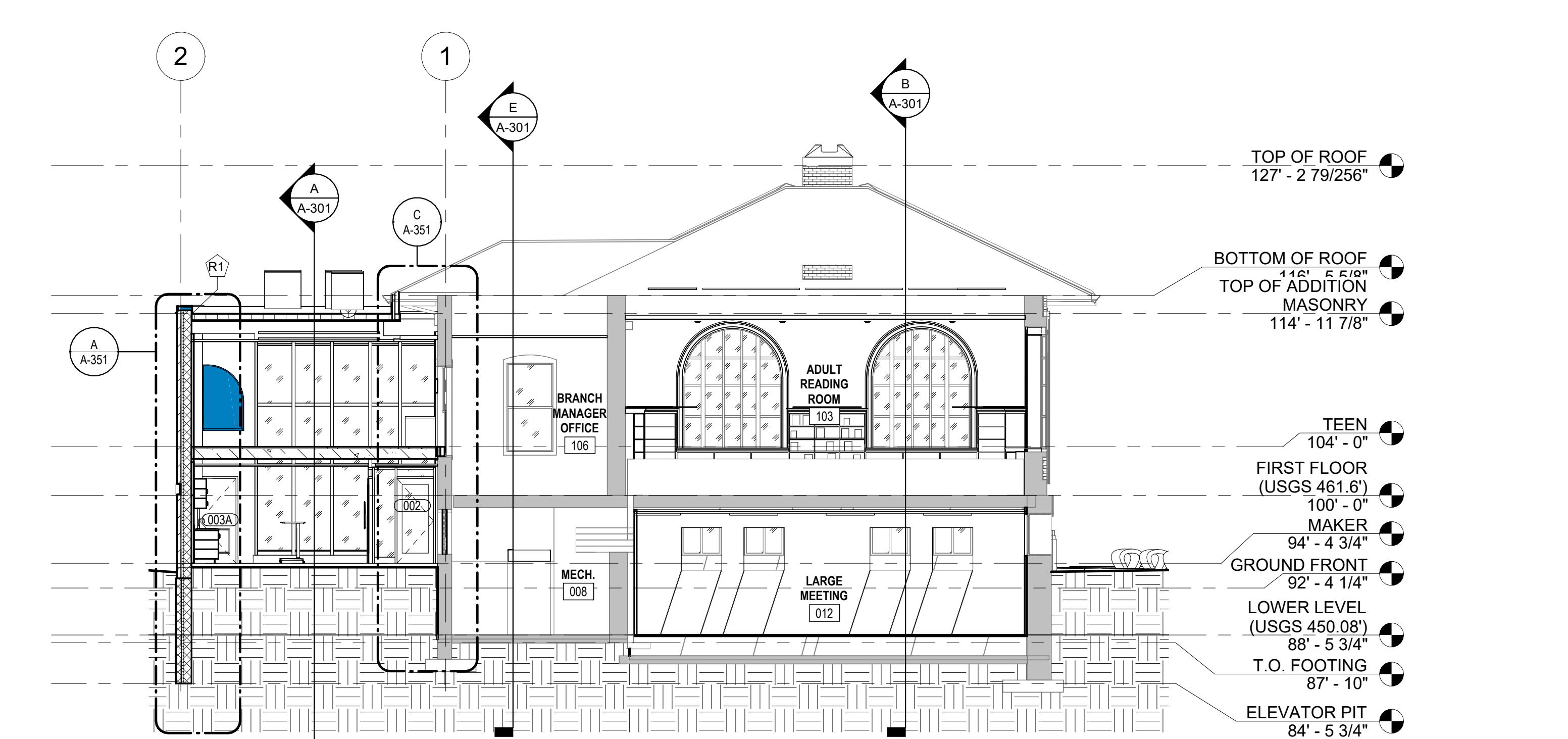
B BUILDING SECTION - EXISTING E/W

1/8" = 1'-0"



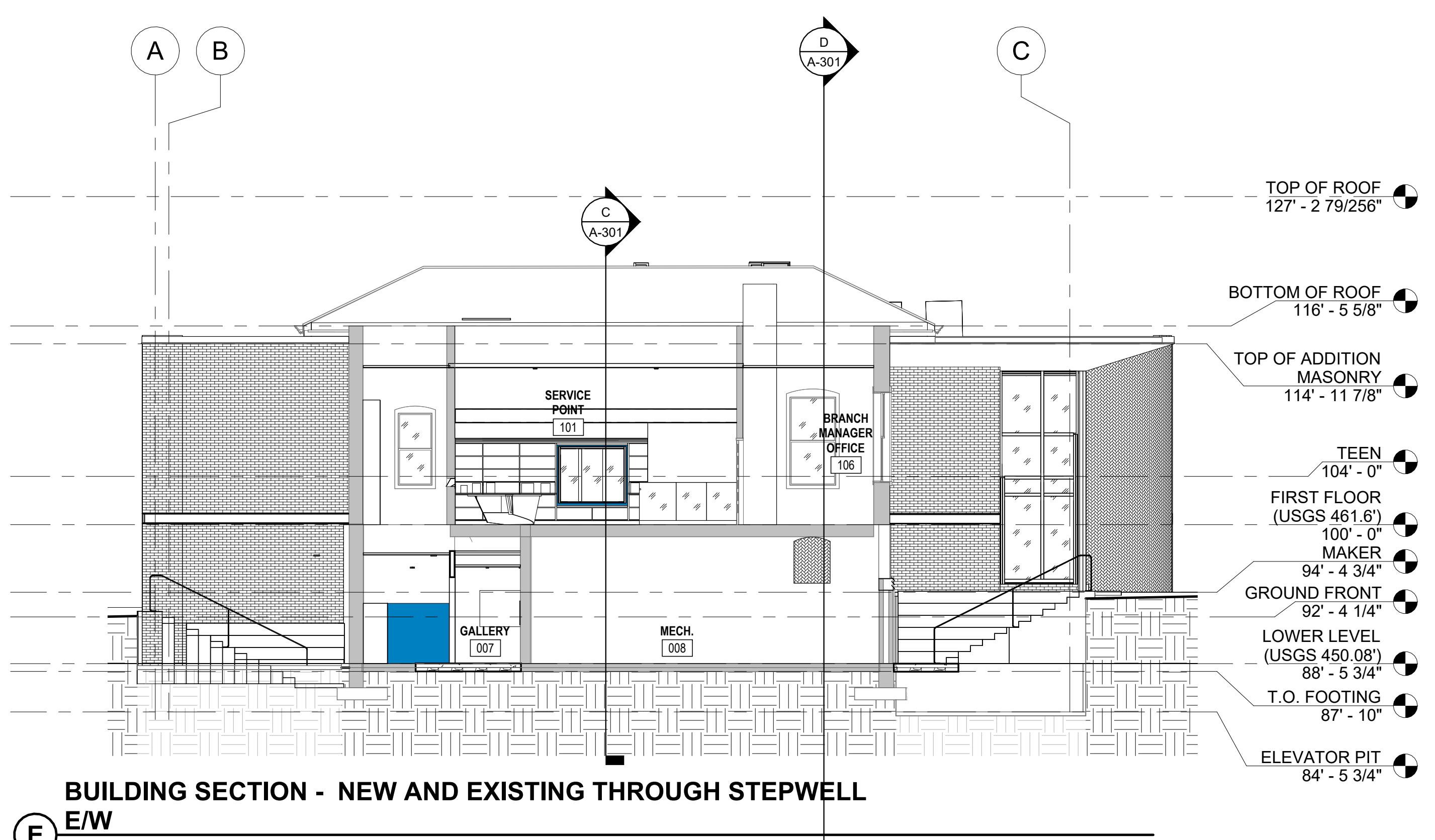
C BUILDING SECTION - NEW AND EXISTING N/S

1/8" = 1'-0"



D BUILDING SECTION - NEW AND EXISTING N/S

1/8" = 1'-0"



BUILDING SECTION - NEW AND EXISTING THROUGH STEPWELL E/W

1/8" = 1'-0"

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CONSTRUCTION DOCUMENTS
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2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT 2022-28

DATE 3/31/23

REVISIONS

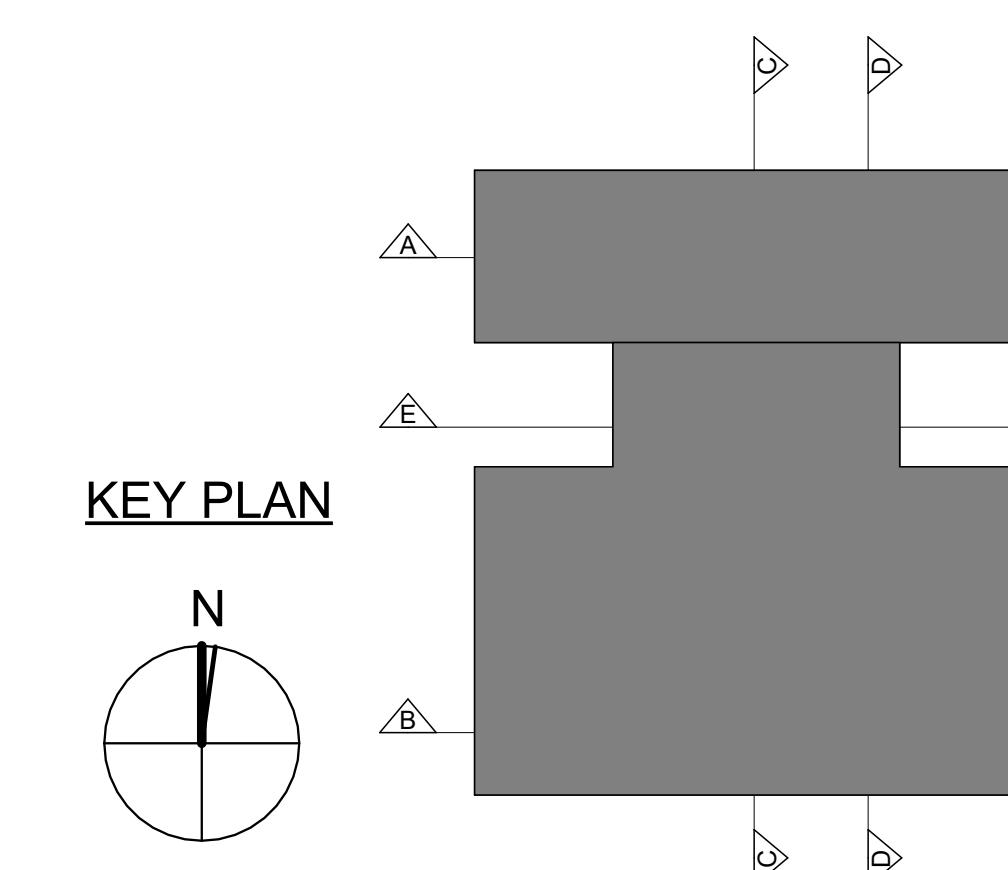
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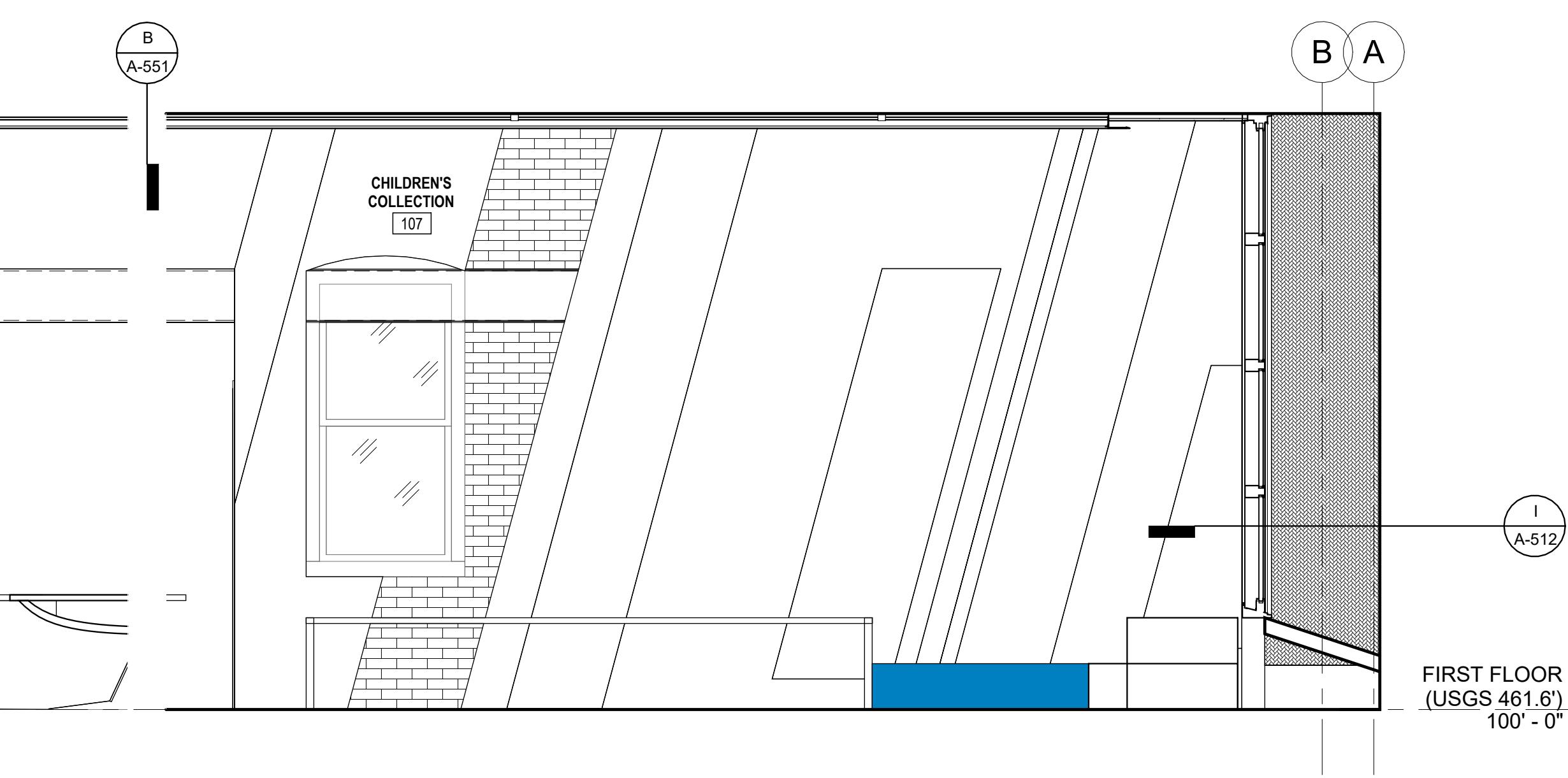
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BUILDING SECTIONS

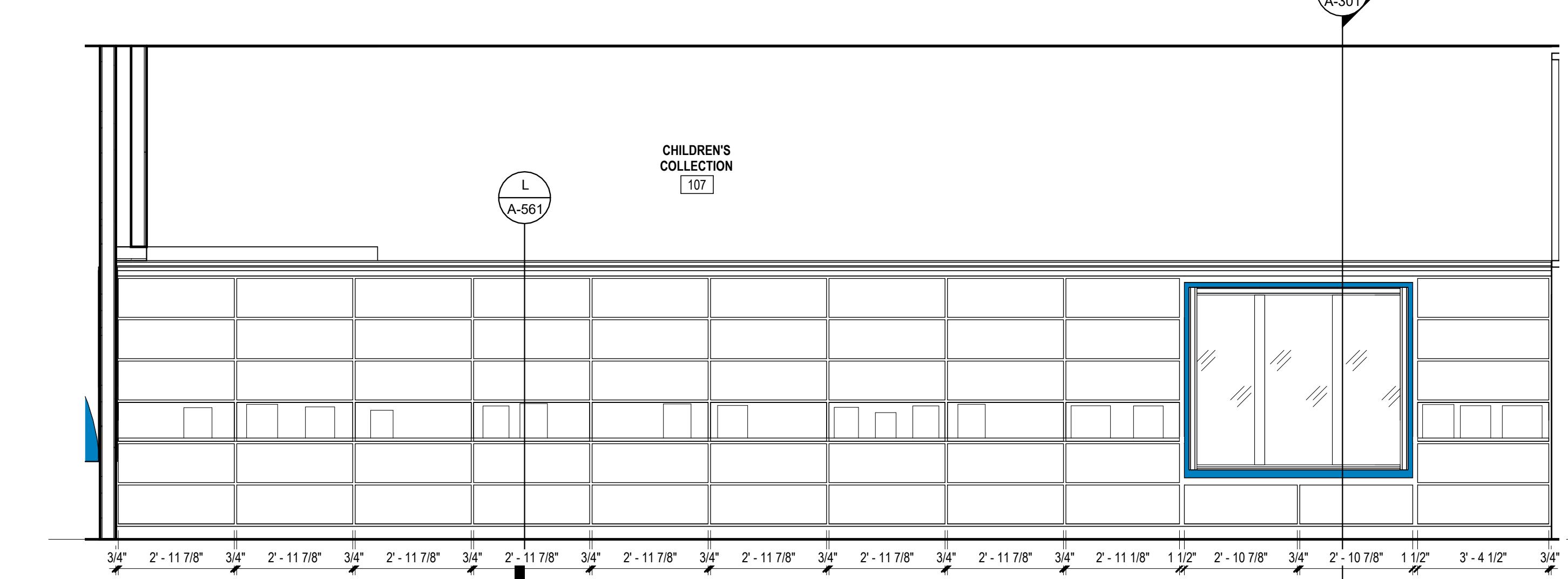
A-301

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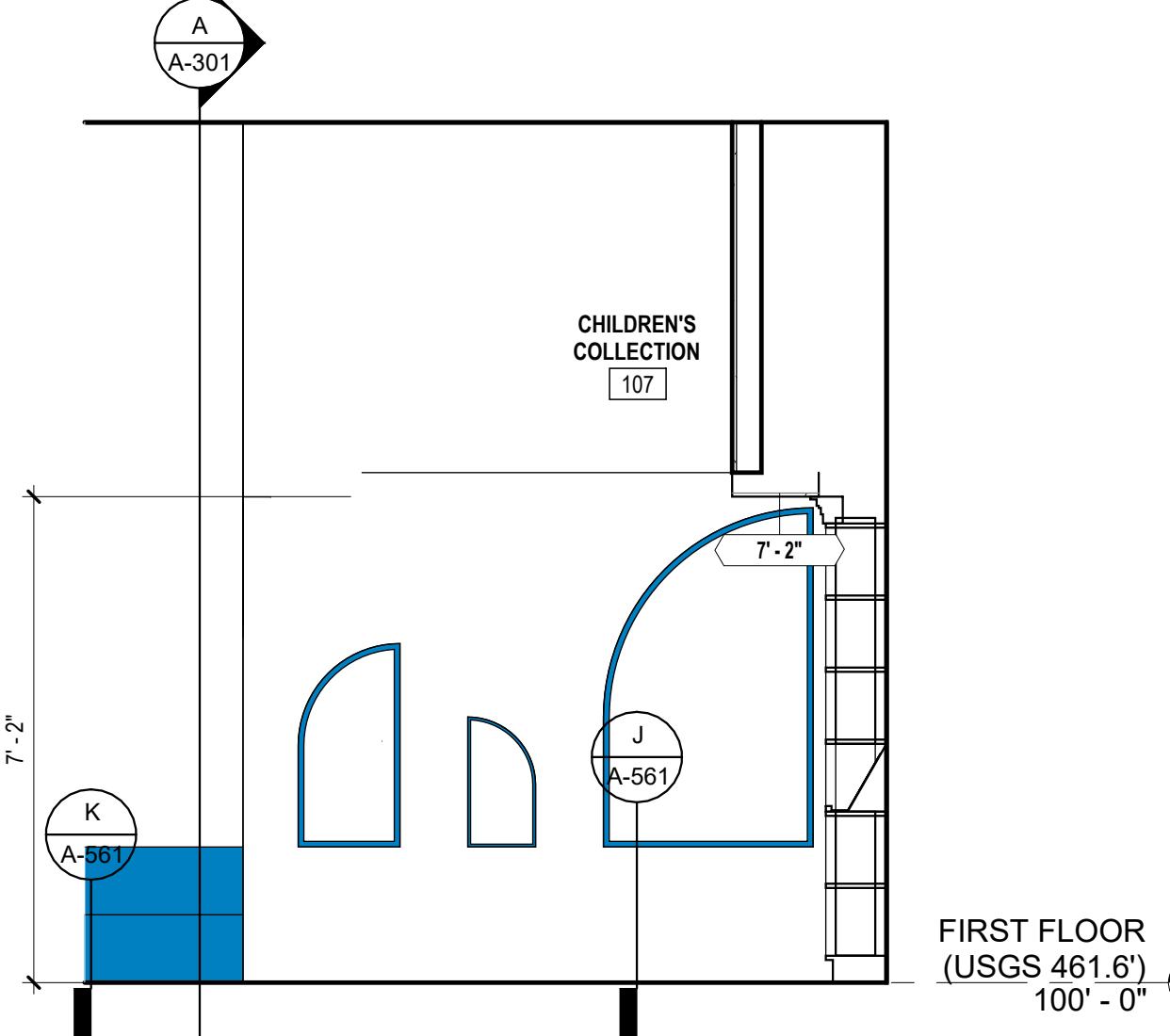


A CHILDREN'S COLLECTION ROOM 107 SOUTH
3/8" = 1'-0"

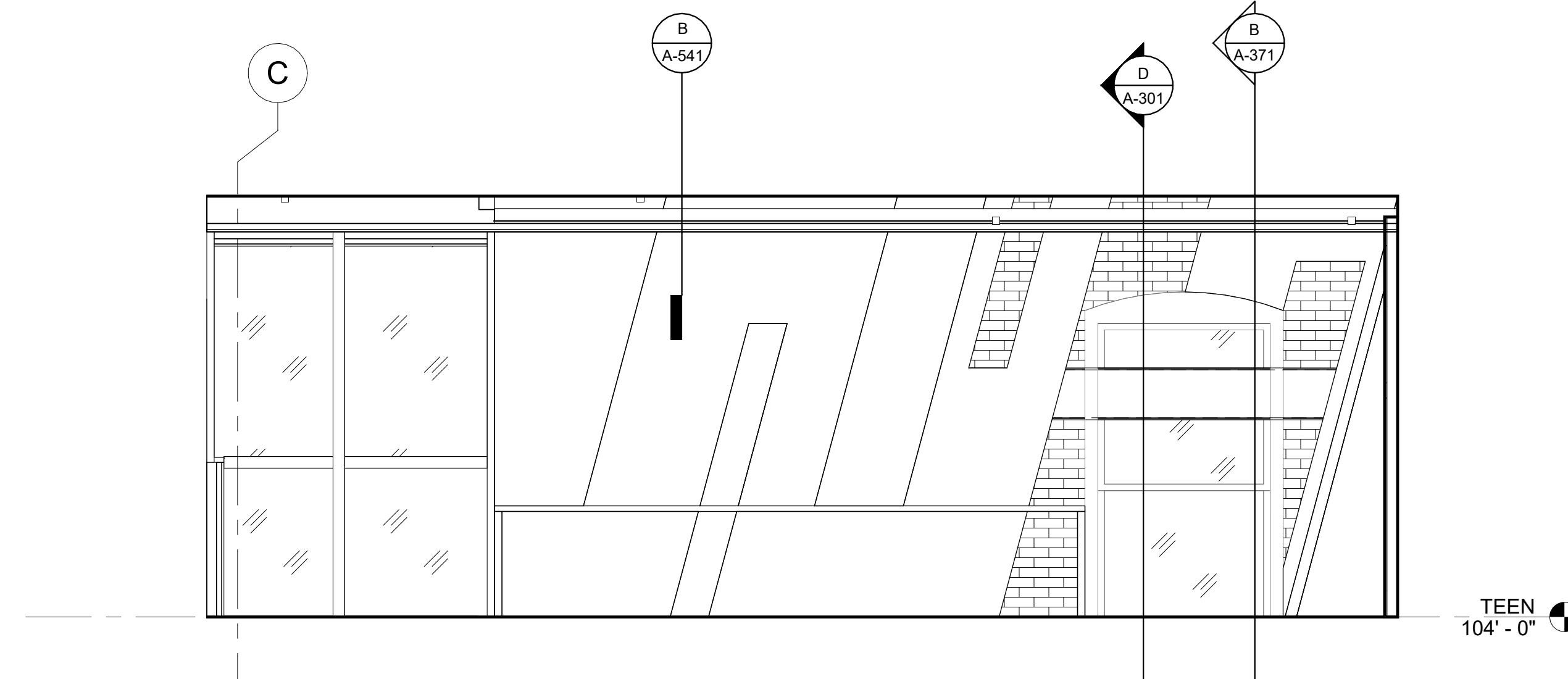


B CHILDREN'S COLLECTION ROOM 107 NORTH
3/8" = 1'-0"

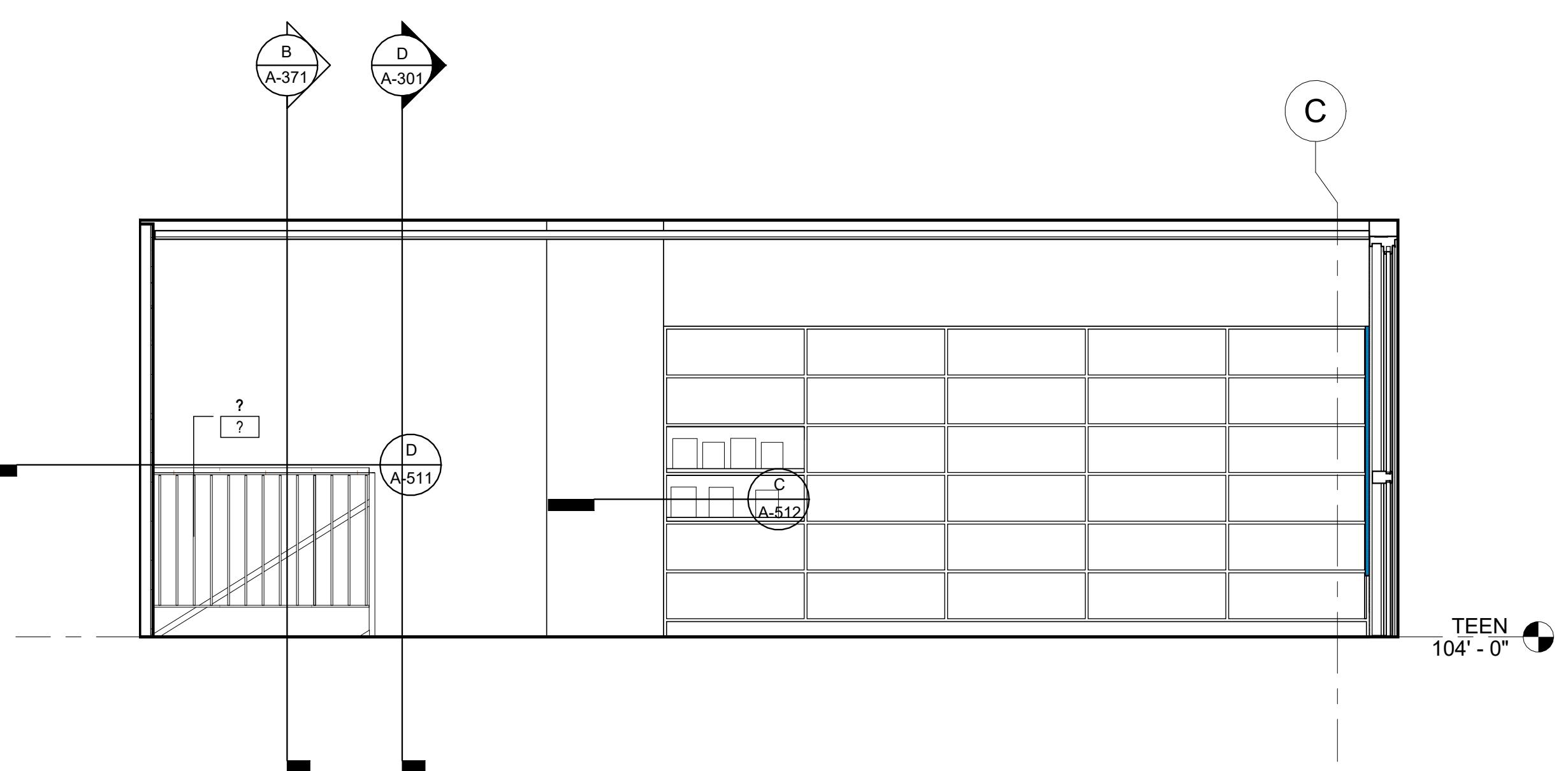
| MARK | DESCRIPTION | PROVIDED BY | COMMENTS | |
|--|-------------|-------------|----------|--|
| | | | | |
| 10 2800 - TOILET ACCESSORY | | | | |
| T1 SPARE PART SET: 36" BACK, 42" SIDE, 18" VERTICAL | | C.F.C.I. | | |
| T3 DYSON AIRBLADE V HANDDRYER | | C.F.C.I. | | |
| T4 SOAP DISPENSER- SURFACE MOUNTED, VERTICAL | | O.F.O.I. | | |
| T5 FRAMED MIRROR - 18" x 30" | | C.F.C.I. | | |
| T7 BABY CHANGING STATION | | C.F.C.I. | | |
| T8 ADULT CHANGING STATION | | C.F.C.I. | | |
| T9 JUMBO BATH TISSUE DISPENSER - SINGLE ROLL | | C.F.C.I. | | |
| T10 BOBRICK B-2260 STANDING TRASH CAN | | C.F.C.I. | | |
| 11 3100 - RESIDENTIAL APPLIANCES | | | | |
| A1 REFRIGERATOR - TOP FREEZER | | O.F.O.I. | | |
| A2 MICROWAVE | | O.F.O.I. | | |
| 11 5116 - BOOK DEPOSITORY | | | | |
| BOOK DEPOSITORY | | | | |
| EQUIPMENT | | | | |
| E1 MULTI-FUNCTION PRINTER/COPIER | | O.F.O.I. | | |
| E2 COPIER | | O.F.O.I. | | |
| E4 General purpose access door for all surface types | | C.F.C.I. | | |
| E5 ROOF HATCH | | C.F.C.I. | | |
| E7 EMPLOYEE LOCKER | | C.F.C.I. | | |
| E8A TV - 60" | | O.F.O.I. | | |
| E8B TV - 50" | | O.F.O.I. | | |
| E9 LAPTOP KIOSK | | O.F.O.I. | | |
| VERTICAL LADDER | | | | |
| L1 ATTIC ACCESS LADDER | | C.F.C.I. | | |
| L2 ROOF ACCESS LADDER | | C.F.C.I. | | |
| L3 EXTERIOR ROOF LADDER | | C.F.C.I. | | |



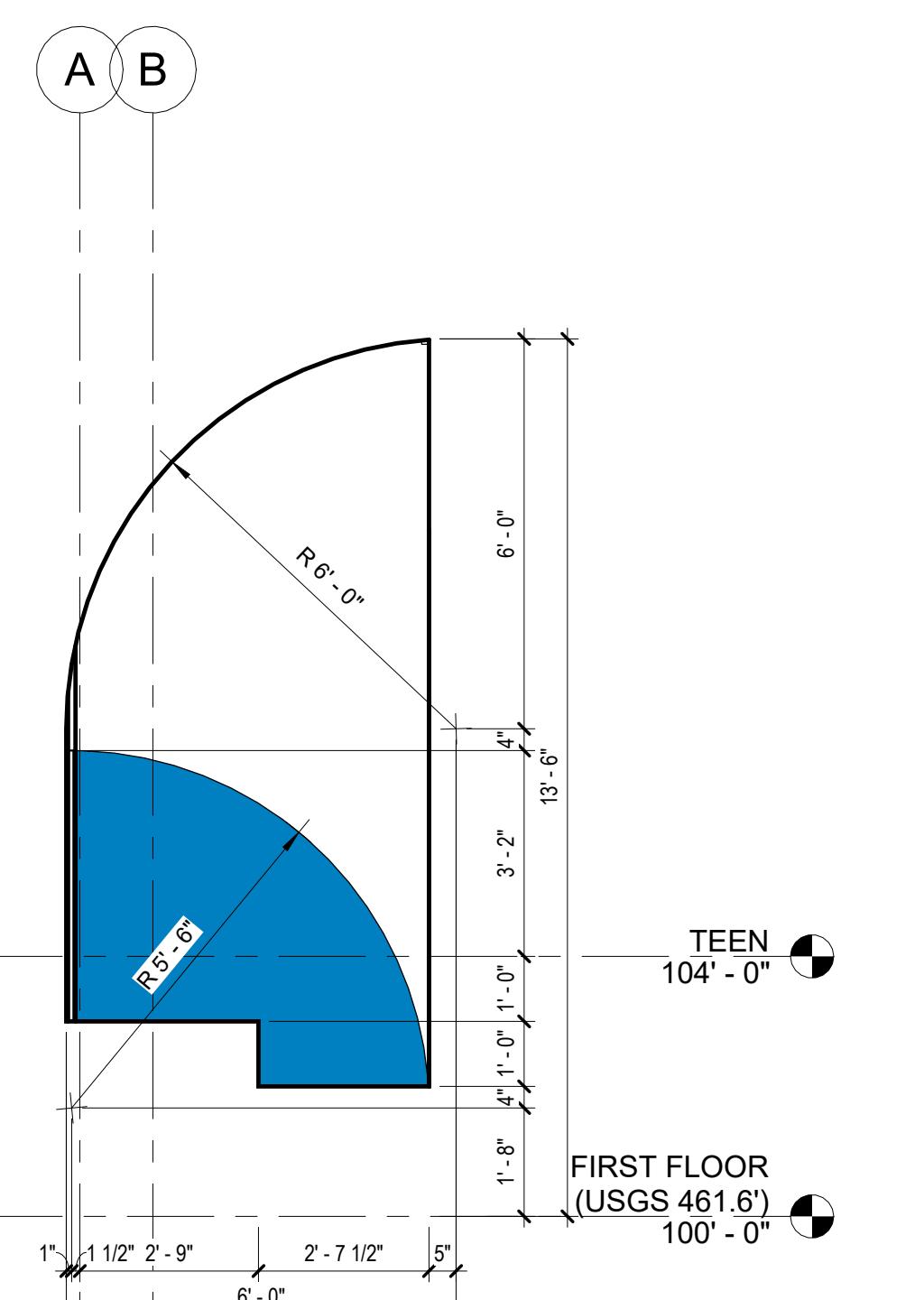
C CHILDREN'S COLLECTION ROOM 107 WEST
3/8" = 1'-0"



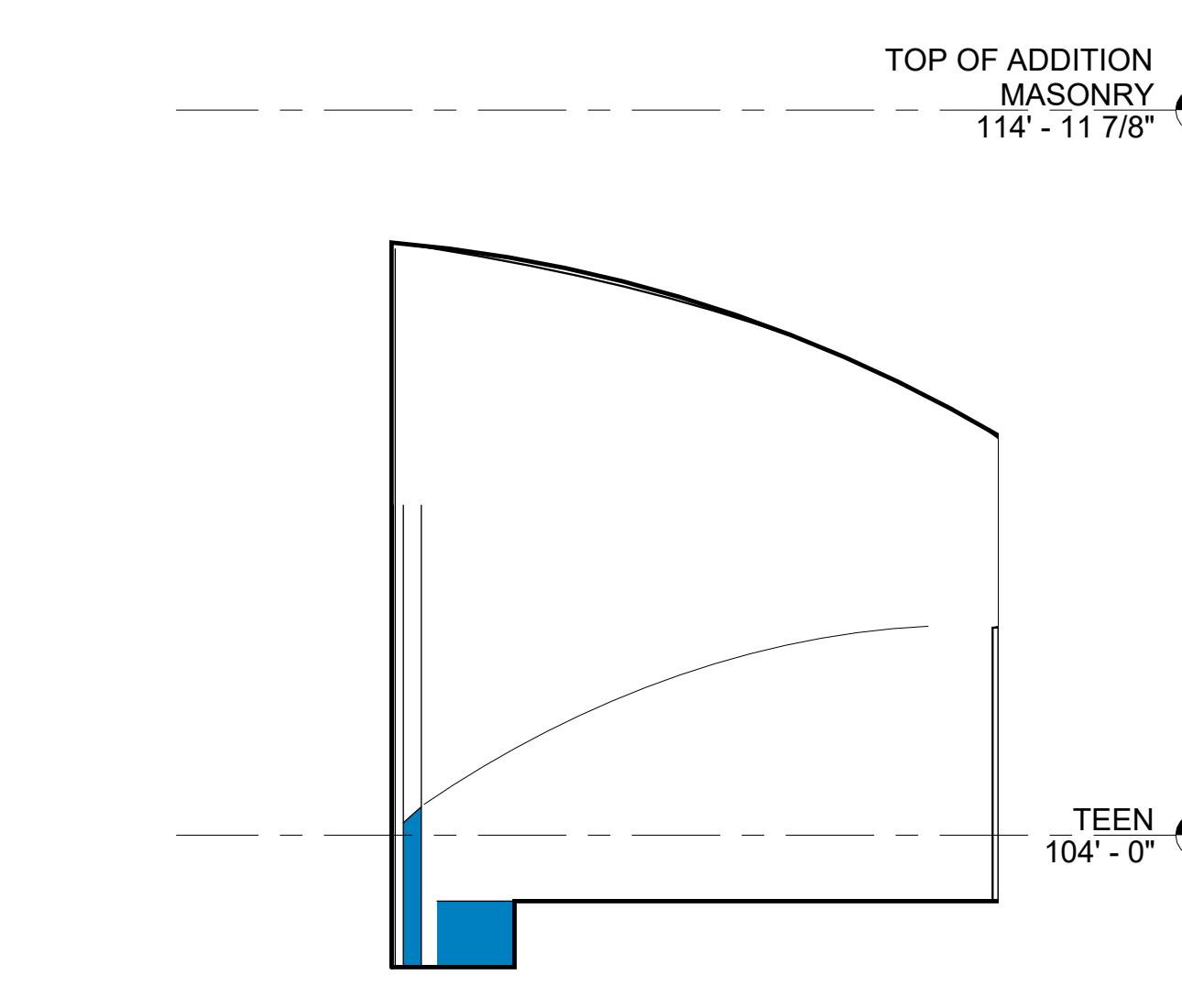
D TEEN COLLECTION ROOM 108 SOUTH
3/8" = 1'-0"



E TEEN COLLECTION ROOM 108 NORTH
3/8" = 1'-0"



1 CHILDRENS NOOK NORTH ELEVATION
3/8" = 1'-0"



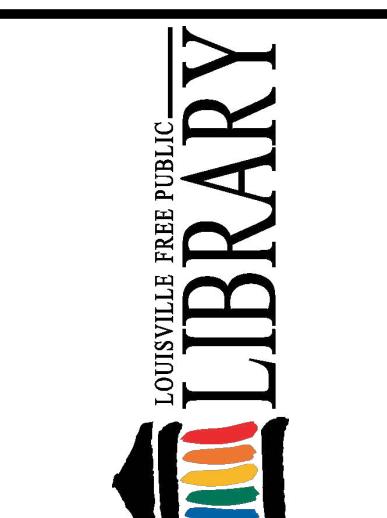
2 CHILDRENS NOOK WALL WEST ELEVATION
3/8" = 1'-0"

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architects
829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

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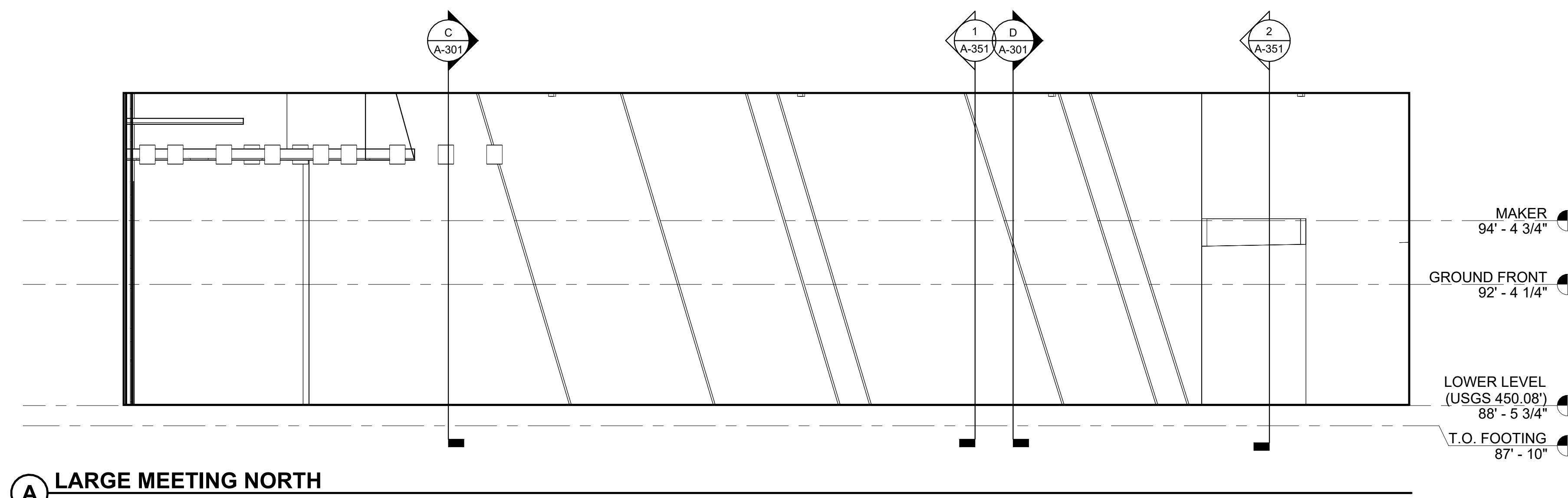
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INTERIOR ELEVATIONS

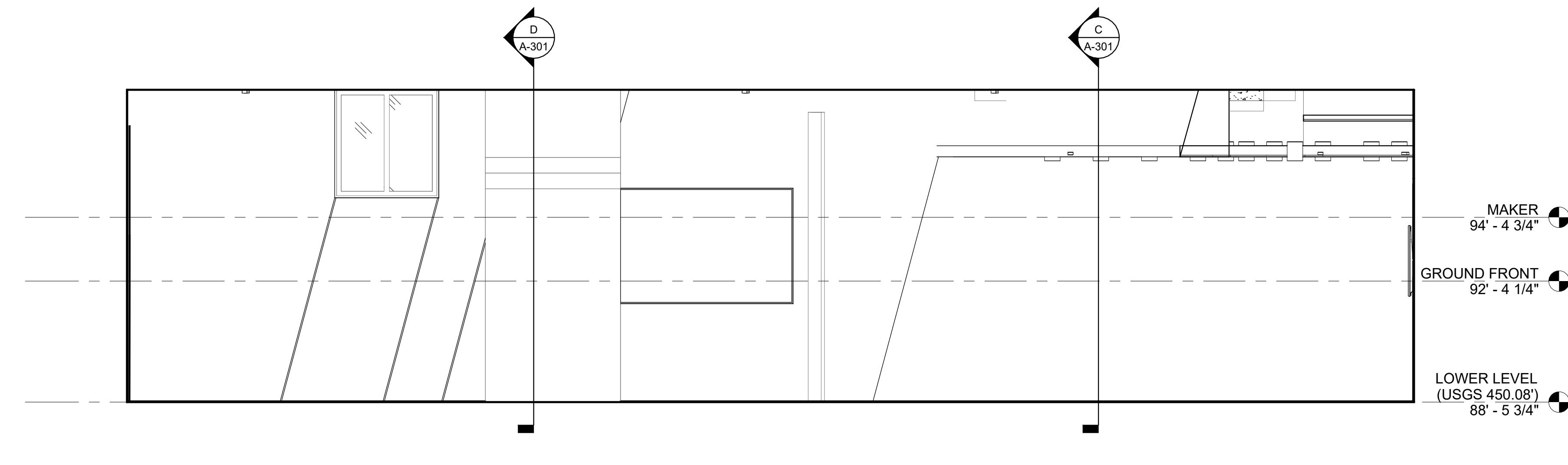
A-412

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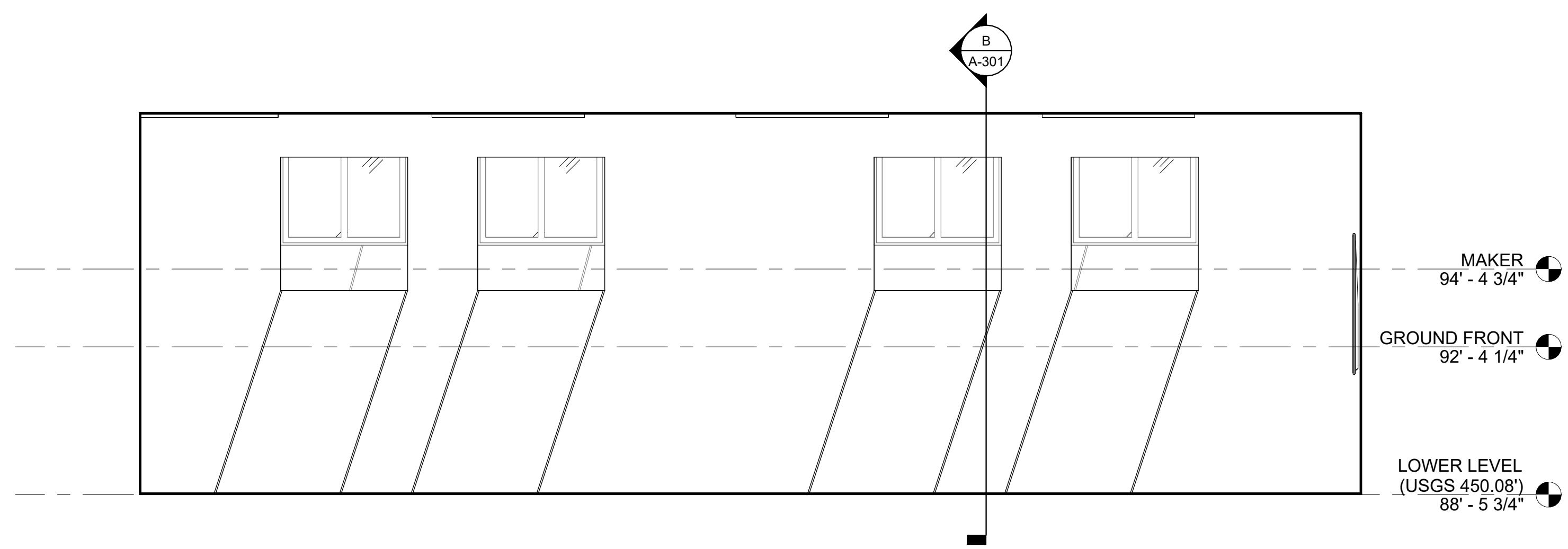
A LARGE MEETING NORTH

3/8" = 1'-0"



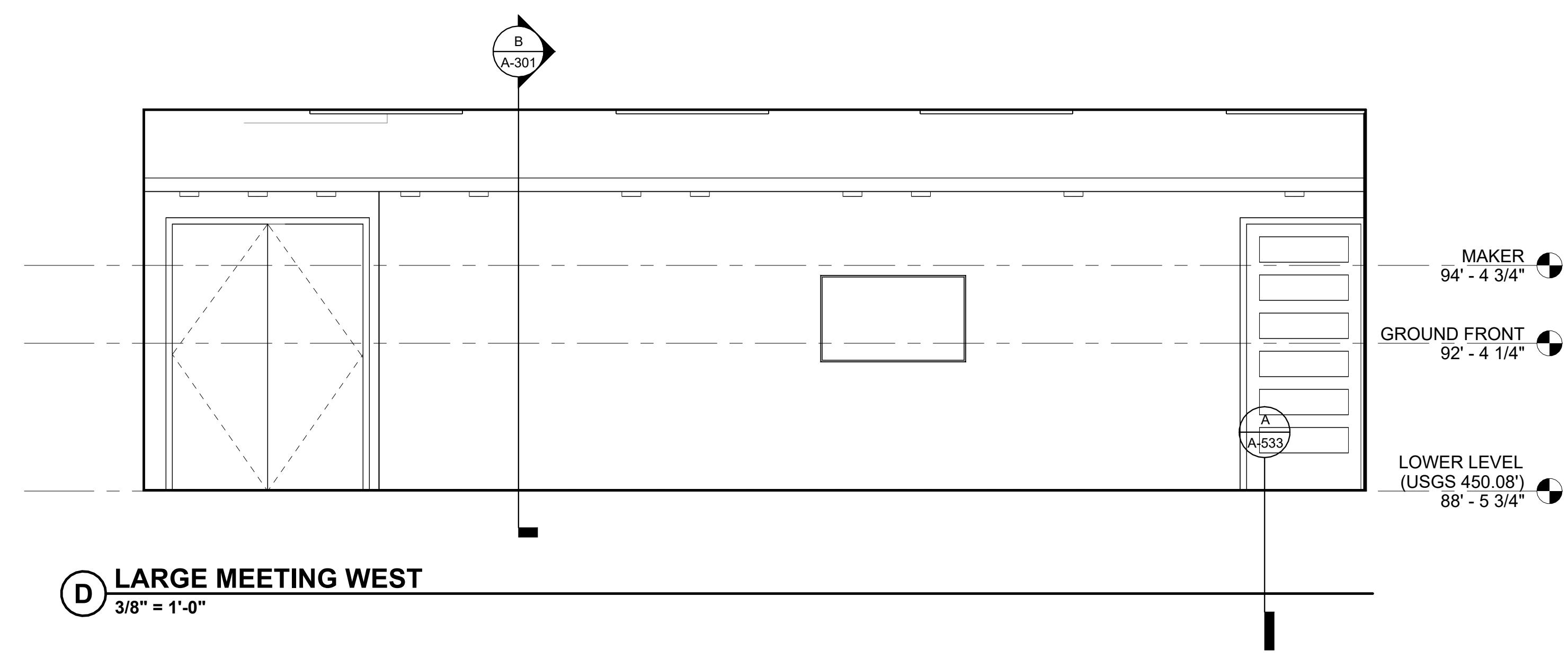
B LARGE MEETING SOUTH

3/8" = 1'-0"



C LARGE MEETING EAST

3/8" = 1'-0"



D LARGE MEETING WEST

3/8" = 1'-0"

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architects
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Louisville, Kentucky 40206
502.583.4697

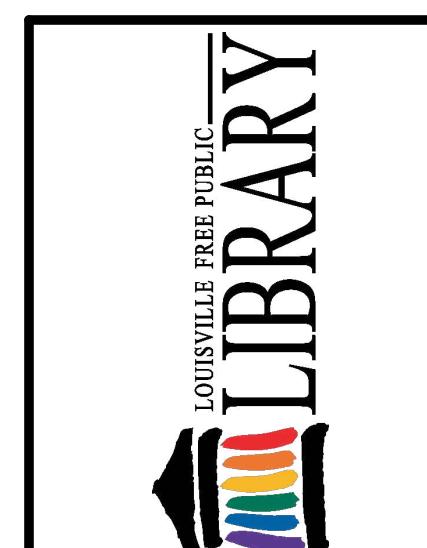
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INTERIOR ELEVATIONS

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23-COA-0051