



PARKLAND BRANCH

LOUISVILLE, KENTUCKY



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CERTIFICATE OF APPROPRIATENESS SUBMISSION

3/13/23

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STRUCTURAL ENGINEER
JQOL
8440 Allison Pointe Blvd Suite 425
Indianapolis, IN 46250
P: 317.661.1964

MECHANICAL / ELECTRICAL ENGINEER
PALADIN
121 Old Lafayette Ave.
Lexington, KY 40502
P: 859.695.3299

CIVIL ENGINEER
CIVIL DESIGN INC.
9400 Bunsen Pkwy Suite 150
Louisville, KY 40220
P: 217.342.2025

LANDSCAPE ARCHITECT
MKSK
607 W Main St. Suite 400
Louisville, KY 40202
P: 502.694.1416

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829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

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CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



GENERAL

PROJECT 2022-28
DATE 3/31/23

REVISIONS

No.	Description	Date

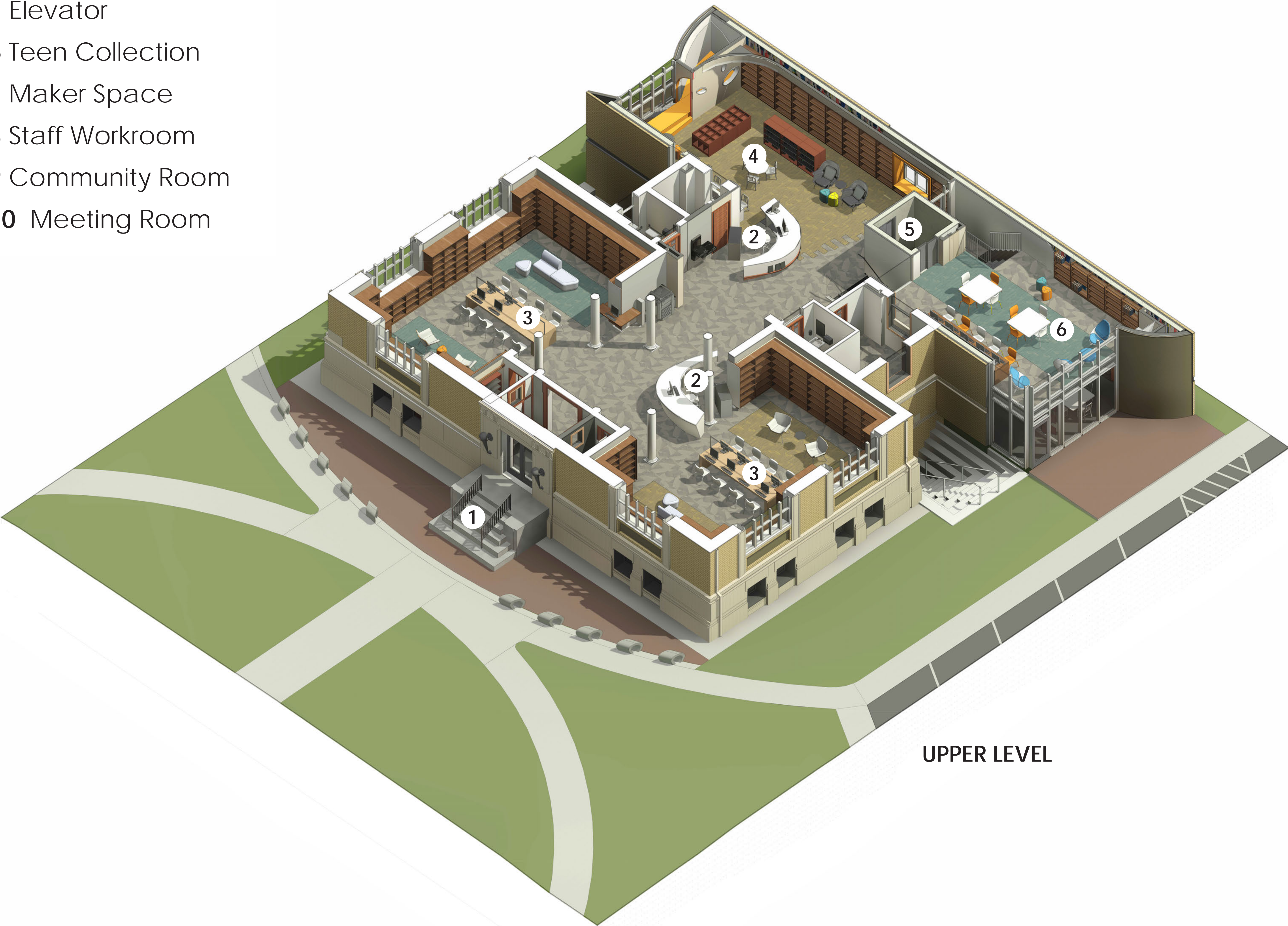
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COVER SHEET

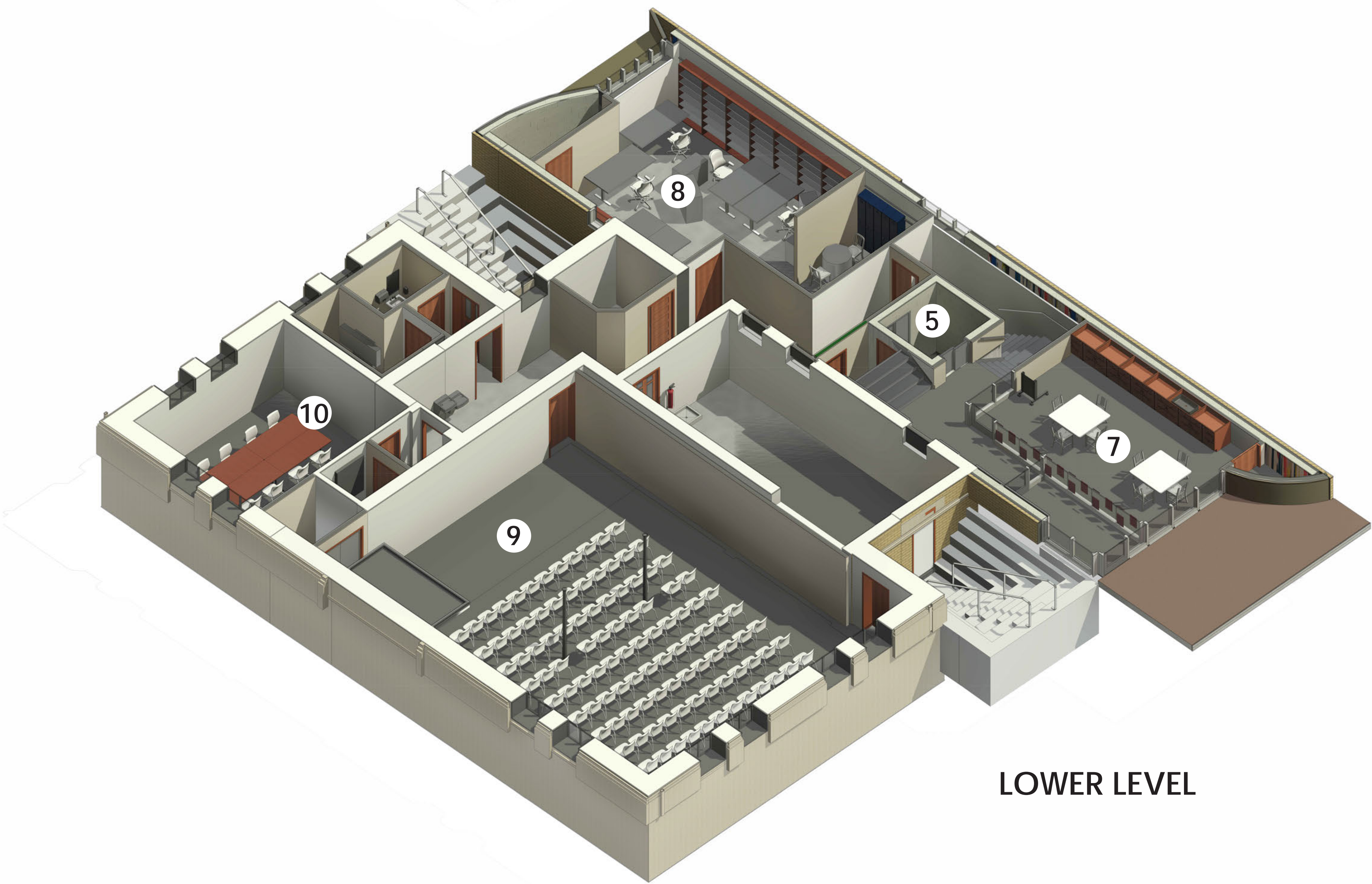
G-001

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- 1 Historic Entrance
- 2 Service Point
- 3 Adult Collection
- 4 Children's Collection
- 5 Elevator
- 6 Teen Collection
- 7 Maker Space
- 8 Staff Workroom
- 9 Community Room
- 10 Meeting Room



UPPER LEVEL



LOWER LEVEL



EXTERIOR IMAGE OF SOUTH PLAZA FROM VIRGINIA AVE



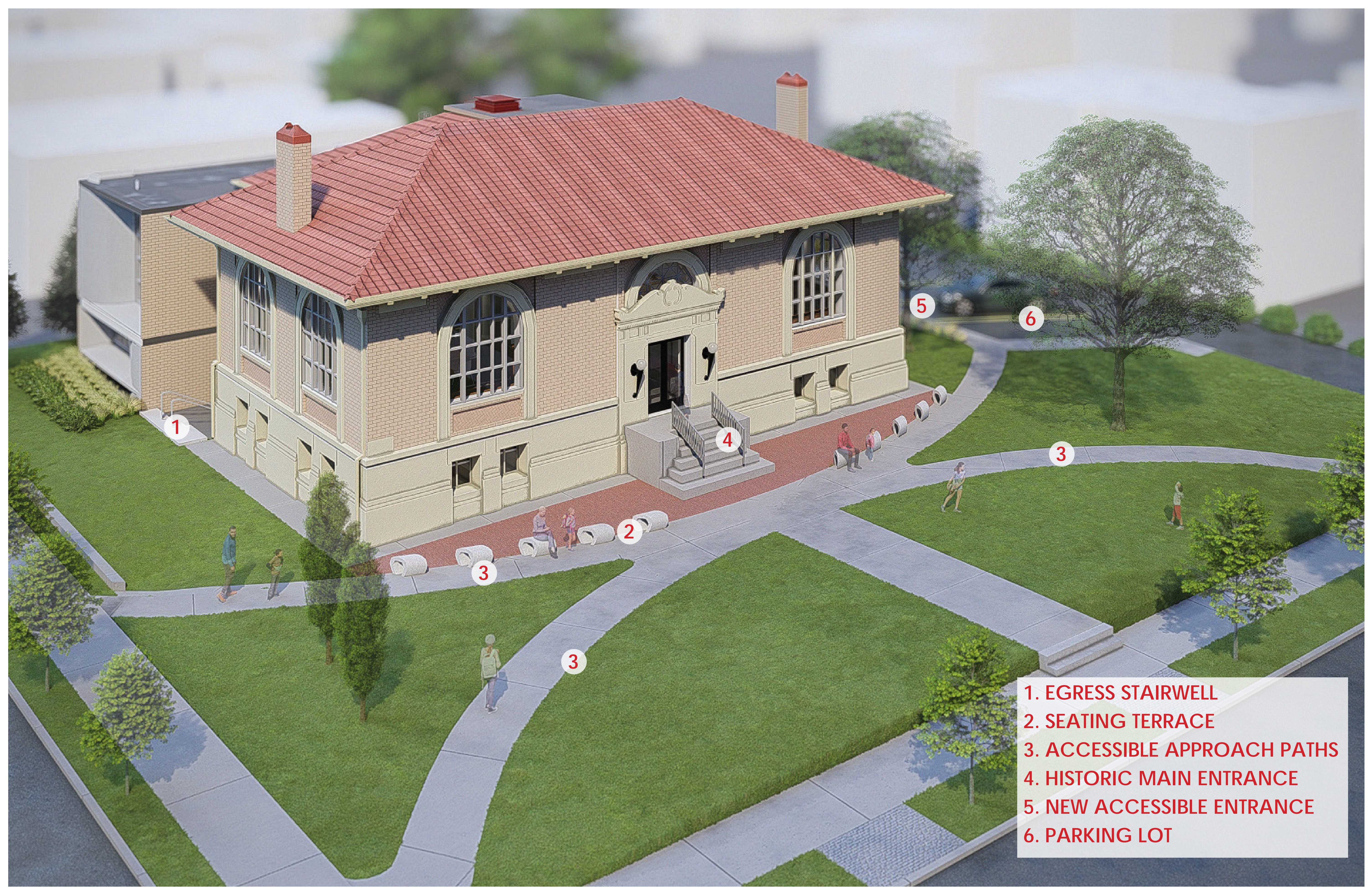
EXTERIOR IMAGE OF SOUTHWEST CORNER FROM S 28TH ST



EXTERIOR IMAGE OF WEST FACADE FROM S 28TH ST



BIRDS EYE VIEW OF SITE AND BUILDING CONDITIONS



- 1. EGRESS STAIRWELL
- 2. SEATING TERRACE
- 3. ACCESSIBLE APPROACH PATHS
- 4. HISTORIC MAIN ENTRANCE
- 5. NEW ACCESSIBLE ENTRANCE
- 6. PARKING LOT

PERSPECTIVE VIEW OF SITE AND BUILDING CONDITIONS



FIRST IMPRESSION VIEW INSIDE THE HISTORIC ENTRANCE



INTERIOR IMAGE OF ADULT COLLECTION



INTERIOR IMAGE OF CHILDREN'S COLLECTION



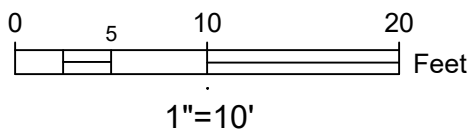
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GENERAL NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS, AND SERVICES REQUIRED TO COMPLETE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK; THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL CONSTRUCTION METHODS, MATERIALS AND WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH THE KENTUCKY TRANSPORTATION CABINET, DEPARTMENT OF HIGHWAYS' STANDARD SPECIFICATIONS AND SUPPLEMENTS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED. THE CURRENT KENTUCKY STANDARD DRAWINGS WILL ALSO APPLY UNLESS NOTED OTHERWISE ON THESE PLANS.
- CONSTRUCTION BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ALL CONSTRUCTION WORK WITHIN THE S. 28TH STREET AND VIRGINIA AVENUE RIGHT-OF-WAY PRIOR TO CONSTRUCTION APPROVAL.
- FORTY EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION A NOTICE SHALL BE GIVEN BY THE DEVELOPER OR CONTRACTOR TO METRO PUBLIC WORKS INSPECTOR FOR NECESSARY INSPECTION OF CONSTRUCTION WORK, SUBGRADE, SUBBASE, BASE, PAVEMENT, SURFACING, ROADWAY AND CURB REPAIRS AND SIDEWALKS. CALL THE INSPECTORS DIRECTLY OR THE MAIN PUBLIC WORKS TELEPHONE NUMBER 502-574-5810.
- THE DEVELOPER IS RESPONSIBLE FOR THE RELOCATION AND ADJUSTMENT OF ALL UTILITY INSTALLATIONS. SHOULD ANY EXISTING DRAINAGE STRUCTURES AND/OR UTILITIES WITHIN THE RIGHT OF WAY NEED TO BE RELOCATED, EXTENDED OR OTHERWISE ALTERED, IT WILL BE AT THE OWNER'S OR DEVELOPER'S EXPENSE.
- IF ANY UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION, EXTREME CAUTION SHALL BE EXERCISED AND THE UTILITY COMPANY NOTIFIED IMMEDIATELY. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY AT THE DIRECTION OF UTILITY COMPANY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL FEDERAL, STATE AND LOCAL PERMITS NECESSARY TO PERFORM AND COMPLETE THE PROJECT AS SHOWN ON THESE PLANS.
- CONSTRUCTION STAKING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ADDITIONAL INFORMATION FOR STAKING THE PROJECTS LINES AND GRADES WILL BE PROVIDED IN AUTOCAD DRAWING FILE FORMAT UPON REQUEST.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE UTILITY COMPANIES SUCH THAT ACCESS TO WORK AREAS OR SCHEDULE CONFLICTS DO NOT INTERRUPT OR DELAY THE PROJECT SCHEDULE.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION, NOTIFY THE ENGINEER OF CONFLICTS OR DISCREPANCIES FOUND, AND TO COORDINATE ALL UTILITY RELOCATES, CONNECTS, AND DISCONNECTS WITH THE APPROPRIATE UTILITY COMPANY.
- COORDINATE BUILDING DIMENSIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS WHICH TAKE PRECEDENCE OVER CIVIL DRAWINGS.
- ALL EXISTING PLANT MATERIALS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF RESTORING/REPLACING DAMAGED PLANT MATERIALS.
- CONTRACTOR SHALL KEEP ALL SURROUNDING PUBLIC ROADWAYS, PEDESTRIAN WAYS AND DRAINAGE SYSTEMS FREE FROM DIRT, MUD AND CONSTRUCTION DEBRIS AT ALL TIMES.
- SANITARY SEWERS ARE AVAILABLE BY EXISTING PSC.

DEMOLITION NOTES:

- REMOVE ALL PAVEMENT, CURBS, BUILDINGS, UTILITIES, ETC. REQUIRED FOR THE CONSTRUCTION OF THE FACILITIES SHOWN IN THIS PLAN SET WHETHER SHOWN ON THIS SHEET OR NOT.
- REMOVE PAVEMENT AND BASE TO THE PROPOSED SUBGRADE ELEVATION.
- ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROVED WASTE DISPOSAL SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES ASSOCIATED WITH DISPOSAL OF WASTE MATERIALS.
- COORDINATE WITH THE APPLICABLE UTILITY COMPANIES ON THE DISCONNECT, REMOVAL, ABANDONMENT, AND/OR RELOCATION OF EXISTING UTILITY SERVICE LINES ON THE SITE.
- ALL UTILITY LINES TO BE ABANDONED IN PLACE, AND ANY OTHER PIPING, CONDUITS, ETC. ENCOUNTERED SHALL BE REMOVED TO A POINT 18" BELOW THE PROPOSED GRADE AND PLUGGED.
- THE CONTRACTOR SHALL MAKE ALL PROVISIONS TO ASSURE ALL UTILITY MANHOLES, LIDS, VALVES, ETC. (LOCATED HEREON OR NOT) ARE PROPERLY ADJUSTED TO THE GRADES ESTABLISHED BY THIS PROJECT.
- FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL EXPLORATION REPORT.



JRA
architects

829 East Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

9400 Bursen Parkway, Suite 150
Louisville, KY 40220
502.671.0060

CPI

CIVIL DESIGN, INC.
WEB: JDBE
WWW.CIVILDESIGNINC.COM

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REVISIONS	

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REFERENCE
SURVEY
GENERAL
NOTES

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EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATION TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM THE CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02-03.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

DUST CONTROL MEASURES, SUCH AS WATERING OF BARE SOIL AREAS, SHALL BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT TO MINIMIZE FUGITIVE DUST.

CONSTRUCTION SEQUENCE & MAINTENANCE SCHEDULE

- CONTACT MSD INSPECTOR FOR A PRECONSTRUCTION MEETING PRIOR TO INSTALLING ANY EROSION CONTROLS.
- INSTALL SILT FENCE PER M.S.D. DWG. EF-09-02.
- INSTALL SILT SOCK.
- CONSTRUCT ALL SITE IMPROVEMENTS.
- INSTALL PLANNED SURFACE STABILIZATIONS AS AREAS OF WORK ARE COMPLETED.
- EPSC CONTROLS ARE TO BE INSPECTED EVERY SEVEN (7) DAYS AND AFTER EVERY 1/2" OR MORE RAINFALL EVENT.
- ALL SEDIMENT CONTROL STRUCTURES SHALL BE CLEANED WHEN DEPOSITED SEDIMENT REACHES 1/2 THE HEIGHT OF THE STRUCTURE.
- CARE SHOULD BE TAKEN NOT TO DAMAGE SEDIMENT CONTROL STRUCTURES WHEN REMOVING DEPOSITED SEDIMENT. REPAIR AND/OR REMOVE AND REPLACE ANY DAMAGED SEDIMENT CONTROL STRUCTURE AS SOON AS PRACTICAL.
- ONCE SITE STABILIZATION IS ACHIEVED, REMOVE ALL EROSION CONTROL MEASURES AND DISPOSE OF IN AN APPROVED WASTE DISPOSAL SITE.

SITE DEMOLITION KEYNOTES:

- REMOVE ASPHALT PAVEMENT.
- REMOVE SIDEWALK AND CURB (INCLUDING 3"x3" CURB AT BUILDING WALL).
- SAW CUT AND REMOVE SIDEWALK.
- REMOVE CONCRETE WALL.
- RELOCATE CONDENSING UNITS. COORDINATE WITH MEP.
- REMOVE SIGN.
- REMOVE TREE. COORDINATE WITH ADJACENT PROPERTY OWNER FOR TREE REMOVAL ALONG NORTH PROPERTY LINE.
- REMOVE STORM STRUCTURES AND PIPING.
- MODIFY EXISTING DOWNSPOUTS TO DRAIN ON NEW ROOF ADDITION. SEE ARCHITECTURAL PLANS.
- REMOVE/RELOCATE OVERHEAD UTILITY LINES. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR DISCONNECT AND REMOVAL.
- REMOVE "HISTORIC" FENCE POST AND DISPOSE OF AS DIRECTED BY OWNER.

STRUCTURE DEMOLITION NOTE

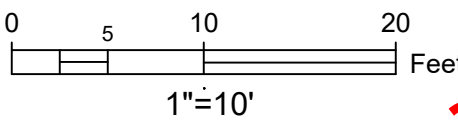
SEE ARCHITECTURAL / STRUCTURAL PLANS FOR STRUCTURE DEMOLITION (I.E. RAMPS, STAIRS, PORCHES, WALLS, ETC.)

LEGEND

- CONCRETE SIDEWALK TO BE REMOVED
- ASPHALT PAVEMENT TO BE REMOVED
- SF SILT FENCE
- SS SILT SOCK
- SURFACE RUNOFF FLOW ARROW

UTILITY PROTECTION NOTE:

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-8007 OR LOCAL NO. 502-268-6123) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS & WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS & SPECIAL PROVISIONS.



JRA
architects
829 East Market Street, Suite 8
Louisville, Kentucky 40206
502.583.4697

9400 Bursen Parkway, Suite 150
Louisville, KY 40220
502.671.0060
CIVIL DESIGN, INC.
WEB: www.civildesigninc.com
www.civildesigninc.com

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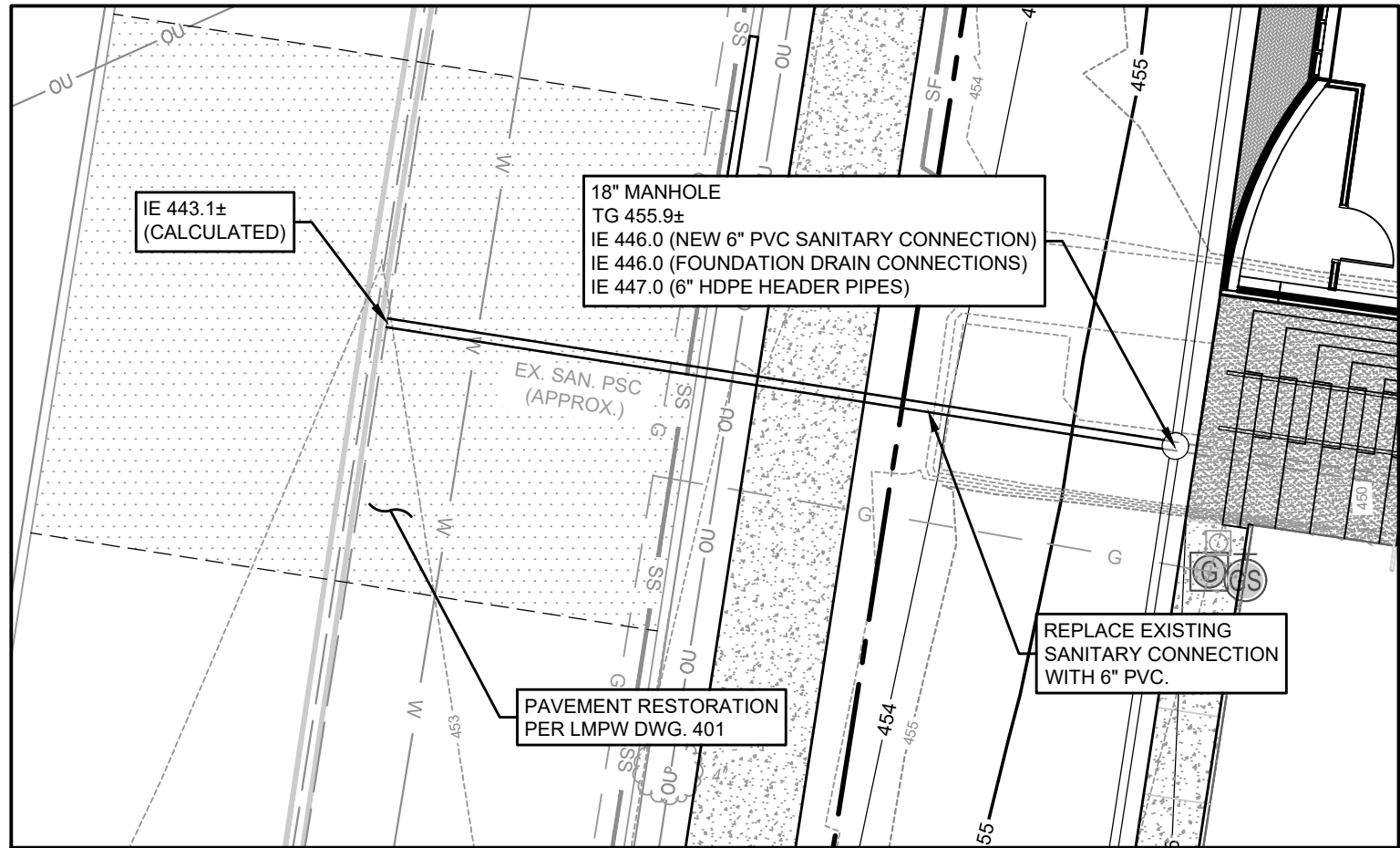
DEMOLITION AND E.P.S.C. PLAN

C-200

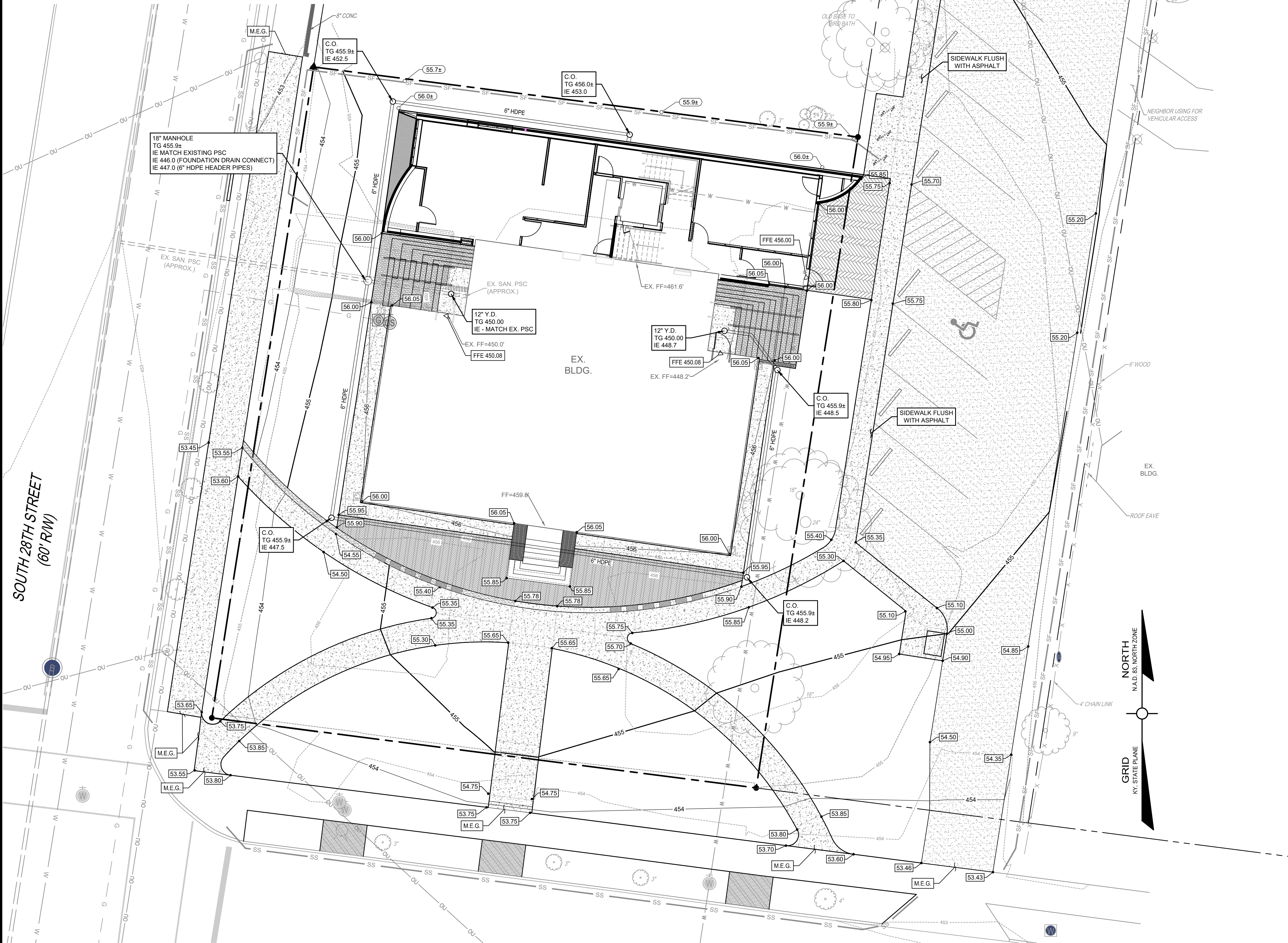
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ALTERNATE 1



SITE GRADING NOTES:

- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE METROPOLITAN SEWER DISTRICT'S STANDARD SPECIFICATIONS AND DRAWINGS UNLESS SHOWN OTHERWISE.
- DITCHES AND SWALES SHALL BE SODDED/REINFORCED TO A MINIMUM FLOW DEPTH OF 12" UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL SLOPE ALL FINISH GRADES TO PROVIDE POSITIVE DRAINAGE. FLAT AND/OR PONDING AREAS WILL NOT BE ACCEPTED IN THE FINISHED WORK.
- SEE SHEETS L-300 AND L-400 FOR SOIL INSTALLATION IN AREAS NOT RECEIVING HARD SURFACES.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT'S GEOTECHNICAL REPORT PREPARED BY TERRACON. RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS. PROOFROLLING OF THE SITE WILL BE REQUIRED PRIOR TO PLACING ANY FILL MATERIAL. FINAL PROOFROLLING WILL BE REQUIRED OF THE SUBGRADE PRIOR TO PLACING ANY PAVEMENT MATERIALS.
- ALL DISTURBED AREAS SHALL BE SEEDED AND PROTECTED IN ACCORDANCE WITH MSD STANDARD SPECIFICATIONS, SECTION 11.

STORMWATER NOTES:

EXISTING IMPERVIOUS SURFACE	11,159 SQ. FT.
PROPOSED IMPERVIOUS SURFACE	14,231 SQ. FT.
TOTAL AREA OF DISTURBANCE	17,780 SQ. FT.
TOTAL AREA OF SITE	22,006 SQ. FT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE METROPOLITAN SEWER DISTRICT'S WATERSHED COORDINATOR AT 1-502-540-6220, 48 HOURS PRIOR TO START OF CONSTRUCTION TO SCHEDULE INSPECTION.

MSD NOTE:

MSD DOES NOT WARRANT THE DESIGN OR COMPUTATIONS CONTAINED IN THIS PLAN. THE CORRECTNESS OR ACCURACY OF ALL ENGINEERING COMPUTATIONS REMAIN THE SOLE RESPONSIBILITY OF THE APPLICANT'S DESIGN PROFESSIONAL. MSD'S APPROVAL TO PROCEED WITH CONSTRUCTION IS BASED SOLELY ON THAT DESIGN PROFESSIONAL'S SEAL AND SIGNATURE.

REGIONAL FACILITY FEE NOTE:

THIS SITE IS SUBJECT TO REGIONAL FACILITY FEE (RFF). RFF SHALL BE PAID PRIOR TO CONSTRUCTION PLANS APPROVAL.

REGIONAL FACILITY FEE CALCULATION:

LFPL SITE
CHANGE IN RUNOFF COEFFICIENT, $C = 0.66 - 0.57 = 0.09$
INCREASED RUNOFF, $X = 0.09 \times 2.8 \times 0.28/12 = 0.006$ acre-feet
UNIT COST, $\$CF = 0.85$ \$CF.
 $RFF = 0.006 \times 43,560 \times 0.85 = \222.16

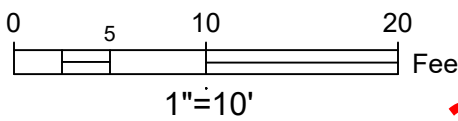
ADJACENT SITE (PARKING LOT)
CHANGE IN RUNOFF COEFFICIENT, $C = 0.69 - 0.57 = 0.12$
INCREASED RUNOFF, $X = 0.12 \times 2.8 \times 0.23/12 = 0.006$ acre-feet
UNIT COST, $\$CF = 0.85$ \$CF.
 $RFF = 0.006 \times 43,560 \times 0.85 = \222.16

LEGEND

450	PROPOSED CONTOUR
55.25	PROPOSED CONCRETE / ASPHALT SPOT ELEVATION
450.5±	PROPOSED GROUND SPOT ELEVATION

UTILITY PROTECTION NOTE:

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architects
829 East Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

9400 Bursen Parkway, Suite 150
Louisville, KY 40220
502.671.0060
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PROJECT	2022-70
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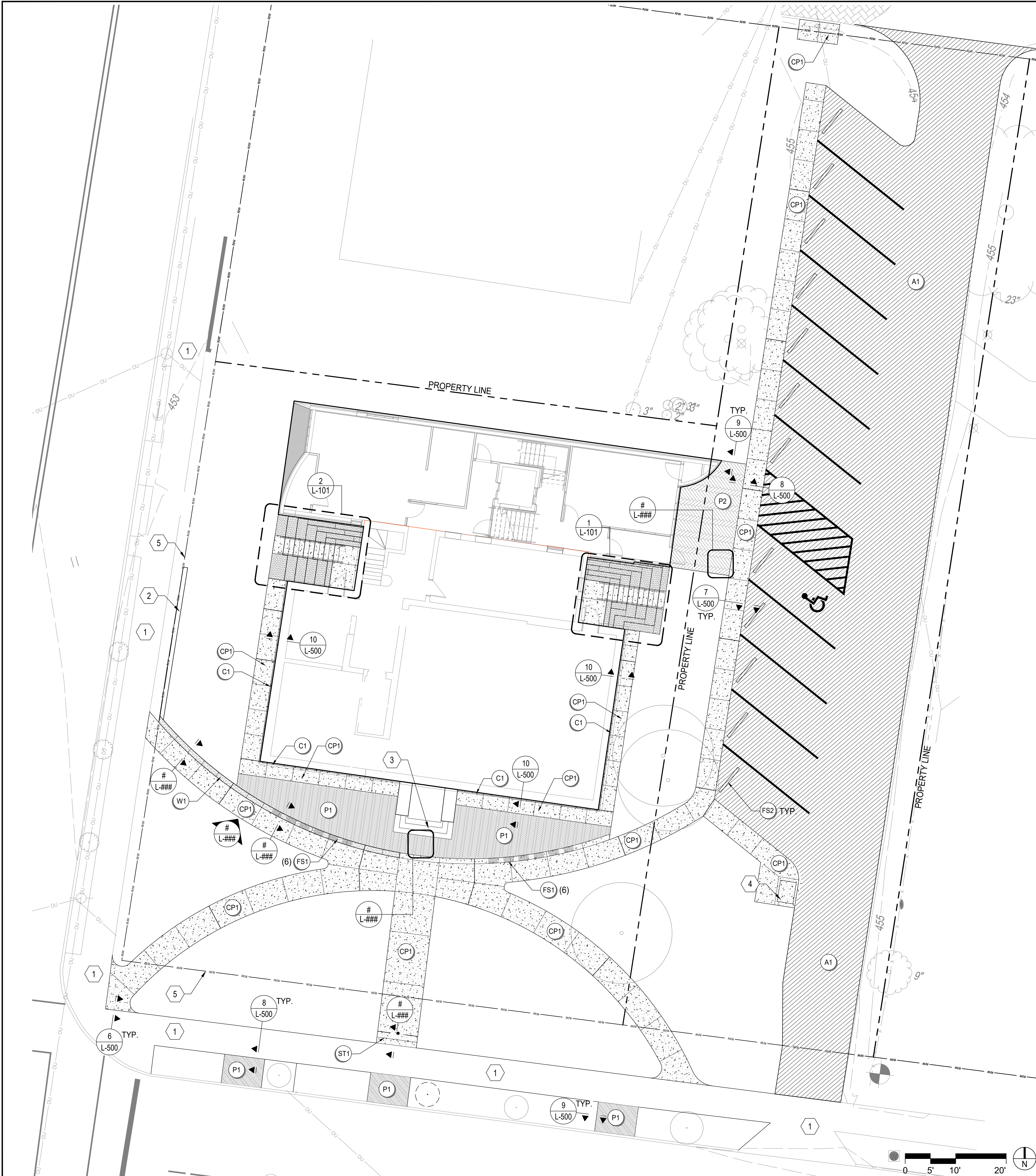
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SITE
GRADING
PLAN

C-400

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23-COA-0051



MATERIALS SCHEDULE			
ITEM	SYM	DETAIL	SPECIFICATION
CURBS			
INTEGRAL CONCRETE CURB	C1	10 / L-500	32 13 13
PAVING			
ASPHALT PAVING	A1	PER CIVIL	
CONCRETE PAVING	CP1	1 / L-500	32 13 13
PAVERS - TYPE 1	P1	2 / L-500	32 14 00
PAVERS - TYPE 2	P2	2 / L-500	32 14 00
FURNISHINGS			
CUSTOM BENCH	FS1		
WHEEL STOP	FS2	PER CIVIL	
RAILINGS			
HANDRAIL	RG1	1 / L-501	
STAIRS			
CONCRETE STAIRS	ST1	1 / L-501	32 13 13
WALLS			
CONCRETE RETAINING WALL	W1		32 13 13
CONCRETE STADIUM STEPS	W2	3 / L-502	32 13 13

- CODING NOTES**
- 1 EXISTING CONCRETE WALK TO BE REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - 2 SECTION OF EXISTING CONCRETE WALL TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - 3 EXISTING STAIRS AND CHEEKWALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - 4 PROPOSED BOOK-DROP BOX
 - 5 RIGHT-OF-WAY BOUNDARY



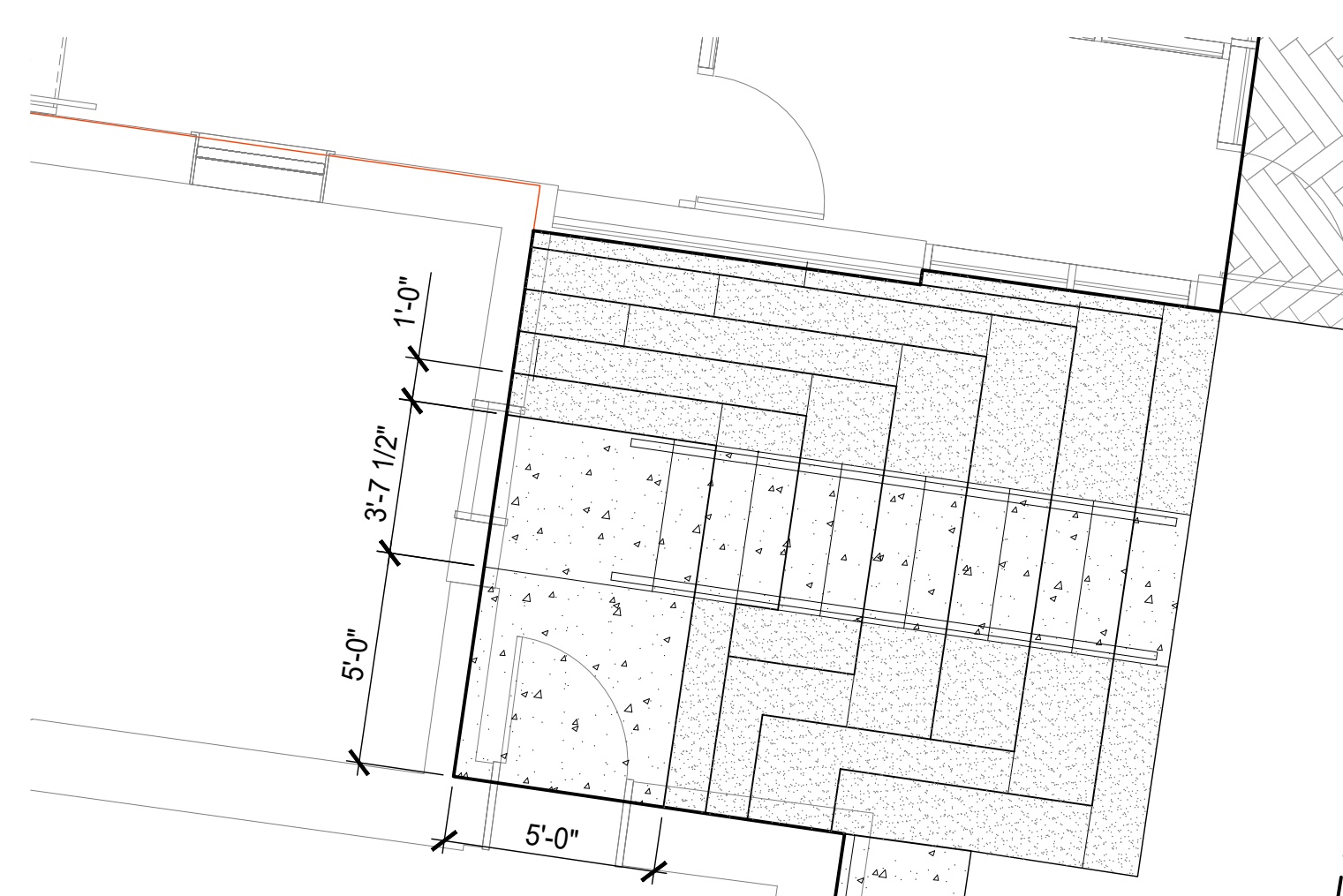
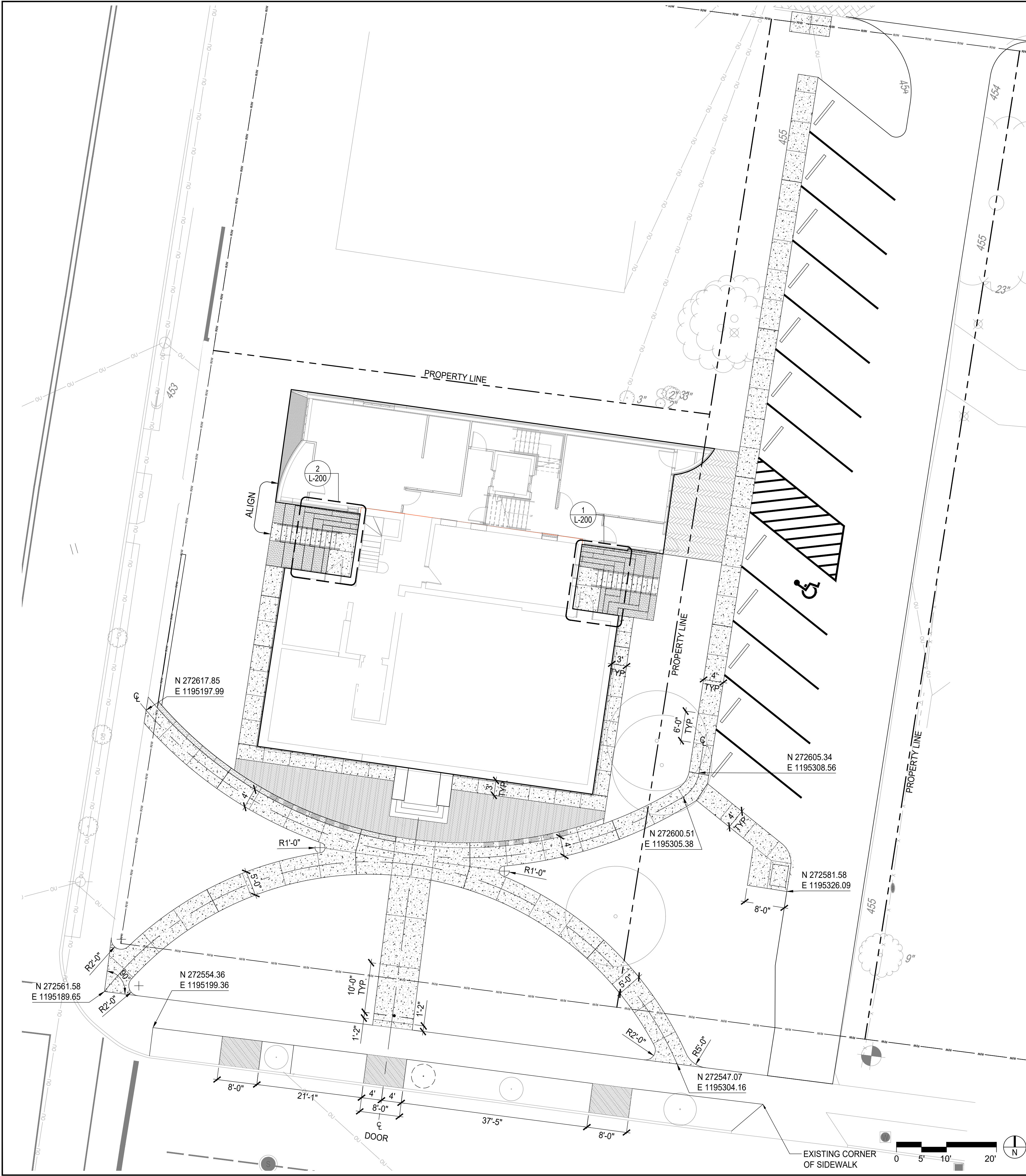
1 EAST STAIRWELL ENLARGEMENT



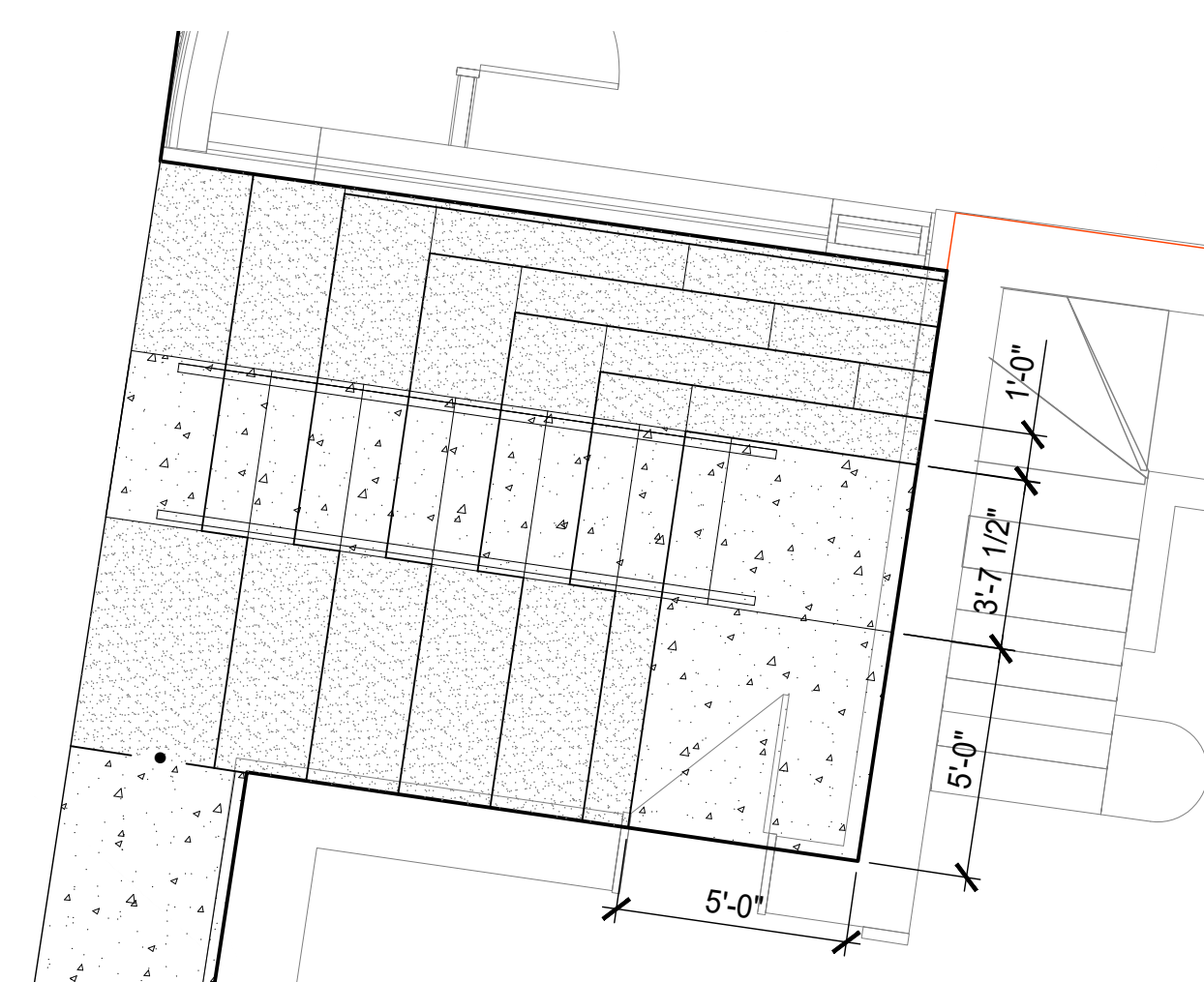
2 WEST STAIRWELL ENLARGEMENT

LANDSCAPE	
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1 EAST STAIRWELL ENLARGEMENT



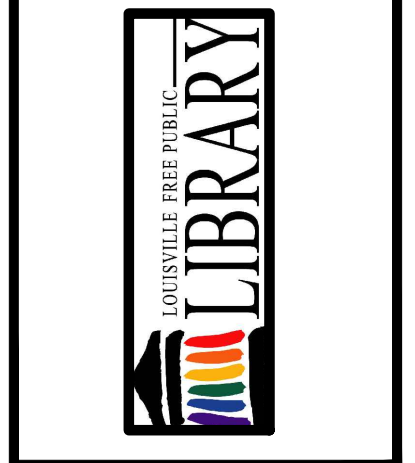
2 WEST STAIRWELL ENLARGEMENT

CODED NOTES

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LAYOUT NOTES

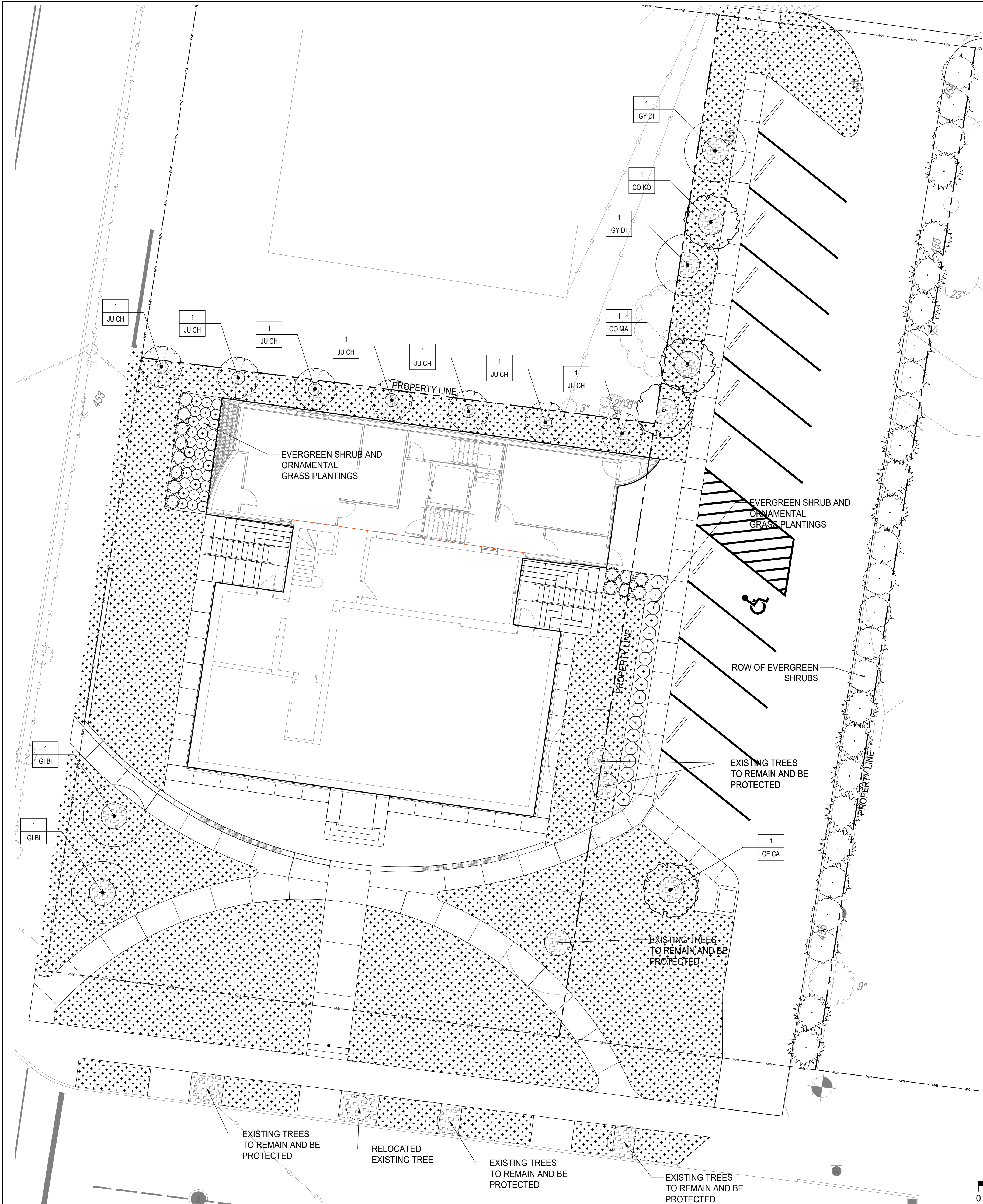
1. REFER GENERAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL INSTRUCTIONS.
2. FIELD STAKING AND LAYOUT TO BE PERFORMED BY A REGISTERED SURVEYOR. LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
3. IN THE EVENT THAT DISCREPANCIES ARISE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
4. UNLESS NOTED OTHERWISE, DIMENSIONS SHOWN ARE IN FEET AND INCHES AND TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB.
5. RADII OF EXISTING CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. MAKE ALL MODIFICATIONS NECESSARY TO ASSURE NEW CURBS MEET, FLUSH, EVEN AND ON TANGENT TO EXISTING CURB.
6. WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE SMOOTH CONTINUOUS CURVES AND ABUTT AT 90 DEGREE ANGLES UNLESS OTHERWISE INDICATED.
7. CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.
8. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING OR PROPOSED).
9. PROVIDE FLUSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
10. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.



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PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	CONDITION	NOTES
ORNAMENTAL TREES						
CE CA	CERCIS CANADENSIS VAR. ALBA	WHITE EASTERN REDBUD	2" CAL.	AS SHOWN	B&B	MULTI-STEM
CO KO	CORNUS KOUSA 'KN30-8'	VENUS DOGWOOD	2" CAL.	AS SHOWN	B&B	MULTI-STEM
CO MA	CORNUS MAS 'GOLDEN GLORY'	CORNELIAN CHERRY DOGWOOD	6' TALL	AS SHOWN	B&B	MULTI-STEM, SPECIMEN
DECIDUOUS TREES						
GI BI	GINGKO BILOBA 'PRINCETON CENTRY'	COLUMNAR GINGKO TREE	3" CAL.	AS SHOWN	B&B	
GY DI	GYMNOCLADUS DIOICUS 'ESPRESSO/JFS'	ESPRESSO KENTUCKY COFFEETREE	4" CAL.	AS SHOWN	B&B	
EVERGREEN TREES						
JU CH	JUNIPERUS CHINENSIS 'KETELEERI'	CHINESE JUNIPER	8-9' TALL	AS SHOWN	B&B	

PLANTING NOTES

1. SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. SUBSTITUTIONS FOR PLANT MATERIALS WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

2. PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.

3. PROTECT PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.

4. PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.

5. VERIFY PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.

6. STAKE BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.

7. REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.

8. ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
9. PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.

10. TEST FILL EACH TREE AND PLANTING PIT WITH WATER, PRIOR TO PLANTING TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER SCARIFIED ALONG OUTER EDGES AND SIDES OF PIT. DO NOT DISTURB AREA SUPPORTING TREE BALL. REPEAT TEST. ALLOWANCES WILL NOT BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE.

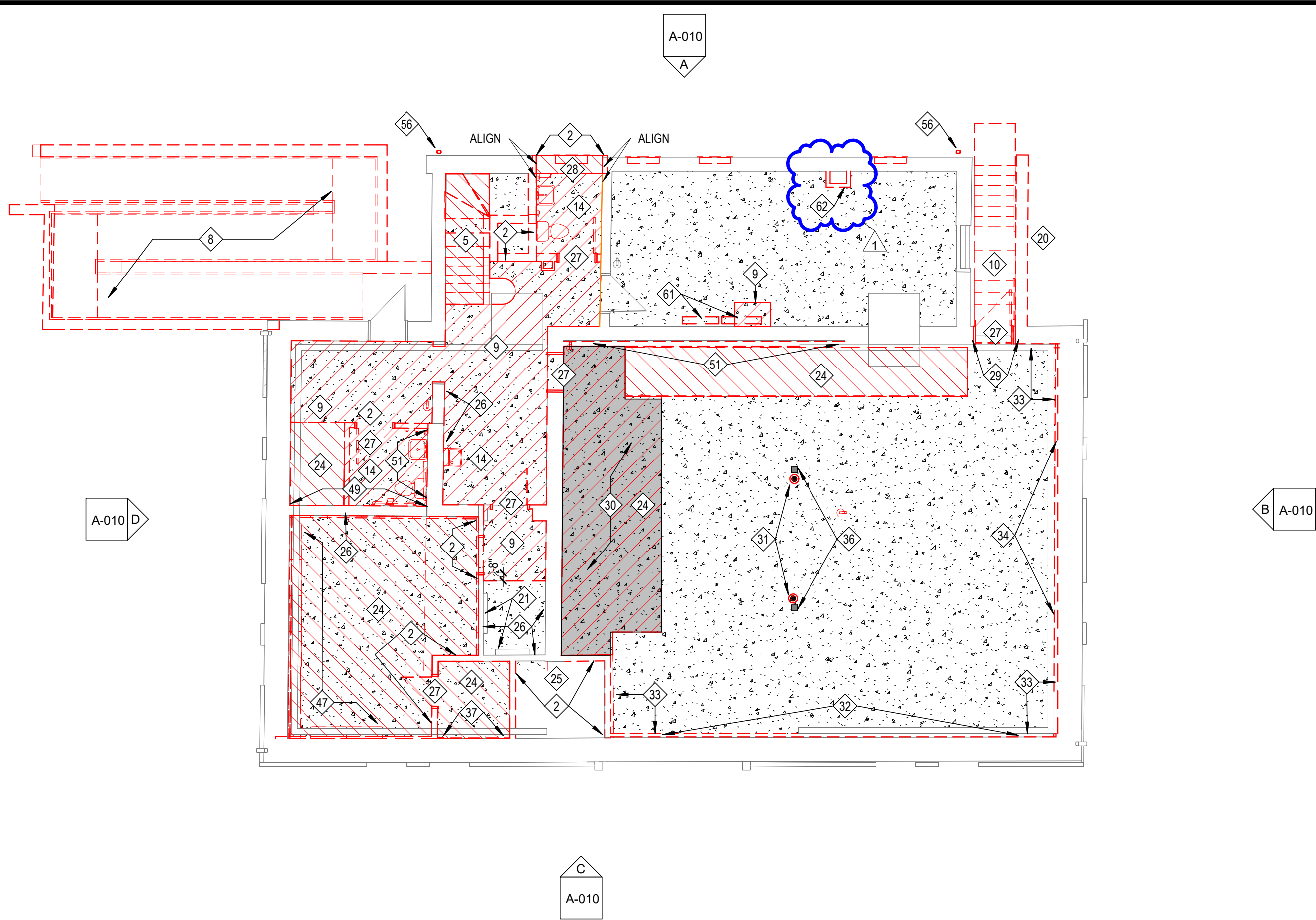
11. PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT.

12. REMOVE PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.

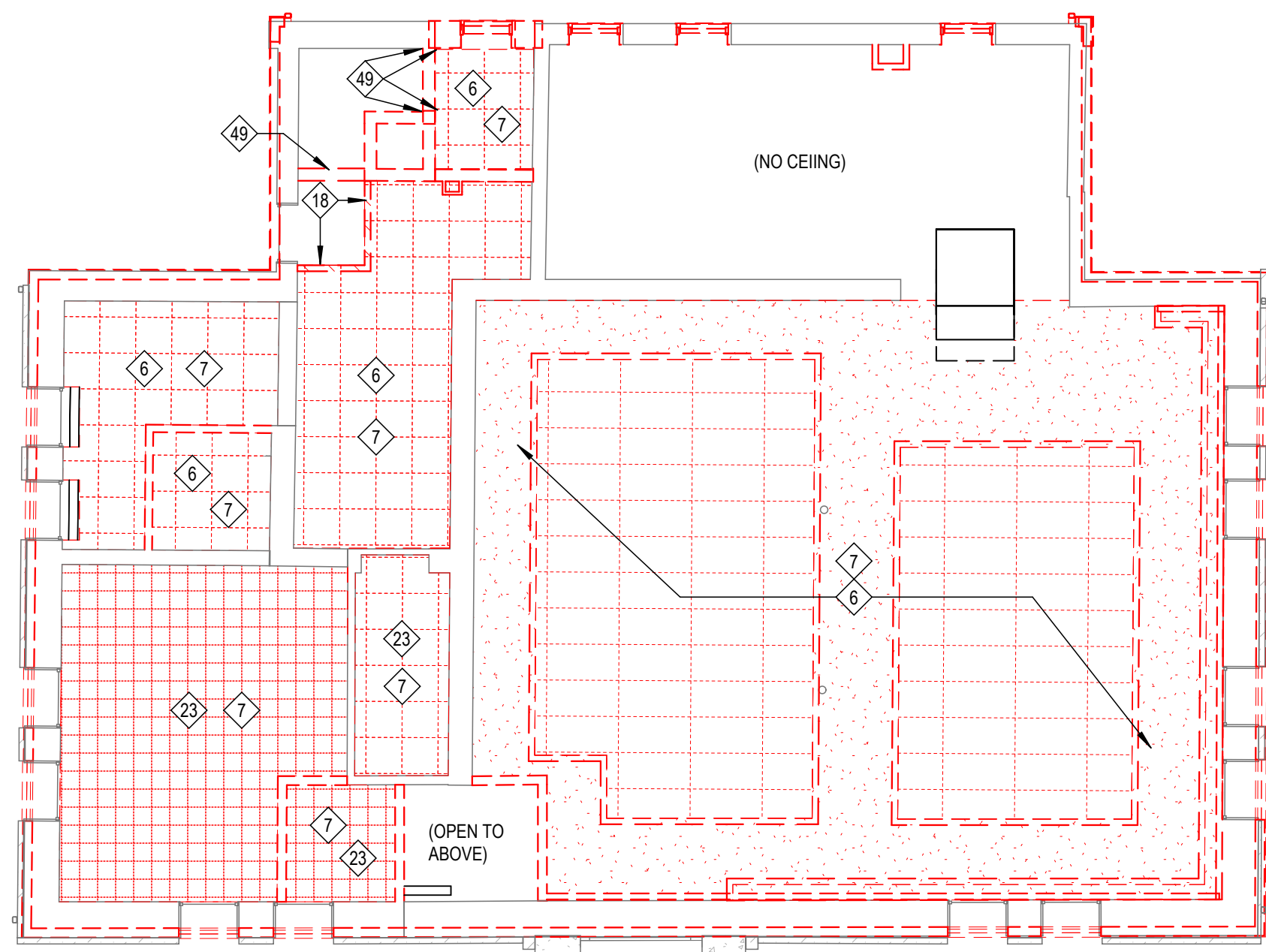
13. PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION AND MAINTAINED WEED FREE THROUGH FINAL ACCEPTANCE.

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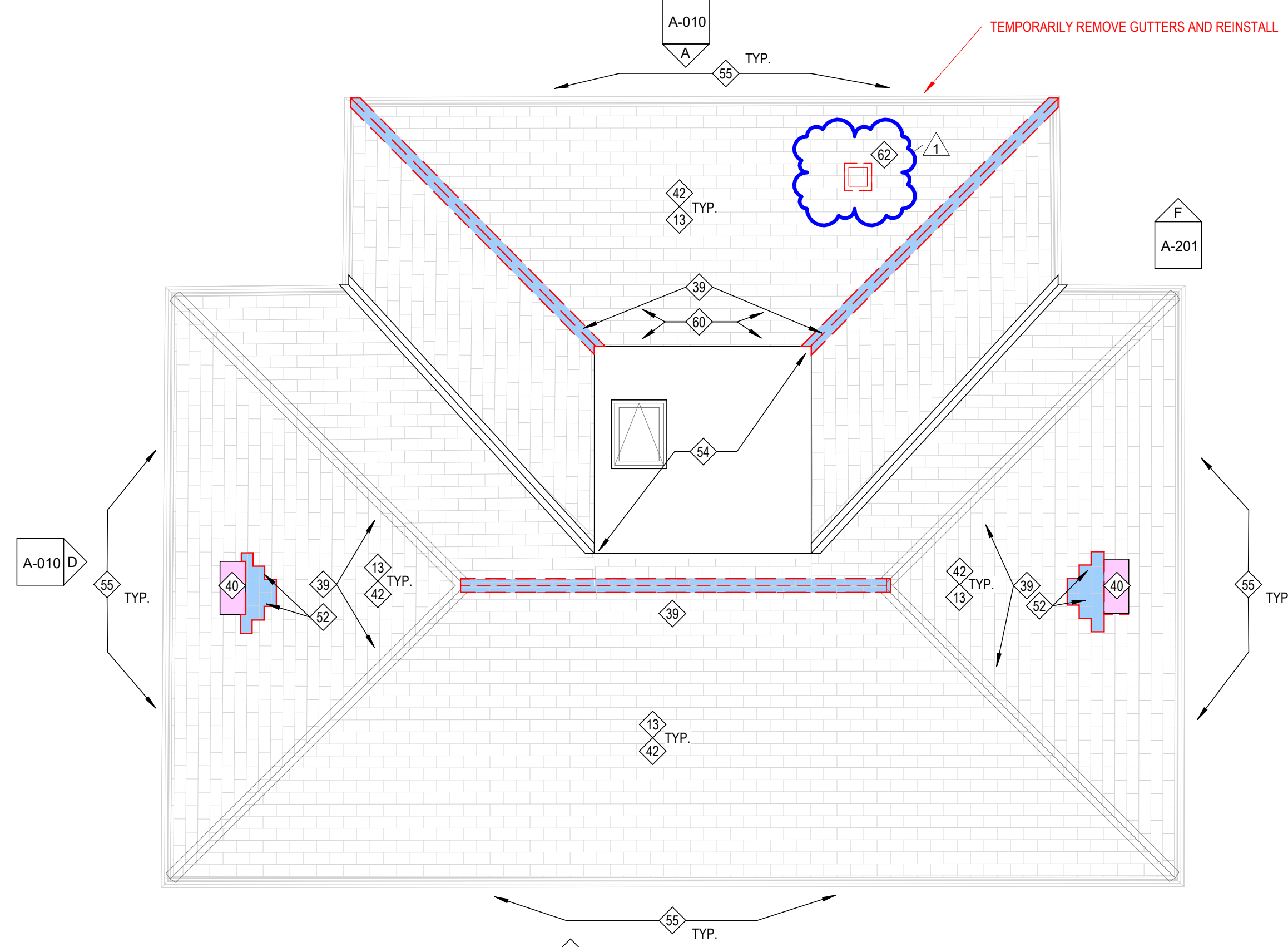
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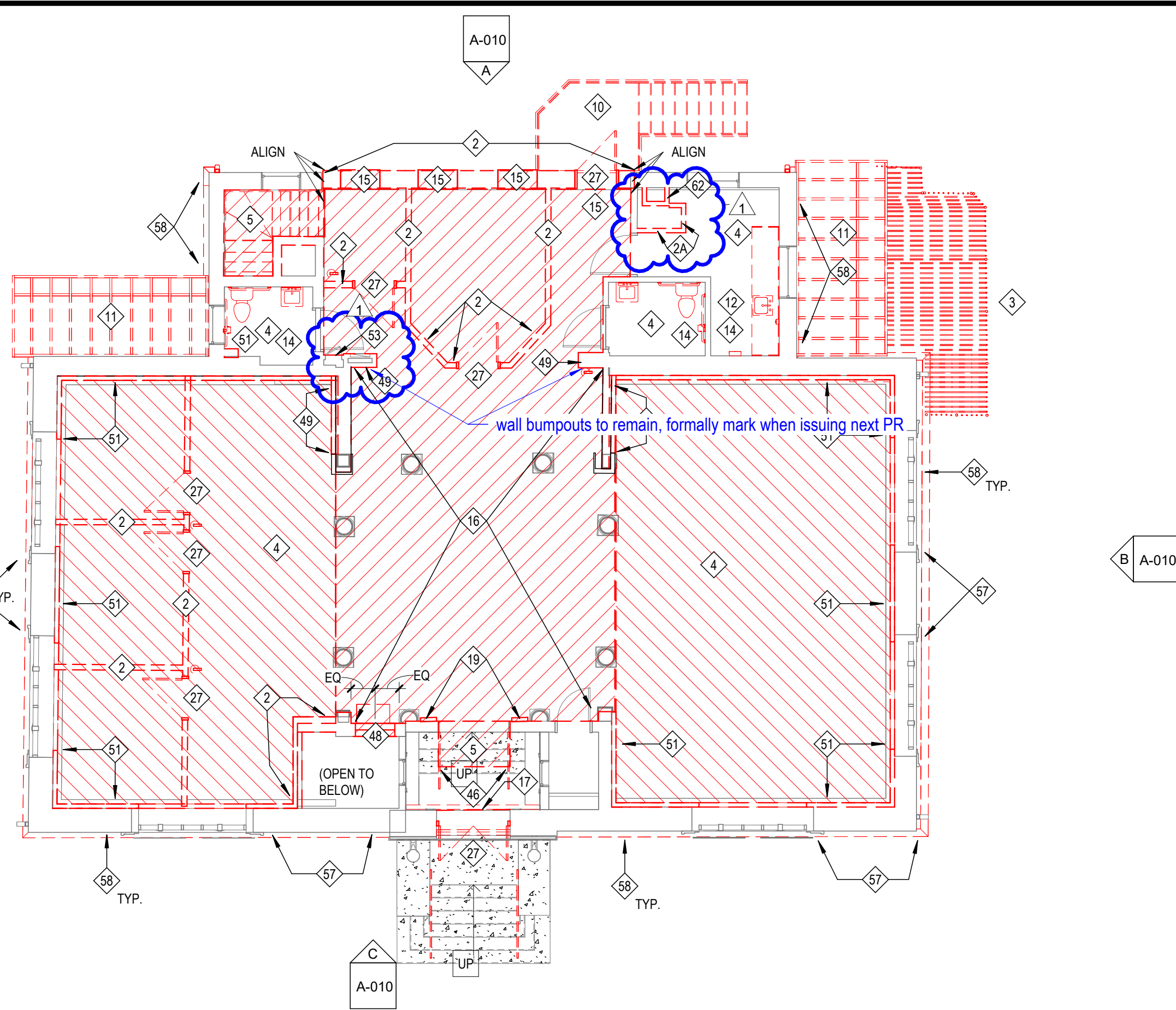
A BASEMENT DEMOLITION PLAN
1/8" = 1'-0"



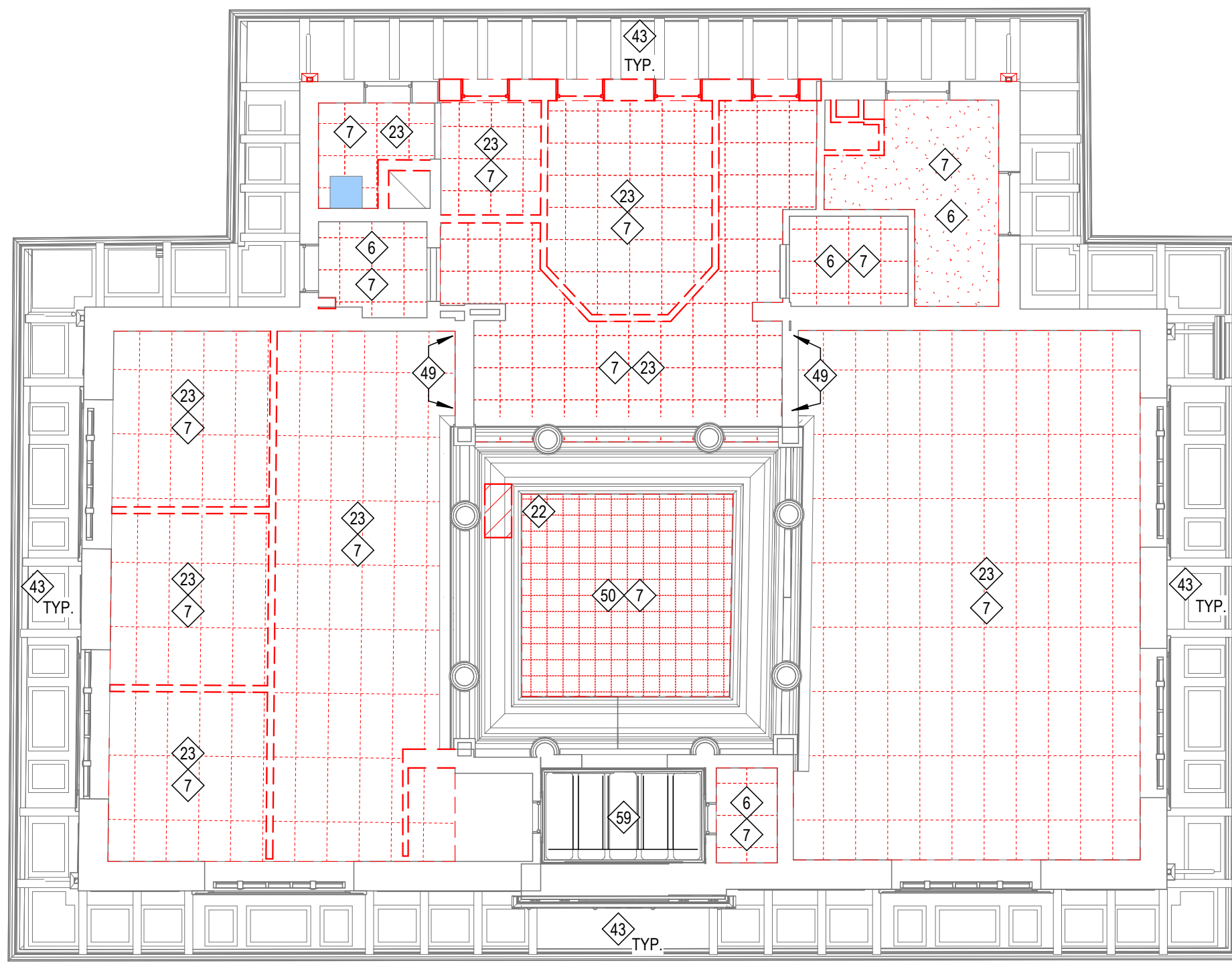
C BASEMENT DEMOLITION REFLECTED CEILING PLAN
1/8" = 1'-0"



E ROOF DEMOLITION PLAN
1/8" = 1'-0"



B FIRST FLOOR PLAN DEMO PLAN
1/8" = 1'-0"



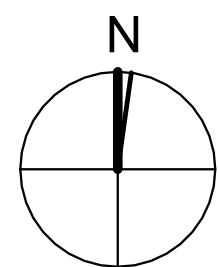
D FIRST FLOOR REFLECTED CEILING PLAN DEMO
1/8" = 1'-0"

- DEMOLITION KEYNOTES**
- DEMOLISH DRYWALL, CEILINGS AND ACT CEILINGS IN THEIR ENTIRETY. INCLUDING WIRES AND SUPPORT FRAMING. INTACT PORTIONS OF PLASTER CEILING TO REMAIN.
 - DEMOLISH WALL TO EXTENTS INDICATED. DEMOLISH ELECTRICAL ROUGH INS. & REMOVE WIRING BACK TO PANEL.
 - DEMOLISH EXISTING PROTECTIVE CASE & FOUNDATIONS. SALVAGE EXISTING MECHANICAL UNITS. PERFORM MANUFACTURE RECOMMENDED CLEANING & ROUTINE SERVICE DURING REINSTALLATION.
 - REMOVE FLOORING & SUBSTRATES DOWN TO ORIGINAL WOOD SUBFLOOR.
 - REMOVE EXISTING RUBBER TREADS AND RISERS. PREP EXISTING WOOD STAIRS FOR NEW PAINT.
 - REMOVE CEILING AND BULKHEAD, COMPLETE.
 - TEMPORARILY SUPPORT, EXISTING LIGHTING TO REMAIN AFTER CEILING DEMOLITION.
 - DEMOLISH EXISTING RAMP, STEM WALLS, FOUNDATIONS AND HAND RAIL, COMPLETE.
 - REMOVE EXISTING FLOOR SLAB. EXCAVATE EXISTING GRADE AS NEEDED TO PREPARE FOR NEW GRANULAR FILL & FLOOR SLAB.
 - DEMOLISH EXISTING STAIR, RETAINING WALLS, RAILINGS, TRENCH DRAIN, AND FOUNDATIONS. PROTECT STORM PIPING FOR CONNECTION TO NEW DRAIN. EXCAVATE FOR NEW EXTERIOR STAIRWELL.
 - DEMOLISH EXISTING ROOF CANOPY, SUPPORT STRUCTURE, AND FLASHING. REMOVE ALL SEALANT & REPAIR MORTAR TO MATCH ADJACENT.
 - DEMOLISH MILLWORK AND SALVAGE APPLIANCES TO BE RETURNED TO OWNER. CAP PLUMBING BELOW FLOOR.
 - REMOVE EXISTING DAMAGED TILES. CLEAN ALL ROOF TILES, AND PREP ROOF FOR NEW REPLACEMENT TILES (APPROXIMATELY 50 TILES). REFER TO ALTERNATE 1 FOR FULL ROOF TILE REMOVAL.
 - DEMOLISH EXISTING PLUMBING FIXTURES. TEMPORARILY VALVE OFF OR CAP ROUGH INS.
 - SALVAGE EXISTING WINDOW UNITS.
 - REMOVE EXISTING FLOORING TO TILE BELOW. IN AREAS WITH NO TILE, DEMOLISH TO ORIGINAL WOOD SUBFLOOR.
 - REMOVE PANEL ABOVE DOOR TO EXPOSE FRAMING.
 - EXISTING LIGHTING TO REMAIN AFTER CEILING DEMOLITION.
 - DEMOLISH EXISTING BULLETIN BOARD.
 - DEMOLISH CONCRETE RETAINING WALL.
 - PROTECT DATA EQUIPMENT DURING DEMOLITION.
 - REMOVE PORTION OF DAMAGED SOFFIT DOWN TO STABLE SUBSTRATE. CLEAN & PREPARE FOR NEW PLASTER FINISH.
 - REMOVE EXISTING ACOUSTICAL PANEL CEILING SYSTEM, ACOUSTIC CEILING, SLIP SHEET, AND LOOSE PORTIONS OF ORIGINAL PLASTER CEILING. STABLE PORTIONS OF ORIGINAL PLASTER CEILING TO REMAIN.
 - DEMOLISH EXISTING FLOORING, SUBFLOOR, AND ALL FLOOR FRAMING. CLEAN DEBRIS OUT OF BEARING POCKETS, AND OFF EXISTING SLAB OR UNDISTURBED EARTH BELOW.
 - EXISTING SHAFT PIT TO REMAIN. REMOVE DEBRIS FROM PIT & CLEAN.
 - EXISTING WALL TO REMAIN.
 - DEMOLISH EXISTING DOOR AND FRAME.
 - DEMOLISH EXISTING LOUVER.
 - DEMOLISH PORTION OF EXISTING WALL ABOVE EXISTING DOOR FRAME TO ACCOMMODATE NEW, RAISED DOOR FRAME.
 - GRAY HATCH INDICATES EXTENT OF ORIGINAL STAGE. DEMOLISH TO 8" BELOW NEW FINISHED FLOOR.
 - SALVAGE EXISTING DECORATIVE COLUMN BASE TRIM FOR REINSTALLATION ABOVE NEW FINISHED FLOOR. COLUMNS TO REMAIN, & PREP FOR NEW PAINT.
 - DEMOLISH SURFACE MOUNTED ELECTRICAL RACEWAY AND RECEPTALS. REMOVE WIRE BACK TO SOURCE & TERMINATE.
 - DEMOLISH DRYWALL FROM LOWER FLOOR UP TO TYPICAL FINISH FLOOR ELEVATION IN CORRIDOR. EXISTING WALL FRAMING AND DRYWALL ABOVE TO REMAIN.
 - REMOVE ELECTRICAL RECEPTAL AND ROUGH INS TO RAISE BOX TO 18" ABOVE NEW, RAISED FLOOR HEIGHT. CLEANLY CUT AND REMOVE PORTIONS OF DRYWALL TO STUD CENTERS AS NEEDED. TYPICAL AT ALL LOWER FLOOR RECEPTALS.
 - DEMOLISH EXISTING POWER POLES. REMOVE WIRE TO SOURCE & TERMINATE.
 - SALVAGE EXISTING WOOD TRIM.
 - REMOVE EXISTING CLAY ROOF RIDGE TILES. REMOVE EXISTING SETTING CEMENT, CLEAN RIDGE TILES, AND PREP FOR REINSTALLATION.
 - REMOVE EXISTING TERRA COTTA CHIMNEY CAP UNIT. DELIVER TO FABRICATOR TO CREATE NEW REPLICA CAP UNIT MOLDS. INSTALL TEMPORARY WEATHER PROTECTION.
 1. NON
 2. CLEAN EXISTING CLAY ROOF TILES.
 43. EXISTING SOFFIT & DECORATIVE BRACKETS TO REMAIN. CLEAN & PREP FOR NEW PAINT.
 46. SALVAGE EXISTING RAILINGS FOR REINSTALLATION.
 47. DEMOLISH EXISTING MILLWORK.
 48. DEMOLISH PORTION OF WALL FOR NEW CASED OPENING AND MATCH EXISTING DOOR HEIGHTS. DEMOLISH EXISTING SHELF.
 49. DEMOLISH DRYWALL/PLASTER TO EXPOSE WALL CAVITY.
 50. DEMOLISH EXISTING ACOUSTICAL CEILING TILES & SUPPORT FRAMING TO FACE OF ORIGINAL PLASTER. REMOVE LOOSE MATERIAL. TRIM TO REMAIN.
 51. DEMOLISH INTERIOR LAYERS OF WALL, DOWN TO THE ORIGINAL FACE OF PLASTERED MASONRY. REMOVE ANY LOOSE OR DAMAGED PLASTER.
 52. SALVAGE EXISTING CLAY SHINGLES FOR NEW CRICKET INSTALLATION. DEMOLISH AND REINSTALL SHINGLES.
 1. NON
 53. EXISTING COPPER ROOF & ROOF HATCH TO REMAIN. PROTECT DURING CONSTRUCTION. MODIFY FLASHING AS REQUIRED TO FLASH OVER ROOF TILES & TIE IN NEW FLASHING.
 55. REMOVE ALL DEBRIS FROM EXISTING GUTTERS. CHECK SLOPES TO ENSURE POSITIVE DRAINAGE.
 56. TEMPORARILY REMOVE DOWNSPOUTS DURING SURROUNDING DEMOLITION. REWORK CONFIGURATION TO TIE INTO NEW IRON BOOT.
 57. REMOVE COATING FROM FACE OF STONE.
 58. CLEAN & ABRASIVE FACE OF STONE TO RESTORE CONSISTENT SURFACE TEXTURE. REVIEW TEST AREA WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH FULL APPLICATION.
 59. DEMOLISH LIGHT FIXTURE.
 60. SALVAGE FULL, UNBROKEN ROOF TILES FROM THIS AREA TO REPLACE BROKEN UNITS ON OTHER ROOF FACES.
 61. DEMOLISH EXISTING DOWNSPOUTS AND ASSOCIATED PIPING.
 62. REMOVE EXISTING CHIMNEY COMPLETE. SALVAGE FACE BRICK. STORE AND PROTECT.

GENERAL NOTES - DEMOLITION

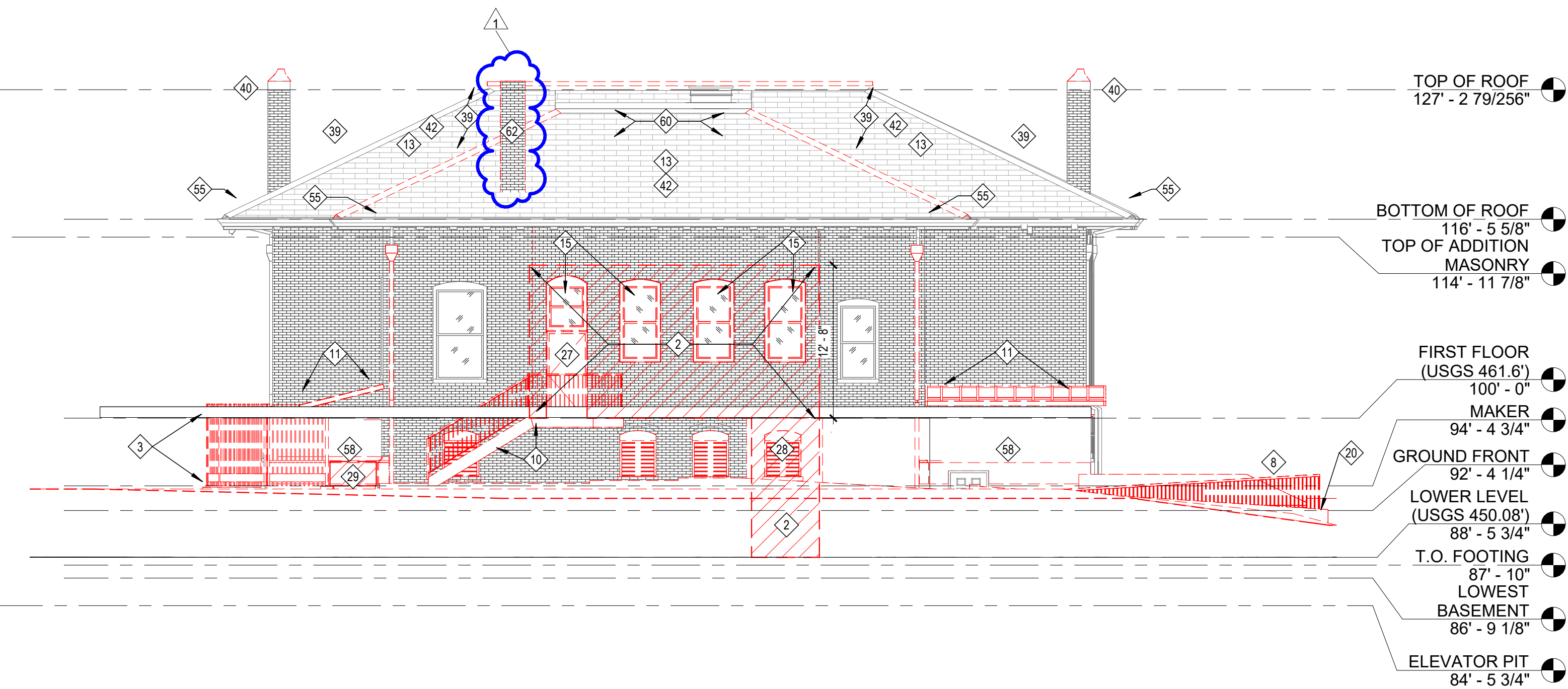
- A. DEMOLISH ALL EXISTING BATHROOM ACCESSORIES.
- B. SALVAGE DOOR LOCKSETS FROM ORIGINAL DOORS INDICATED TO REMAIN. PREP DOORS FOR NEW HARDWARE.
- C. EXISTING MONITERS, FURNISHINGS, AND ACCESSORIES TO BE REMOVED.
- D. SALVAGE EXISTING FLOOR VENTS FOR REINSTALLATION.
- E. ALARM SYSTEM TO REMAIN ACTIVE DURING DEMOLITION. PROTECT AND COVER IRVING. DEMOLITION IS REQUIRED. PROTECT AND TEMPORARILY SUPPORT.
- F. SALVAGE ALL EXISTING STYLE & RAIL DOORS FOR REINSTALLATION AND PROTECT CLEAN AND PREP FOR NEW PAINT.
- G. ORIGINAL PLASTER TO REMAIN. REMOVE ANY LOOSE OR DAMAGED MATERIAL.
- H. REMOVE ALL WINDOW TREATMENTS & TINTING FILM ON GLASS, TYPICAL.
- I. ORIGINAL WOOD TRIM TO REMAIN. REMOVE NON-MATCHING TRIM.
- J. SCRAPE AND REMOVE ALL LOOSE PAINT ON WALLS RECEIVING NEW PAINT. FOLLOW ALL HAZARDOUS MATERIAL REMOVAL PROTOCOLS.
- L. SALVAGE ALL ORIGINAL WOOD TRIM FROM WALLS BEING DEMOLISHED. PROTECT AND RETURN TO OWNER.

KEY PLAN

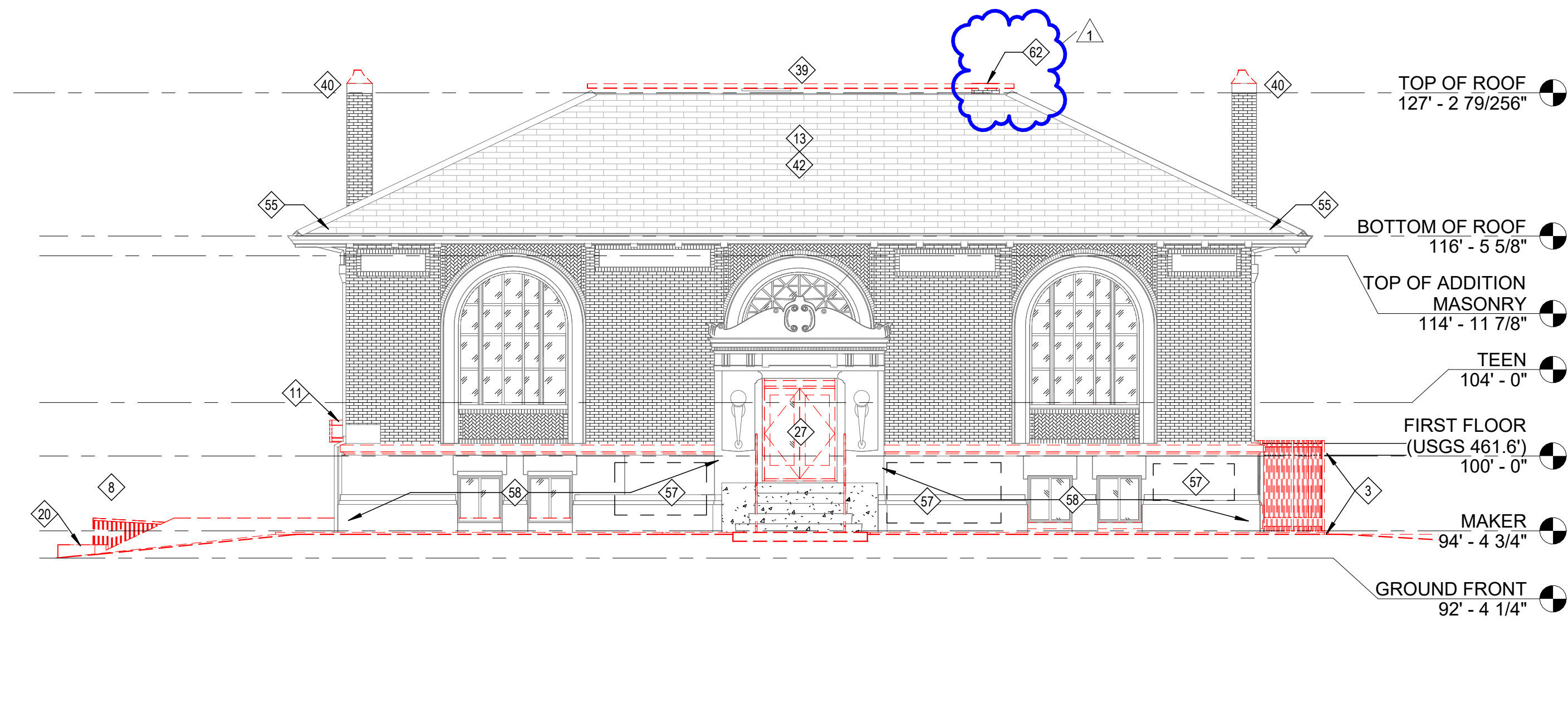


No.	Description	Date
1	PR-1	1/10/2023

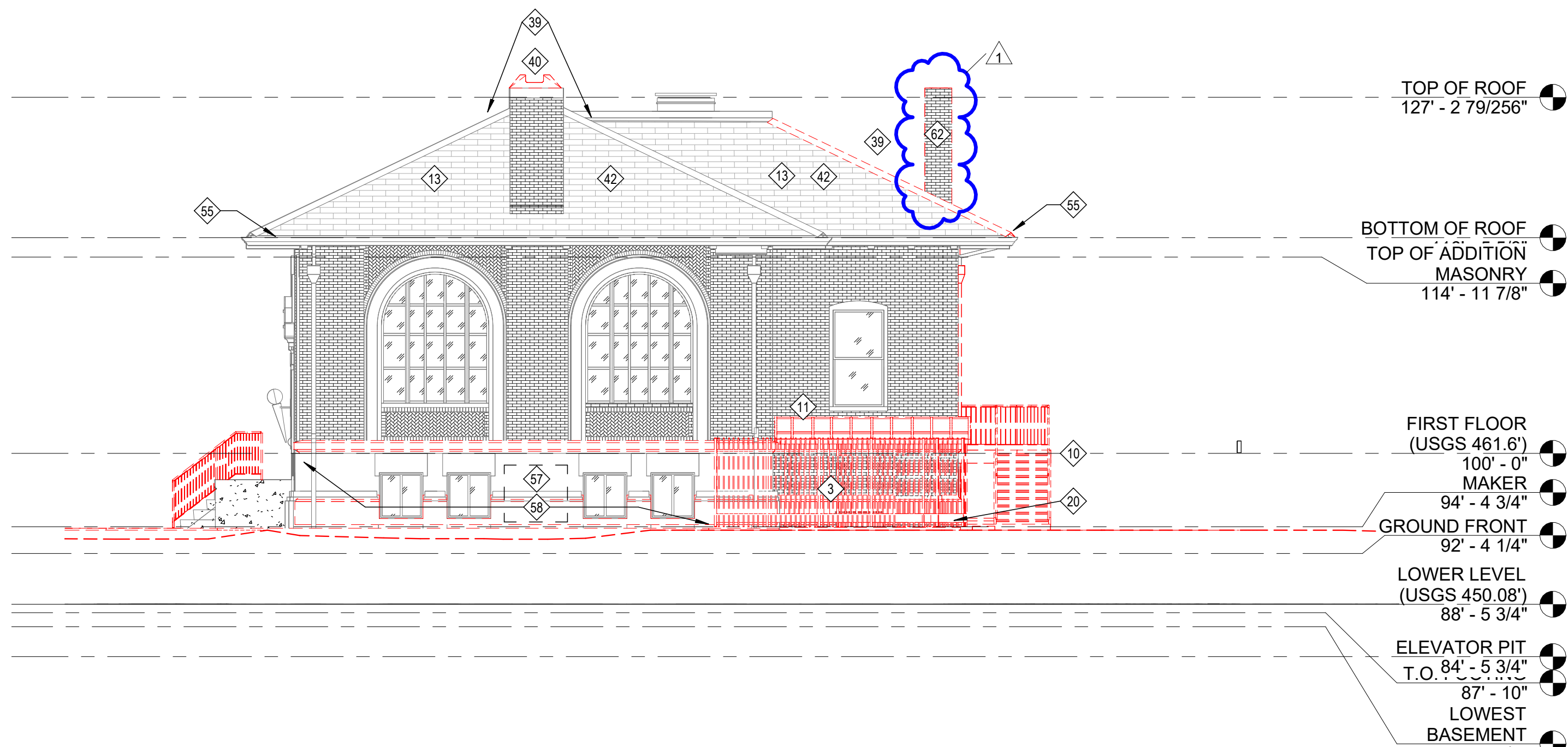
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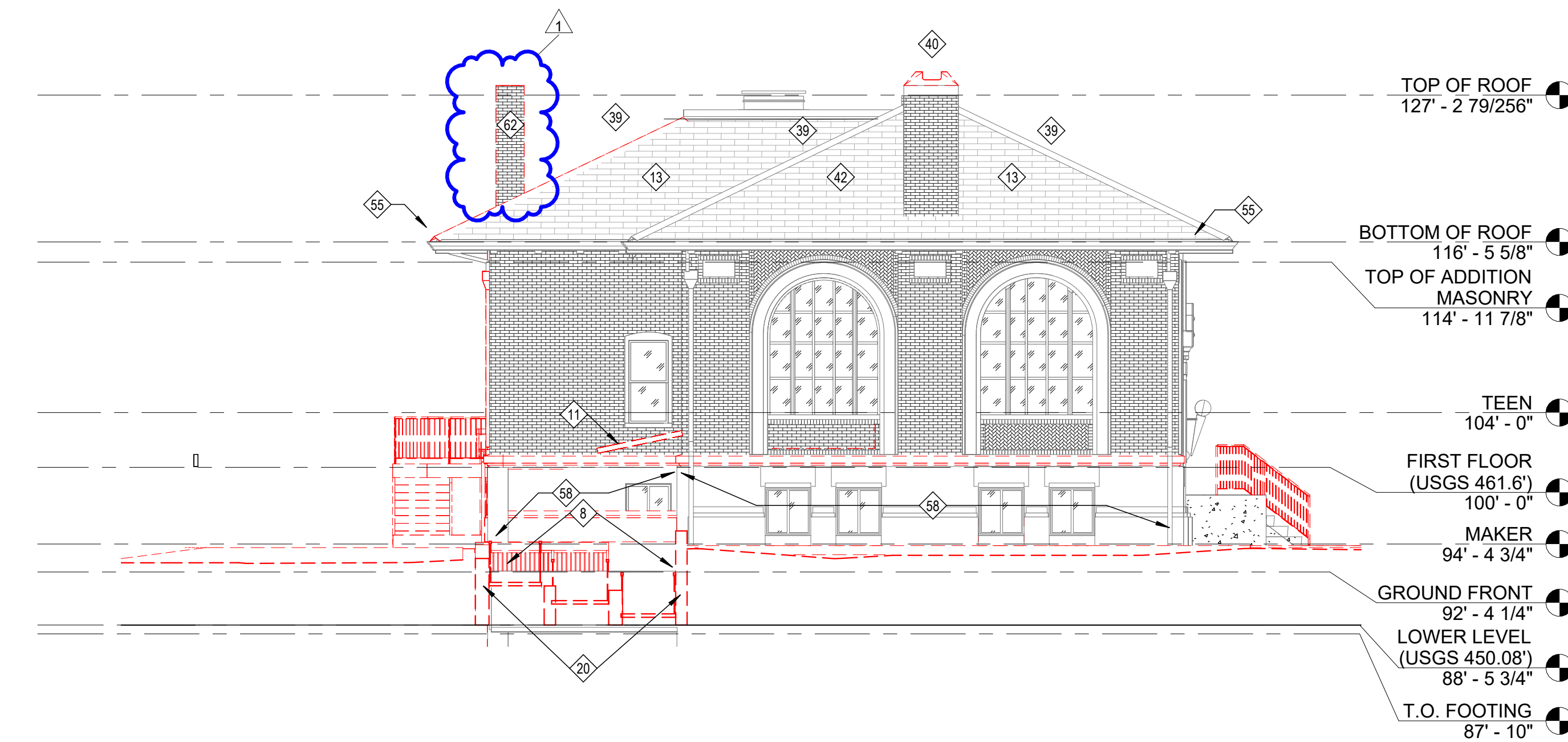
A DEMOLITION ELEVATION - NORTH
1/8" = 1'-0"



C DEMOLITION ELEVATION - SOUTH
1/8" = 1'-0"



B DEMOLITION ELEVATION - EAST
1/8" = 1'-0"



D DEMOLITION ELEVATION - WEST
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 - DEMOLISH EXISTING FLOORING, SUBFLOOR, AND ALL FLOOR FRAMING. CLEAN DEBRIS OUT OF BEARING POCKETS, AND OFF EXISTING SLAB OR UNDISTURBED EARTH BELOW.
 - EXISTING SHAWT PIT TO REMAIN. REMOVE DEBRIS FROM PIT & CLEAN.
 - EXISTING WALL TO REMAIN.
 - DEMOLISH EXISTING DOOR AND FRAME.
 - DEMOLISH EXISTING LOUVER.
 - DEMOLISH PORTION OF EXISTING WALL ABOVE EXISTING DOOR FRAME TO ACCOMMODATE NEW, RAISED DOOR FRAME.
 - GRAY HATCH INDICATES EXTENT OF ORIGINAL STAGE. DEMOLISH TO 8" BELOW NEW FINISHED FLOOR.
 - SALVAGE EXISTING DECORATIVE COLUMN BASE TRIM FOR REINSTALLATION ABOVE NEW FINISHED FLOOR. COLUMNS TO REMAIN, & PREP FOR NEW PAINT.
 - DEMOLISH SURFACE MOUNTED ELECTRICAL RACEWAY AND RECEPTALS. REMOVE WIRE BACK TO SOURCE & TERMINATE.
 - DEMOLISH DRYWALL FROM LOWER FLOOR UP TO TYPICAL FINISH FLOOR ELEVATION IN CORRIDOR. EXISTING WALL FRAMING AND DRYWALL ABOVE TO REMAIN.
 - REMOVE ELECTRICAL RECEPTAL AND ROUGH INS TO RAISE BOX TO 18" ABOVE NEW, RAISED FLOOR HEIGHT. CLEANLY CUT AND REMOVE PORTIONS OF DRYWALL TO STUD CENTERS AS NEEDED. TYPICAL AT ALL LOWER FLOOR RECEPTALS.
 - DEMOLISH EXISTING POWER POLES. REMOVE WIRE TO SOURCE & TERMINATE.
 - SALVAGE EXISTING WOOD TRIM.
 - REMOVE EXISTING CLAY ROOF RIDGE TILES. REMOVE EXISTING SETTING CEMENT, CLEAN RIDGE TILES, AND PREP FOR REINSTALLATION.
 - REMOVE EXISTING TERRA COTTA CHIMNEY CAP UNIT. DELIVER TO FABRICATOR TO CREATE NEW REPLICA CAP UNIT MOLDS. INSTALL TEMPORARY WEATHER PROTECTION.
 - NON
 - NON
 - CLEAN EXISTING CLAY ROOF TILES.
 - EXISTING SOFFIT & DECORATIVE BRACKETS TO REMAIN. CLEAN & PREP FOR NEW PAINT.
 - SALVAGE EXISTING RAILINGS FOR REINSTALLATION.
 - DEMOLISH EXISTING MILLWORK.
 - DEMOLISH PORTION OF WALL FOR NEW CASE OPENING AND MATCH EXISTING DOOR HEIGHTS. DEMOLISH EXISTING SHELF.
 - DEMOLISH DRYWALL/PLASTER TO EXPOSE WALL CAVITY.
 - DEMOLISH EXISTING ACOUSTICAL CEILING TILES & SUPPORT FRAMING TO FACE OF ORIGINAL PLASTER. REMOVE LOOSE MATERIAL. TRIM TO REMAIN.
 - DEMOLISH INTERIOR LAYERS OF WALL, DOWN TO THE ORIGINAL FACE OF PLASTERED MASONRY. REMOVE ANY LOOSE OR DAMAGED PLASTER.
 - SALVAGE EXISTING CLAY SHINGLES FOR NEW CRICKET INSTALLATION. REMOVE AND REINSTALL SHINGLES.
 - NON
 - NON
 - EXISTING COPPER ROOF & ROOF HATCH TO REMAIN. PROTECT DURING CONSTRUCTION. MODIFY FLASHING AS REQUIRED TO FLASH OVER ROOF TILES & TIE IN NEW FLASHING.
 - REMOVE ALL DEBRIS FROM EXISTING GUTTERS. CHECK SLOPES TO ENSURE POSITIVE DRAINAGE.
 - TEMPORARILY REMOVE DOWNSPOUTS DURING SURROUNDINGS DEMOLITION. REWORK CONFIGURATION TO TIE INTO NEW IRON BOOT.
 - REMOVE COATING FROM FACE OF STONE.
 - CLEAN & ABRASIVE FACE OF STONE TO RESTORE CONSISTENT SURFACE TEXTURE. REVIEW TEST AREA WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH FULL APPLICATION.
 - DEMOLISH LIGHT FIXTURE.
 - SALVAGE FULL, UNDAMAGED ROOF TILES FROM THIS AREA TO REPLACE BROKEN UNITS ON OTHER ROOF FACES.
 - DEMOLISH EXISTING DOWNSPOUTS AND ASSOCIATED PIPING.
 - REMOVE EXISTING CHIMNEY COMPLETE. SALVAGE FACE BRICK. STORE AND PROTECT.
 - NON

- GENERAL NOTES - DEMOLITION**
- A DEMOLISH ALL EXISTING BATHROOM ACCESSORIES.
 - B SALVAGE DOOR LOCKSETS FROM ORIGINAL DOORS INDICATED TO REMAIN. PREP DOORS FOR NEW HARDWARE.
 - C EXISTING MONITERS, FURNISHINGS, AND ACCESSORIES TO BE REMOVED.
 - D SALVAGE EXISTING FLOOR VENTS FOR REINSTALLATION.
 - E ALARM SYSTEM TO REMAIN ACTIVE DURING DEMOLITION. PROTECT AND COVER. IF WALL DEMOLITION IS REQUIRED, PROTECT AND TEMPORARILY SUPPORT.
 - F SALVAGE ALL EXISTING STILE & RAIL DOORS FOR REINSTALLATION AND PROTECT. CLEAN & PREP FOR NEW PAINT.
 - G ORIGINAL PLASTER TO REMAIN. REMOVE ANY LOOSE OR DAMAGED MATERIAL.
 - H REMOVE ALL WINDOW TREATMENTS & TINTING FILM ON GLASS. TYPICAL.
 - J ORIGINAL WOOD TRIM TO REMAIN. REMOVE NON-MATCHING TRIM.
 - K SCRAPER AND REMOVE ALL LOOSE PAINT ON WALLS RECEIVING NEW PAINT. FOLLOW ALL HAZARDOUS MATERIAL REMOVAL PROTOCOLS.
 - L SALVAGE ALL ORIGINAL WOOD TRIM FROM WALLS BEING DEMOLISHED. PROTECT AND RETURN TO OWNER.

RESERVED FOR AHJ STAMP

CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2243 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY

ARCHITECTURAL

PROJECT 2022-28

DATE 3/31/23

REVISIONS

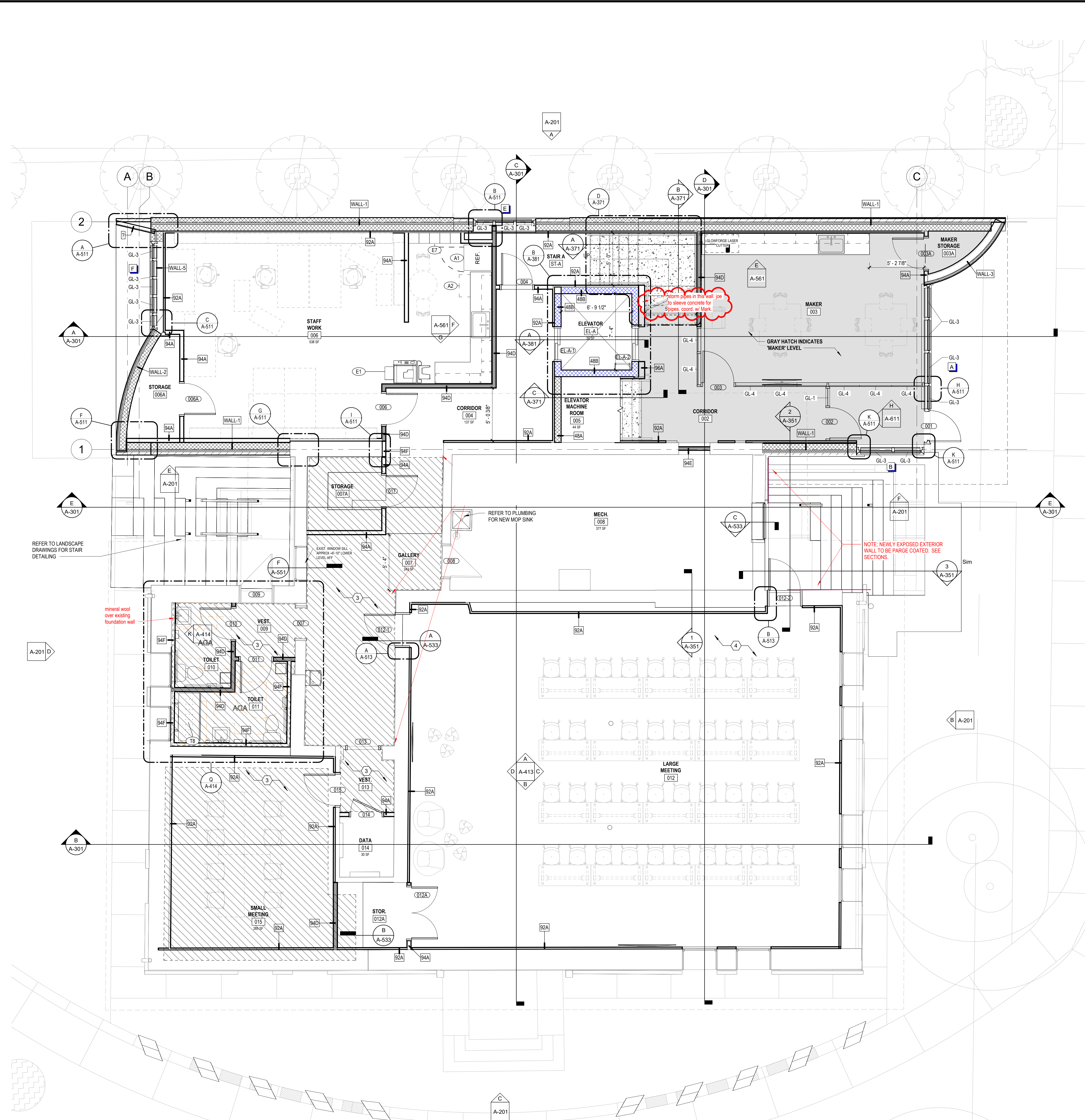
No.	Description	Date
PR-1		1/10/2023

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DEMOLITION
ELEVATIONS

A-010

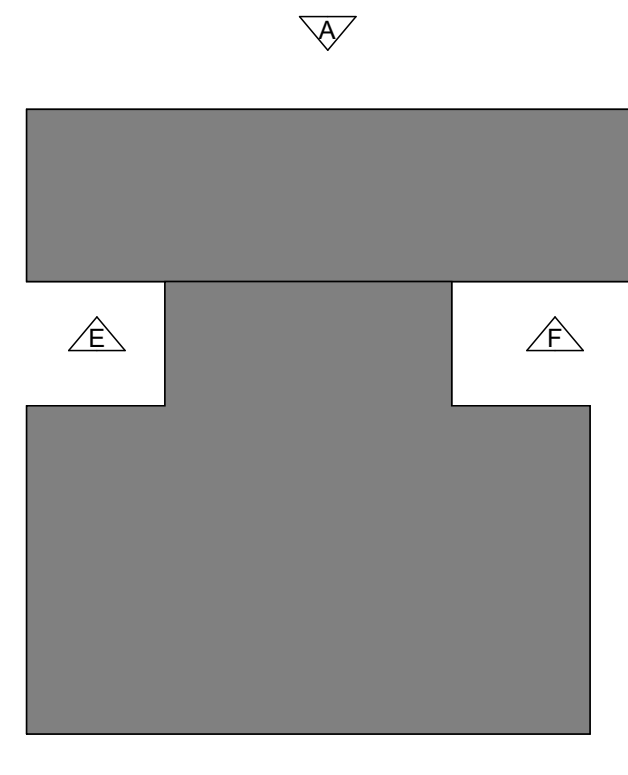
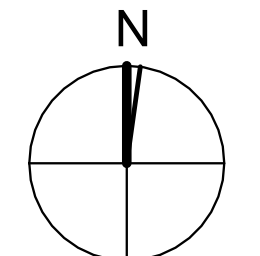
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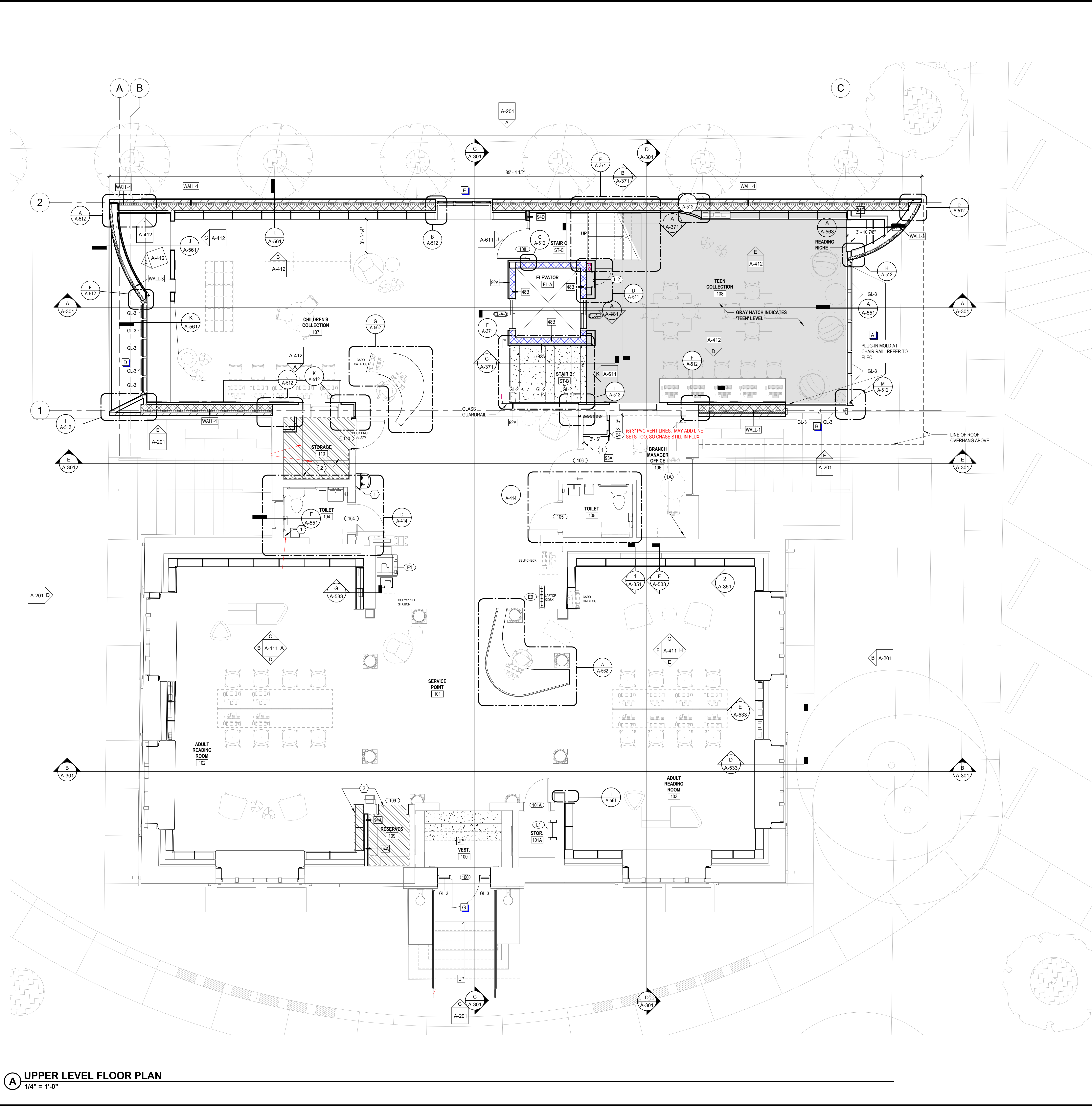
- PLAN KEYNOTES**
- 1 PATCH AND REPAIR WALL WHERE WALLS ARE REMOVED. PLASTER SKIM COAT TO LEVEL 4 FINISH.
 - 2 PATCH AND REPAIR WALL WHERE CASEWORK AND PLUMBING IS CAPPED IN PLACE. PLASTER SKIM COAT TO LEVEL 4 FINISH.
 - 3 INFILL EXISTING FLOOR OPENING WITH FLOOR STRUCTURE AND SUBSTRATE. REFER TO STRUCTURAL.
 - 4 4" CONCRETE SLAB OVER CRUSHED STONE W/ VAPOR BARRIER. RAISED ACCESS FLOOR.

SPECIALTIES & EQUIPMENT SCHEDULE			
MARK	DESCRIPTION	PROVIDED BY	COMMENTS
10 2800 - TOILET ACCESSORY			
T1	GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
T3	DYSON AIRBLADE V HANDRYER	C.F.C.I.	
T4	SOAP DISPENSER - SURFACE MOUNTED, VERTICAL	O.F.O.I.	
T5	FRAMED MIRROR - 18" x 30"	C.F.C.I.	
T7	BABY CHANGING STATION	C.F.C.I.	
T8	ADULT CHANGING STATION	C.F.C.I.	
T9	JUMBO BATH TISSUE DISPENSER - SINGLE ROLL	C.F.C.I.	
T10	BOBRICK B-2260 STANDING TRASH CAN	C.F.C.I.	
11 3100 - RESIDENTIAL APPLIANCES			
A1	REFRIGERATOR - TOP FREEZER	O.F.O.I.	
A2	MICROWAVE	O.F.O.I.	
11 5110 - BOOK DEPOSITORY			
	BOOK DEPOSITORY		
EQUIPMENT			
E1	MULTI-FUNCTION PRINTER/COPIER	O.F.O.I.	
E2	COPIER	O.F.O.I.	
E4	General purpose access door for all surface types	C.F.C.I.	
E5	ROOF HATCH	C.F.C.I.	
E7	EMPLOYEE LOCKER	C.F.C.I.	
E8A	TV - 60"	O.F.O.I.	
E8B	TV - 50"	O.F.O.I.	
E9	LAPTOP KIOSK	O.F.O.I.	
VERTICAL LADDER			
L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
L3	GLAZING SCHEDULE	C.F.C.I.	
GLAZING SCHEDULE			
MARK	TYPE		
GL-1	1/4" CLEAR TEMPERED		
GL-2	1/2" CLEAR TEMPERED		
GL-3	1" INSULATED, CLEAR TEMPERED		
GL-4	DONOR GLASS - TBD		

KEY PLAN



LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

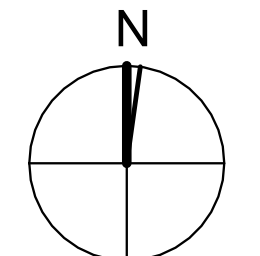


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SPECIALTIES & EQUIPMENT SCHEDULE			
MARK	DESCRIPTION	PROVIDED BY	COMMENTS
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T1	GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
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T8	ADULT CHANGING STATION	C.F.C.I.	
T9	JUMBO BATH TISSUE DISPENSER - SINGLE ROLL	C.F.C.I.	
T10	BOBRICK B-2260 STANDING TRASH CAN	C.F.C.I.	
11 3100 - RESIDENTIAL APPLIANCES			
A1	REFRIGERATOR - TOP FREEZER	O.F.O.I.	
A2	MICROWAVE	O.F.O.I.	
11 5110 - BOOK DEPOSITORY			
BOOK DEPOSITORY			
EQUIPMENT			
E1	MULTI-FUNCTION PRINTER/COPIER	O.F.O.I.	
E2	COPPER	O.F.O.I.	
E4	General purpose access door for all surface types	C.F.C.I.	
E5	ROOF HATCH	C.F.C.I.	
E7	EMPLOYEE LOCKER	C.F.C.I.	
E8A	TV - 60"	O.F.O.I.	
E8B	TV - 50"	O.F.O.I.	
E9	LAPTOP KIOSK	O.F.O.I.	
VERTICAL LADDER			
L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
L3	EXTERNAL ACCESS LADDER	C.F.C.I.	

- MARK TYPE
- GL-1 1/4" CLEAR TEMPERED
- GL-2 1/2" CLEAR TEMPERED
- GL-3 1" INSULATED, CLEAR TEMPERED
- GL-4 DONOR GLASS - TBD

KEY PLAN



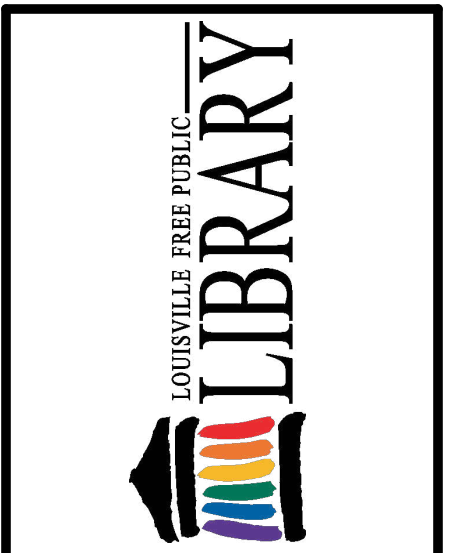
829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

RESERVED FOR AHJ STAMP

CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT 2022-28

DATE 3/31/23

REVISIONS		
No.	Description	Date

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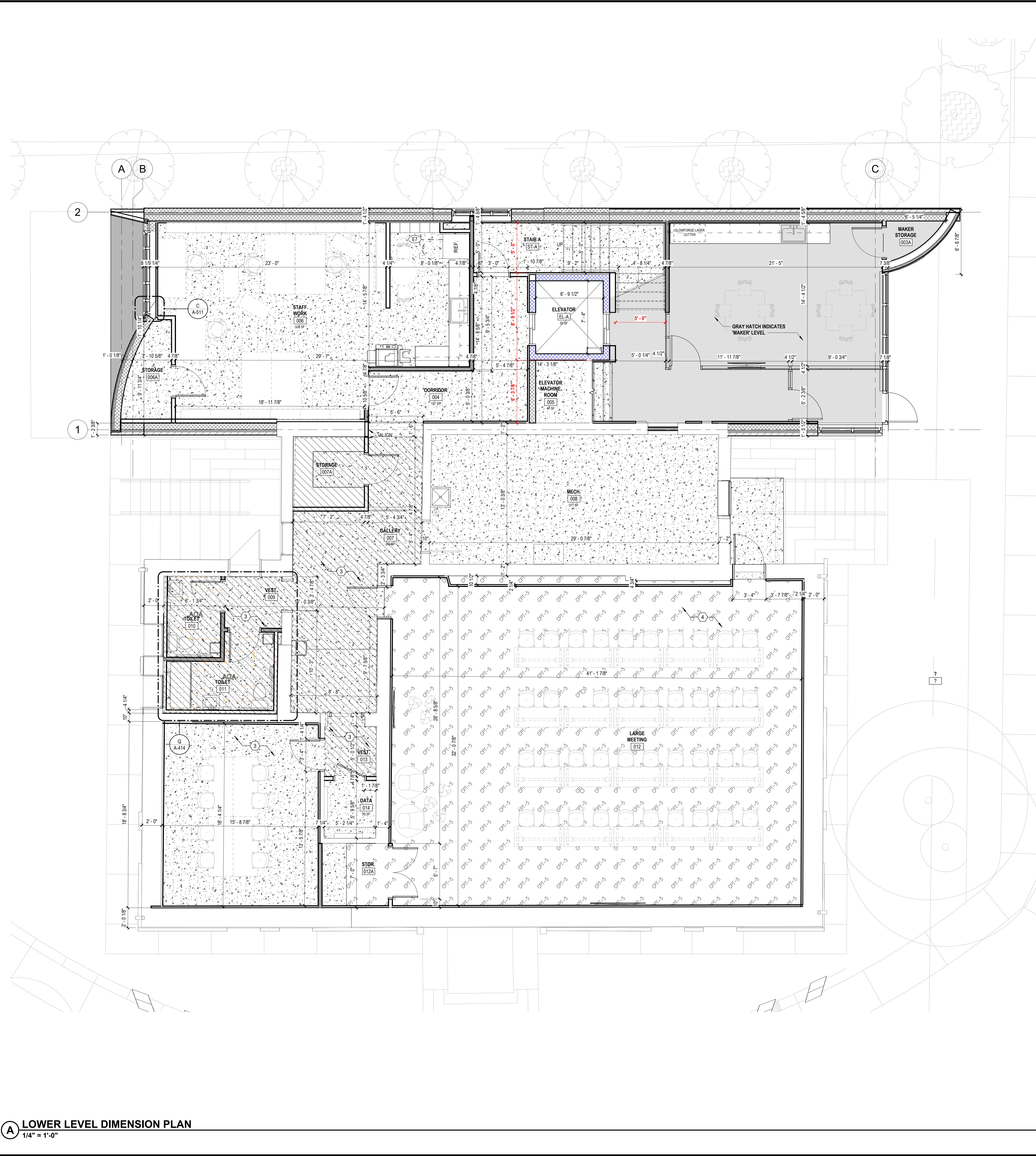
UPPER LEVEL FLOOR PLAN

A-101

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UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"



PLAN KEYNOTES

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SPECIALTIES & EQUIPMENT SCHEDULE

MARK	DESCRIPTION	PROVIDED BY	COMMENTS
10 2800	TOILET ACCESSORY		
T1	GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
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T4	SOAP DISPENSER - SURFACE MOUNTED, VERTICAL	O.F.O.I.	
T5	FRAMED MIRROR - 18" x 30"	C.F.C.I.	
T7	BABY CHANGING STATION	C.F.C.I.	
T8	ADULT CHANGING STATION	C.F.C.I.	
T9	JUMBO BATH TISSUE DISPENSER - SINGLE ROLL	C.F.C.I.	
T10	BOBRICK B-2260 STANDING TRASH CAN	C.F.C.I.	
11 3100	RESIDENTIAL APPLIANCES		
A1	REFRIGERATOR - TOP FREEZER	O.F.O.I.	
A2	MICROWAVE	O.F.O.I.	
11 5116	BOOK DEPOSITORY		
	BOOK DEPOSITORY		
EQUIPMENT			
E1	MULTI-FUNCTION PRINTER/COPIER	O.F.O.I.	
E2	COPPER	O.F.O.I.	
E4	General purpose access door for all surface types	C.F.C.I.	
E5	ROOF HATCH	C.F.C.I.	
E7	EMPLOYEE LOCKER	C.F.C.I.	
E8A	TV - 60"	O.F.O.I.	
E8B	TV - 50"	O.F.O.I.	
E9	LAPTOP KIOSK	O.F.O.I.	
VERTICAL LADDER			
L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
L3	EXTERIOR ROOF LADDER	C.F.C.I.	

JRA
architects

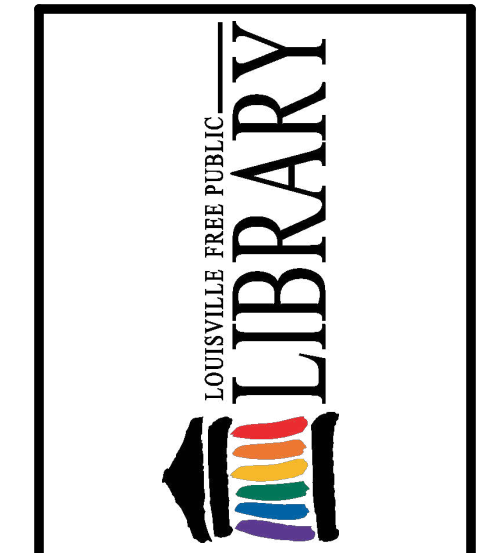
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Louisville, Kentucky 40206
502.583.4697

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CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2243 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT	2022-28
DATE	3/31/23

REVISIONS

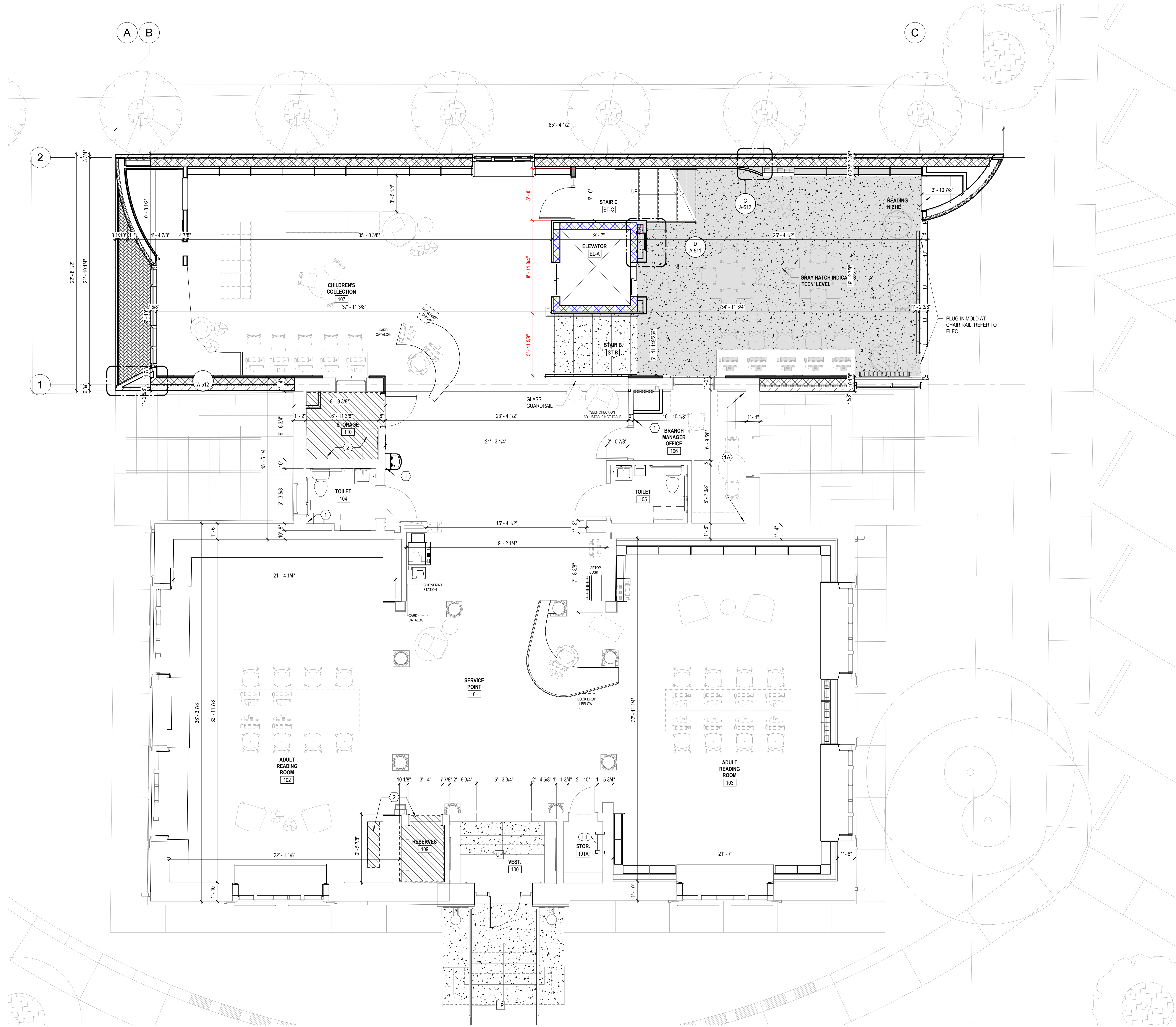
No.	Description	Date

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LOWER LEVEL
DIMENSION
PLAN

A-110

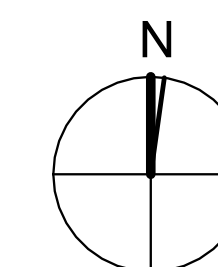
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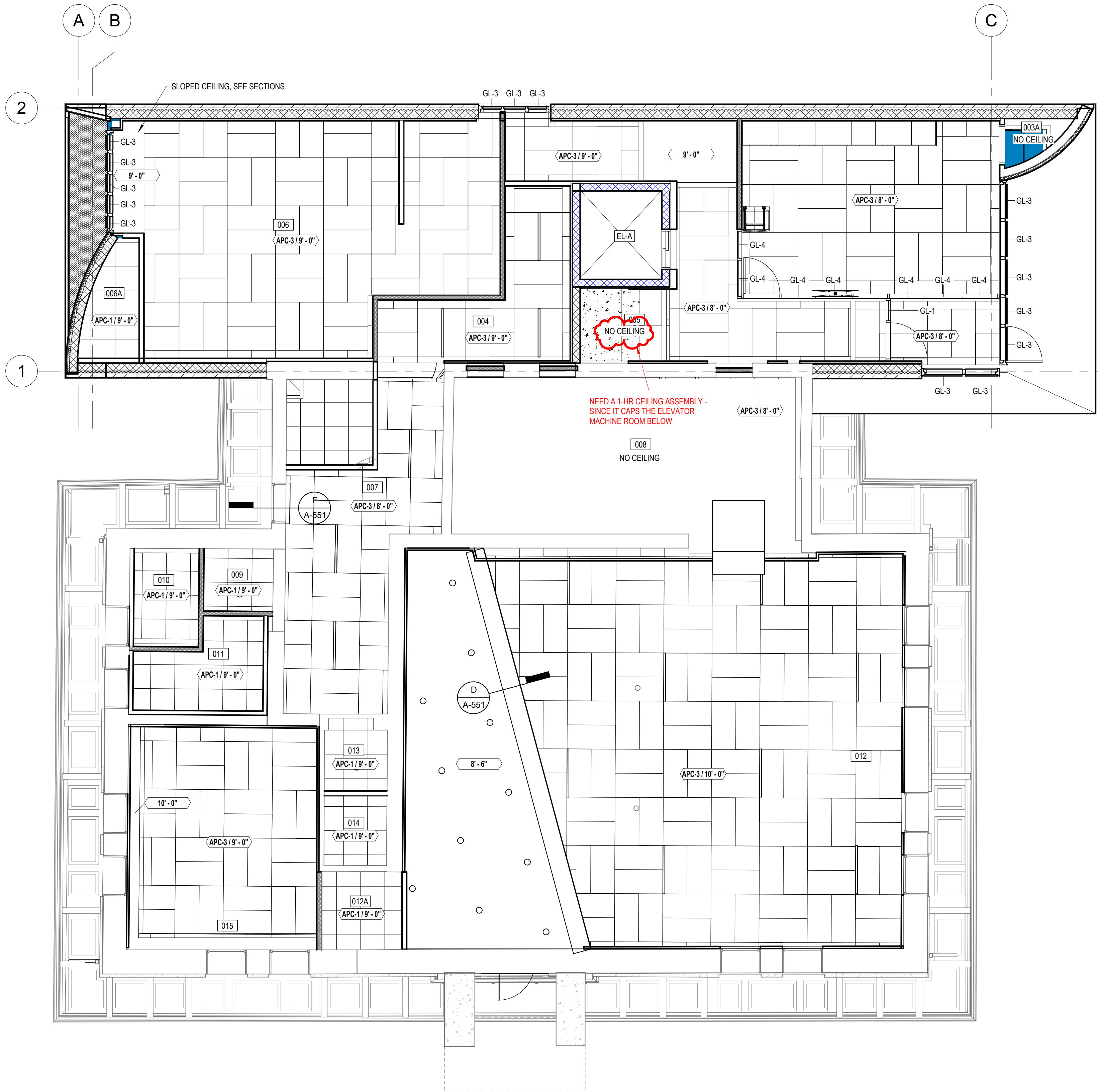
SPECIALTIES & EQUIPMENT SCHEDULE			
MARK	DESCRIPTION	PROVIDED BY	COMMENTS
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T1	GRAB BAR SET: 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
T3	DYSON AIRBLADE V HAND DRYER	C.F.C.I.	
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L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
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KEY PLAN

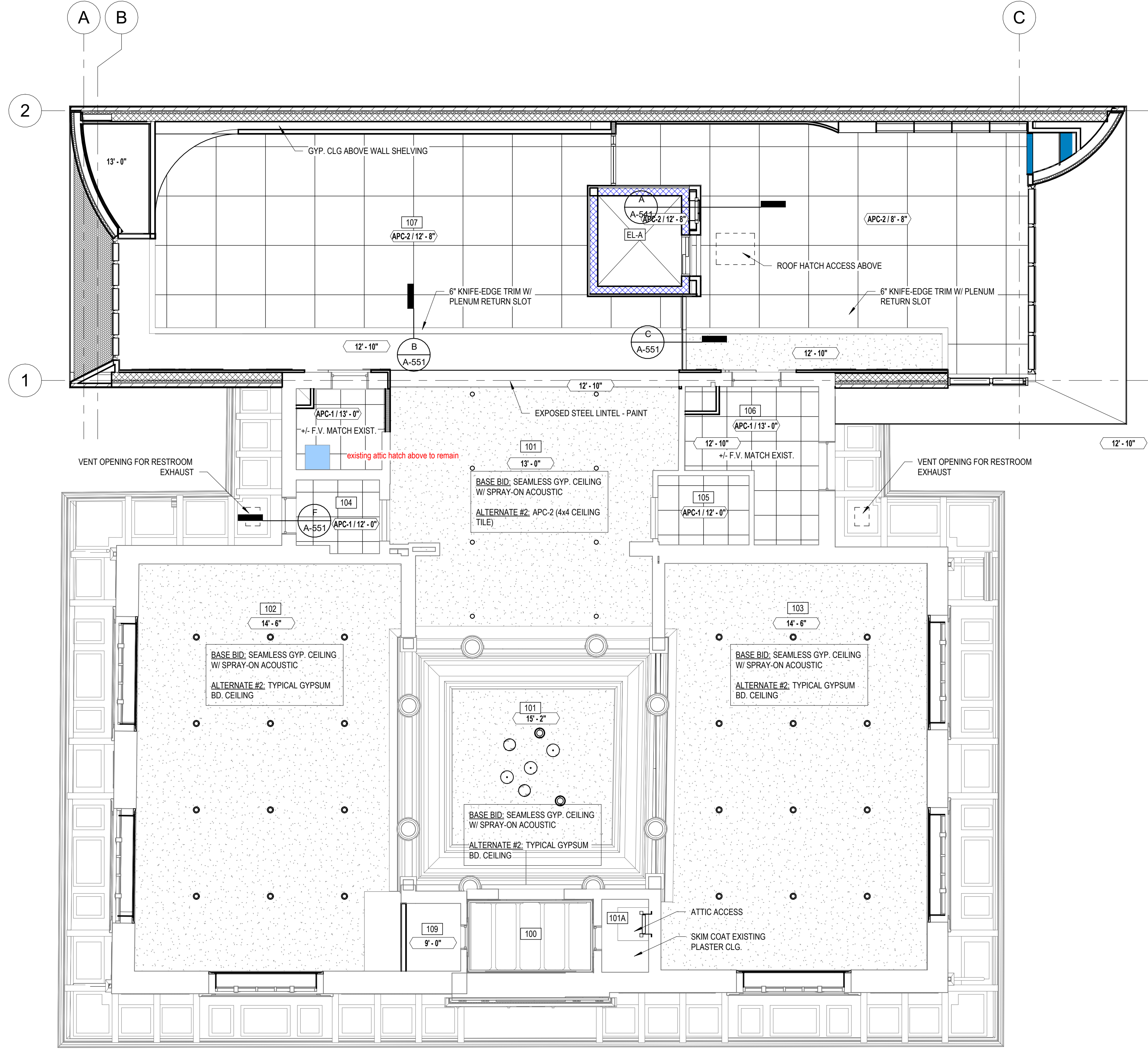


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A REFLECTED CEILING PLAN - LOWER LEVEL
3/16" = 1'-0"



B REFLECTED CEILING PLAN - UPPER LEVEL
3/16" = 1'-0"

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





GLAZING SCHEDULE

MARK	TYPE
GL-1	1/4" CLEAR TEMPERED
GL-2	1/2" CLEAR TEMPERED
GL-3	1" INSULATED, CLEAR TEMPERED
GL-4	DONOR GLASS - TBD

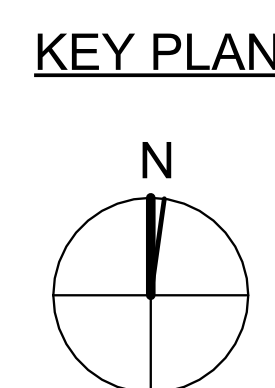
No.	Description	Date
1	PR-1	1/10/2023

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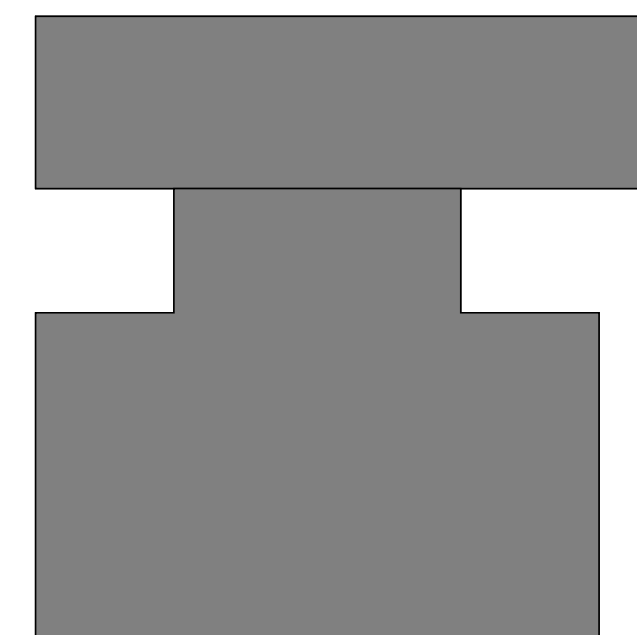


	CARPET - 1
	CARPET - 2
	CARPET - 3
	PORCELAIN TILE - 1
	RUBBER TILE - 1
	RUBBER TILE - 2
	RUBBER TILE - 3

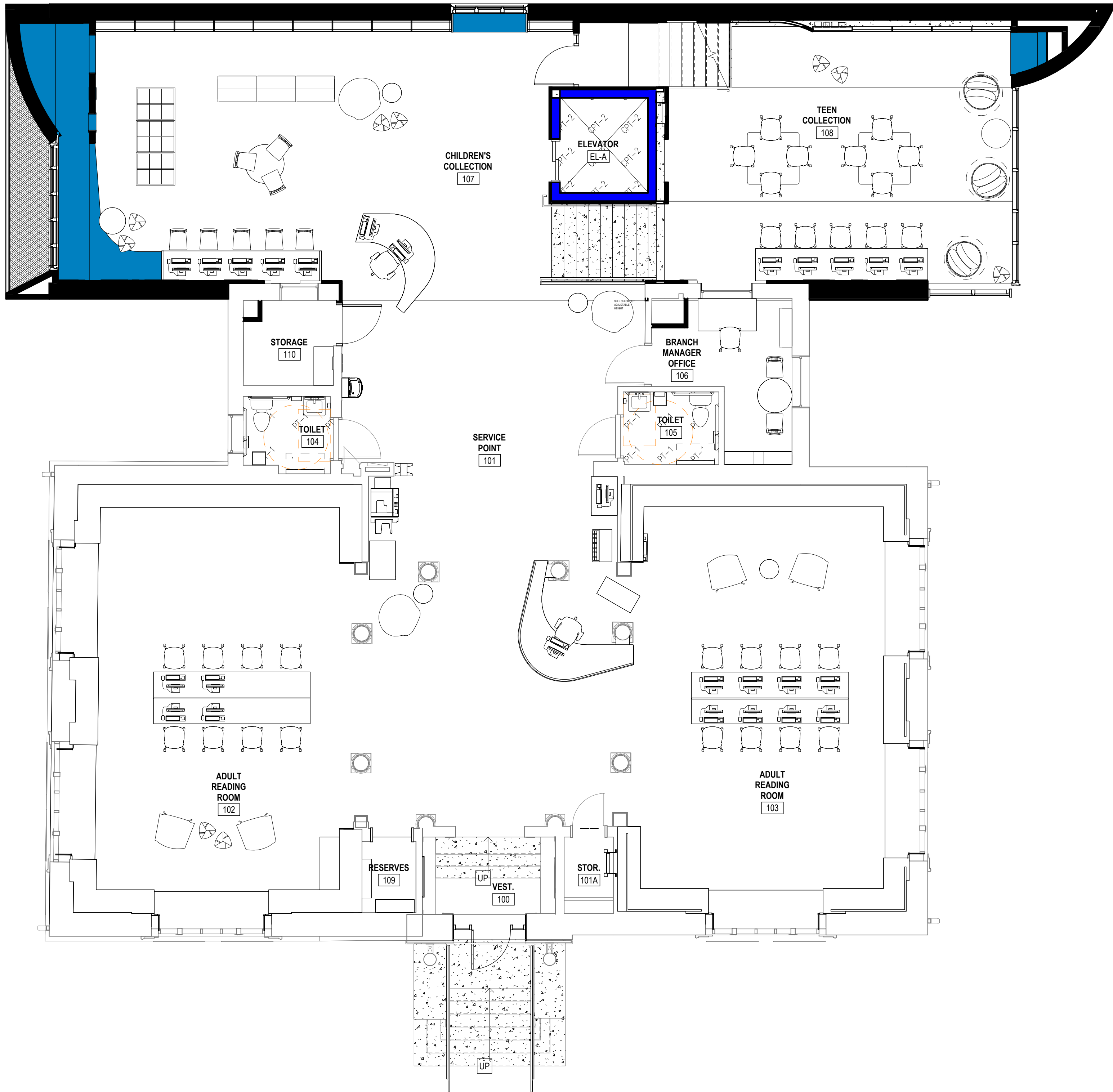
 **FINISH FLOOR LEGEND**
1/8" = 1'-0"



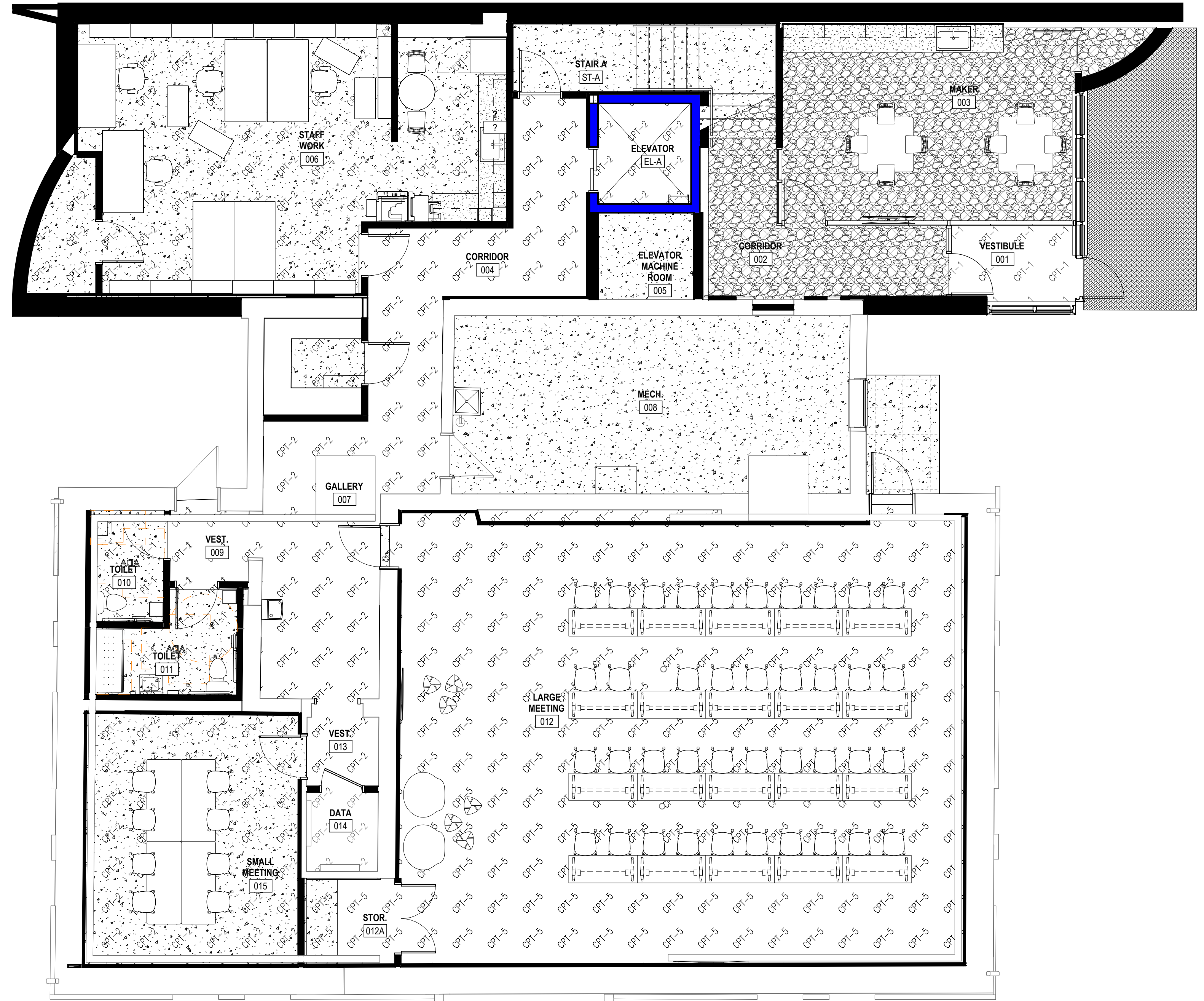
KEY PLAN



Autodesk Docs: 20231 FPL Projects: 202228 FPL PARKLAND ARCHITECTURE.dwg

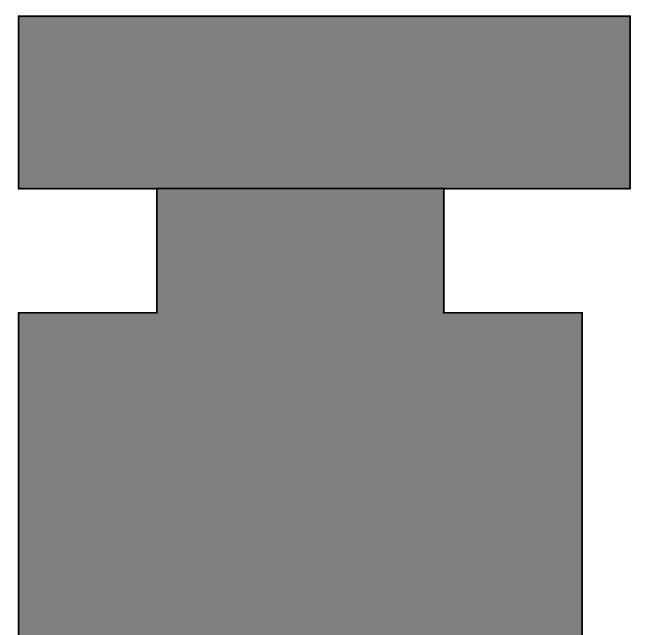
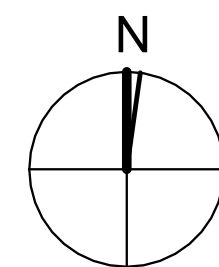


A UPPER LEVEL FURNITURE FLOOR PLAN
3/16" = 1'-0"



B LOWER LEVEL FURNITURE FLOOR PLAN
3/16" = 1'-0"

KEY PLAN



JRA
architects

829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

RESERVED FOR AHJ STAMP

CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT 2022-28

DATE 3/31/23

REVISIONS

No.	Description	Date

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FURNITURE
FLOOR PLANS

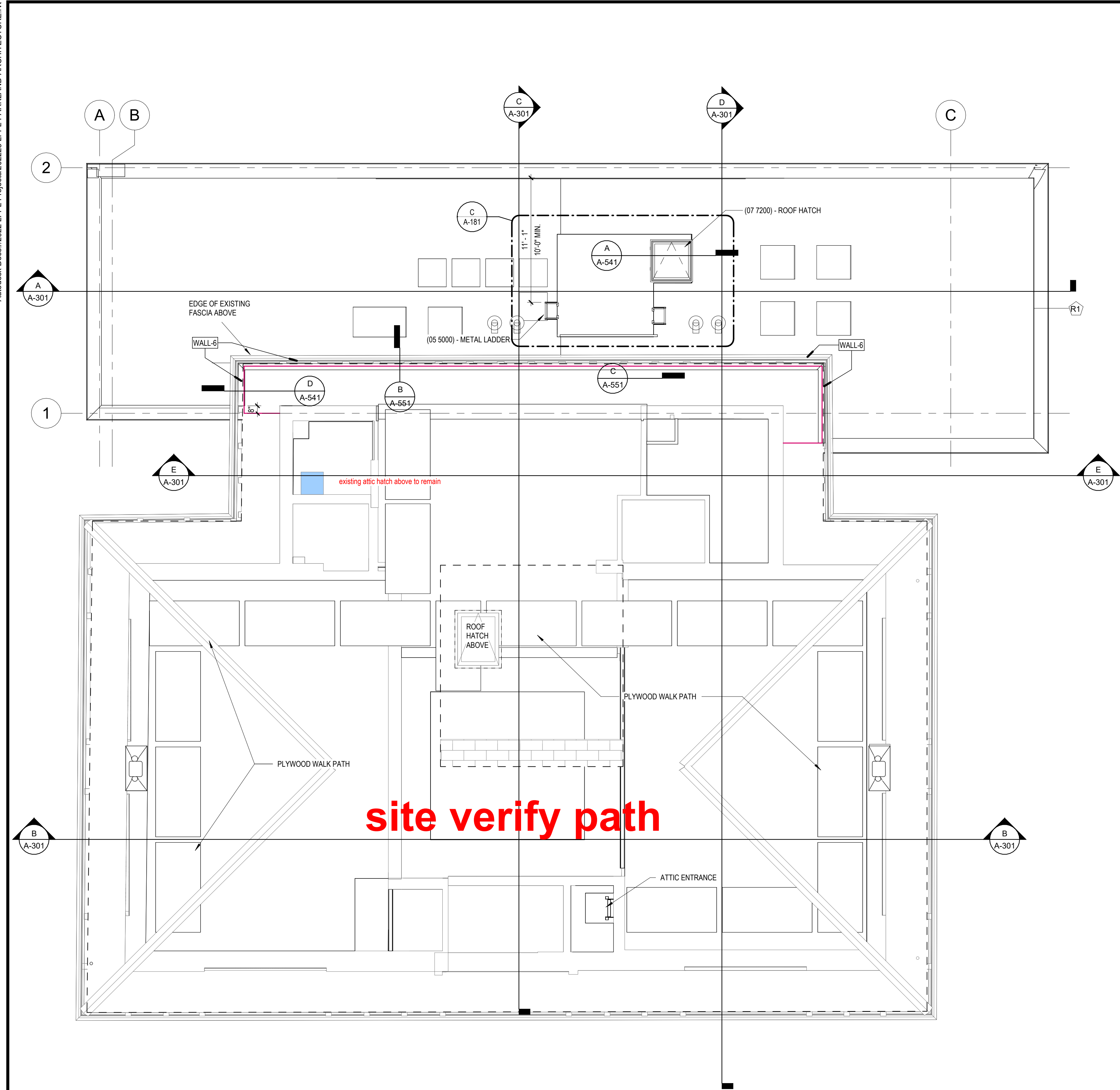
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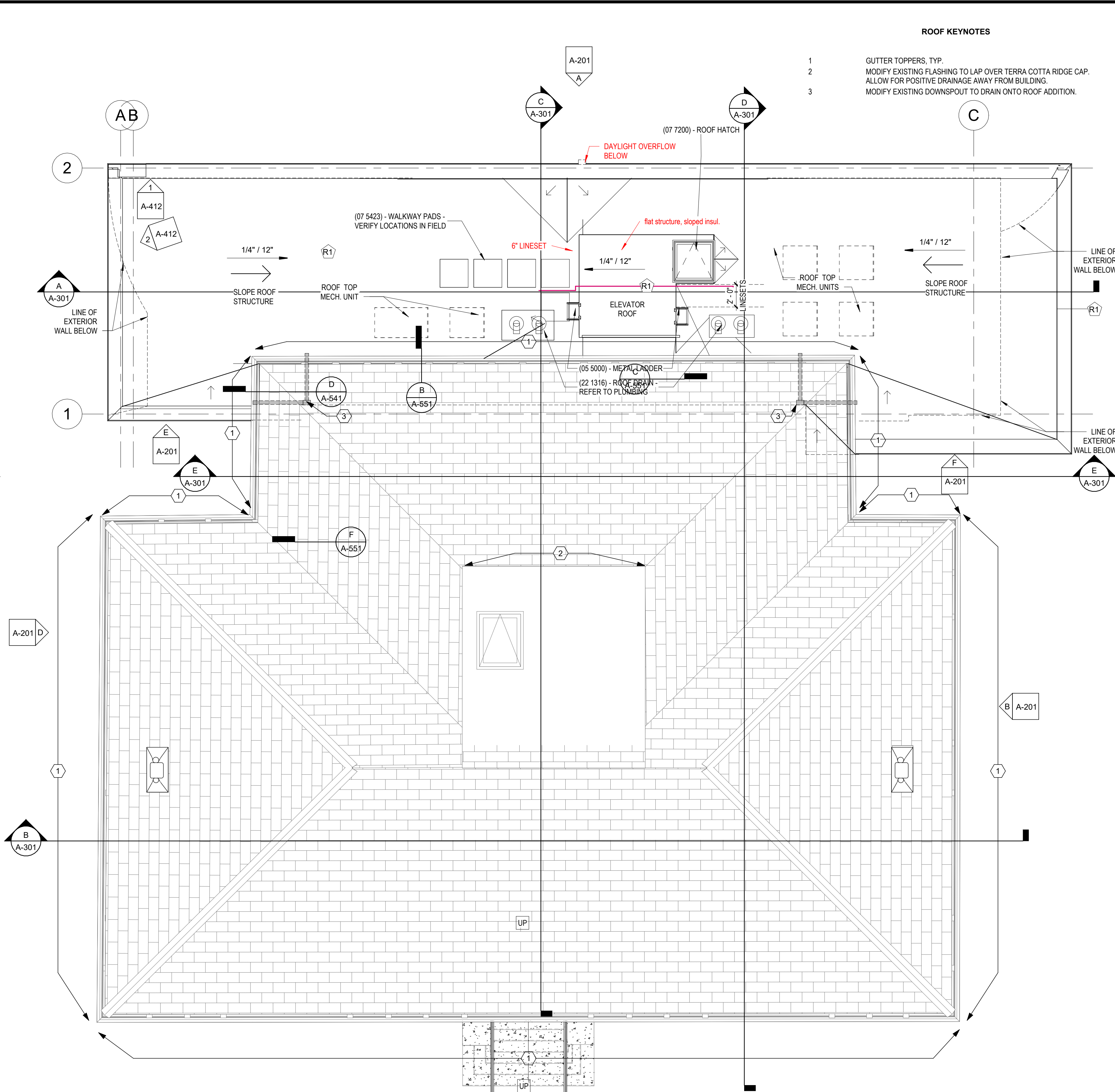
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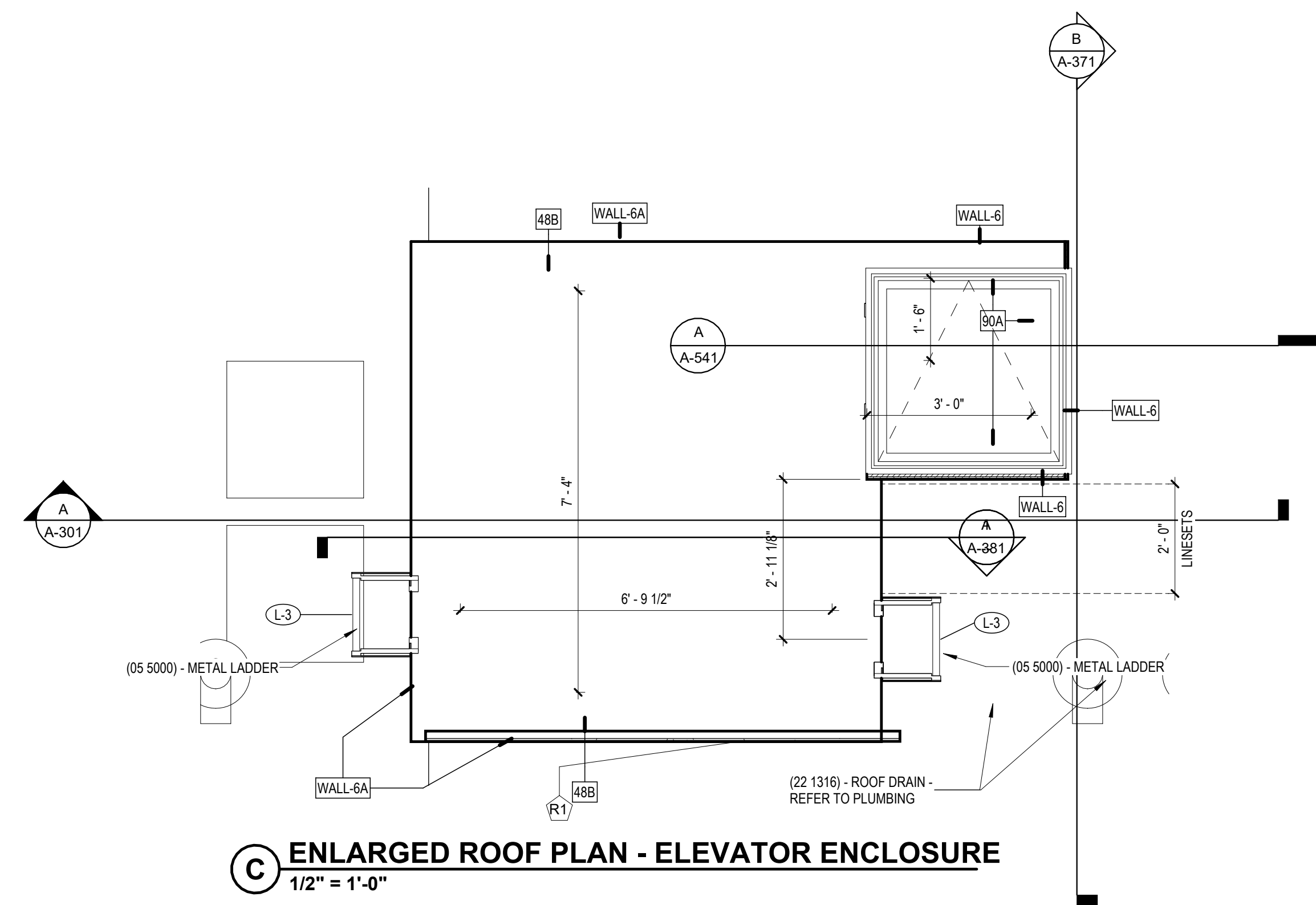
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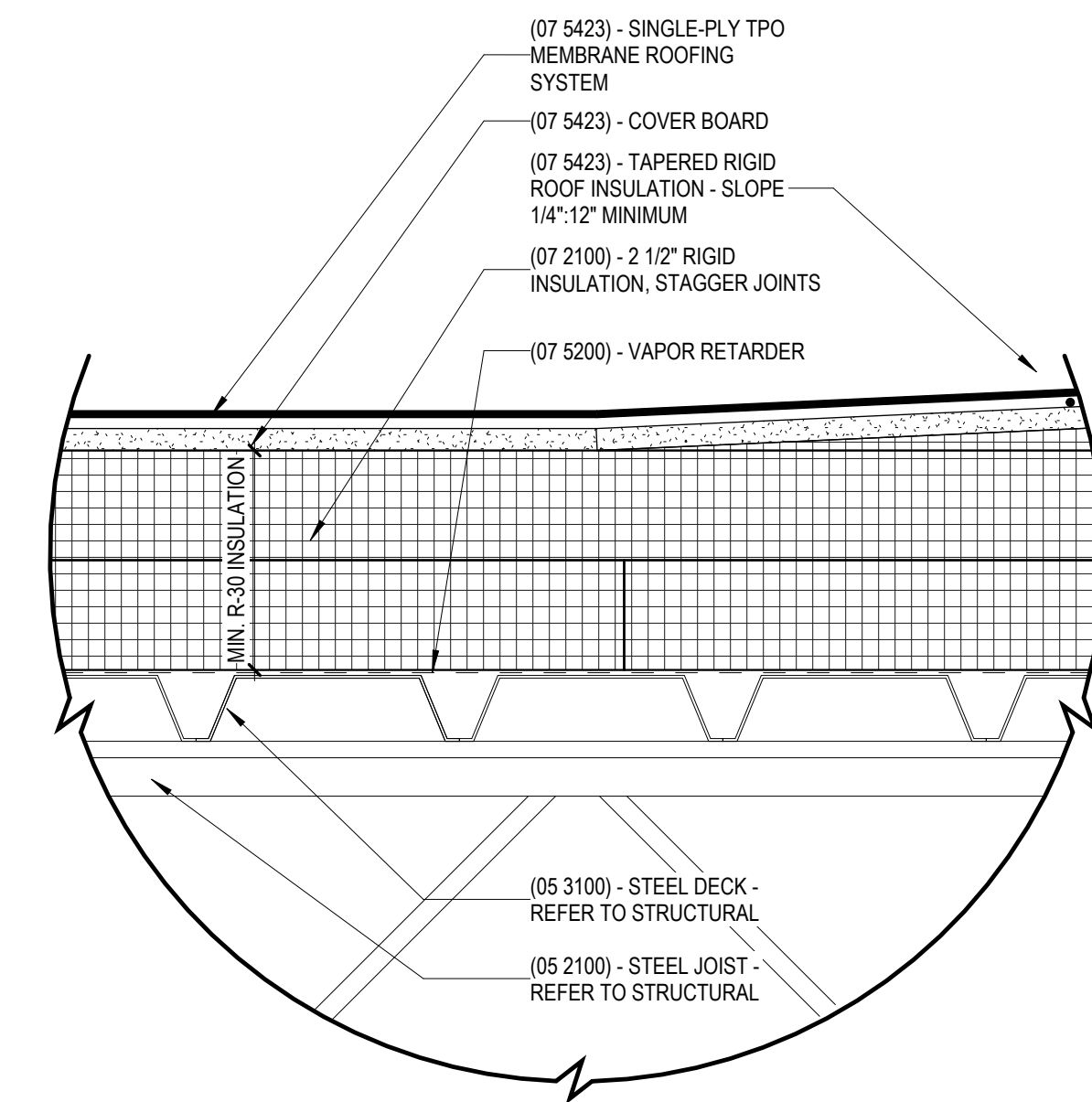
A ATTIC
3/16" = 1'-0"



B ROOF PLAN
3/16" = 1'-0"

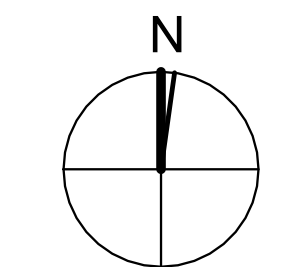


C ENLARGED ROOF PLAN - ELEVATOR ENCLOSURE
1/2" = 1'-0"



D ROOF TYPE - R1
3" = 1'-0"

KEY PLAN

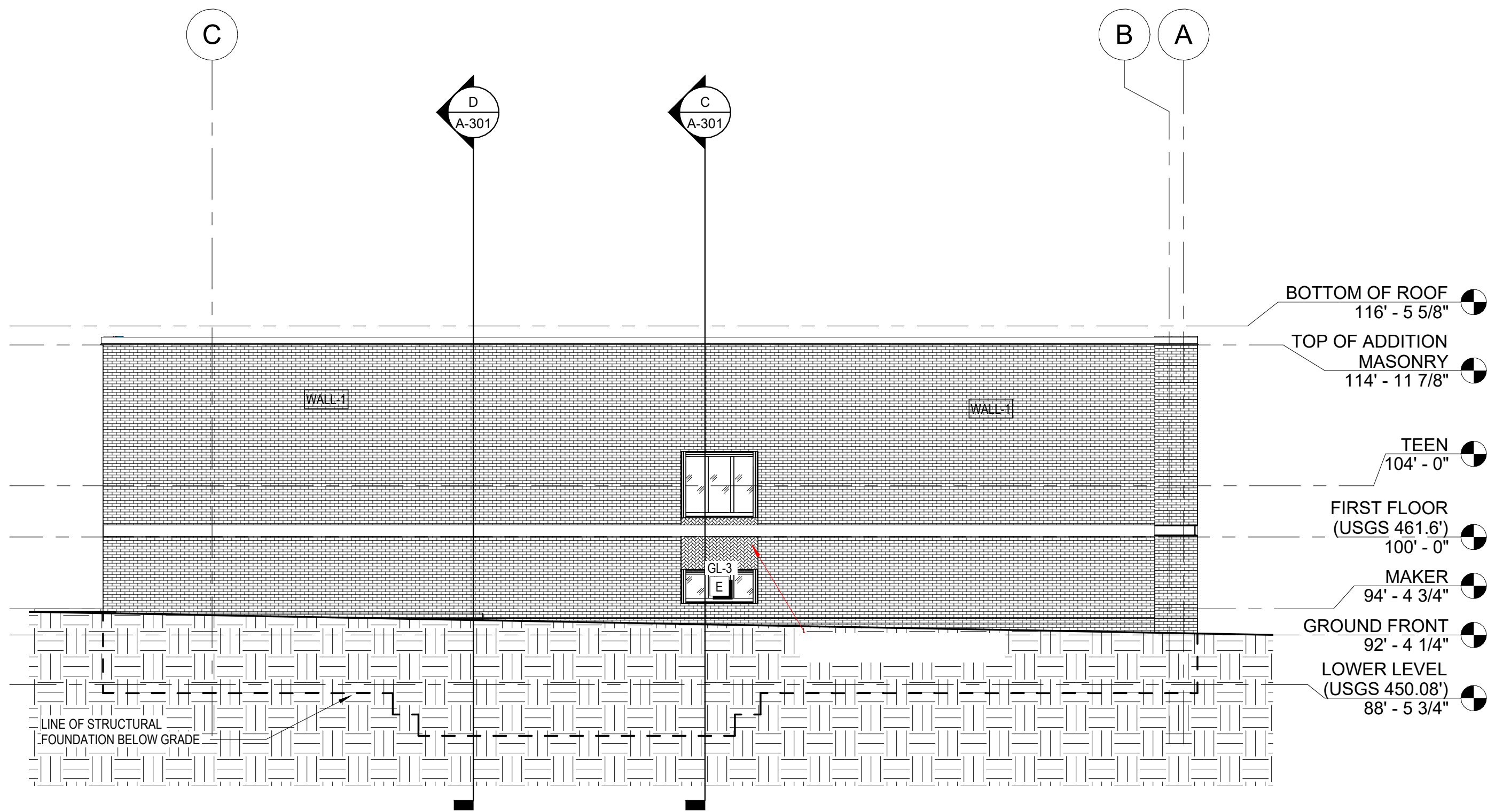


ROOF KEYNOTES

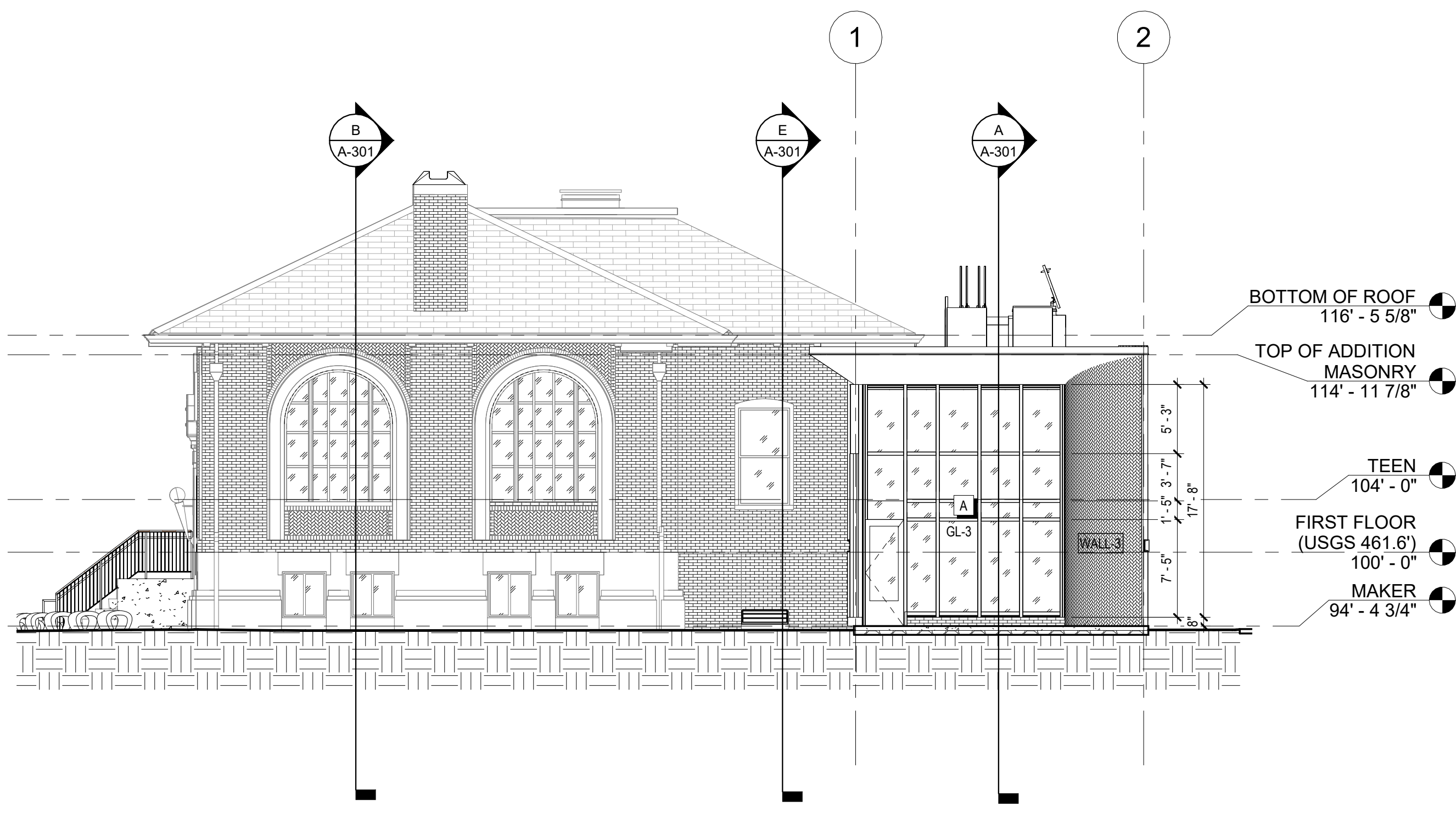
- 1 GUTTER TOPPERS, TYP.
- 2 MODIFY EXISTING FLASHING TO LAP OVER TERRA COTTA RIDGE CAP.
- 3 ALLOW FOR POSITIVE DRAINAGE AWAY FROM BUILDING.

No.	Description	Date

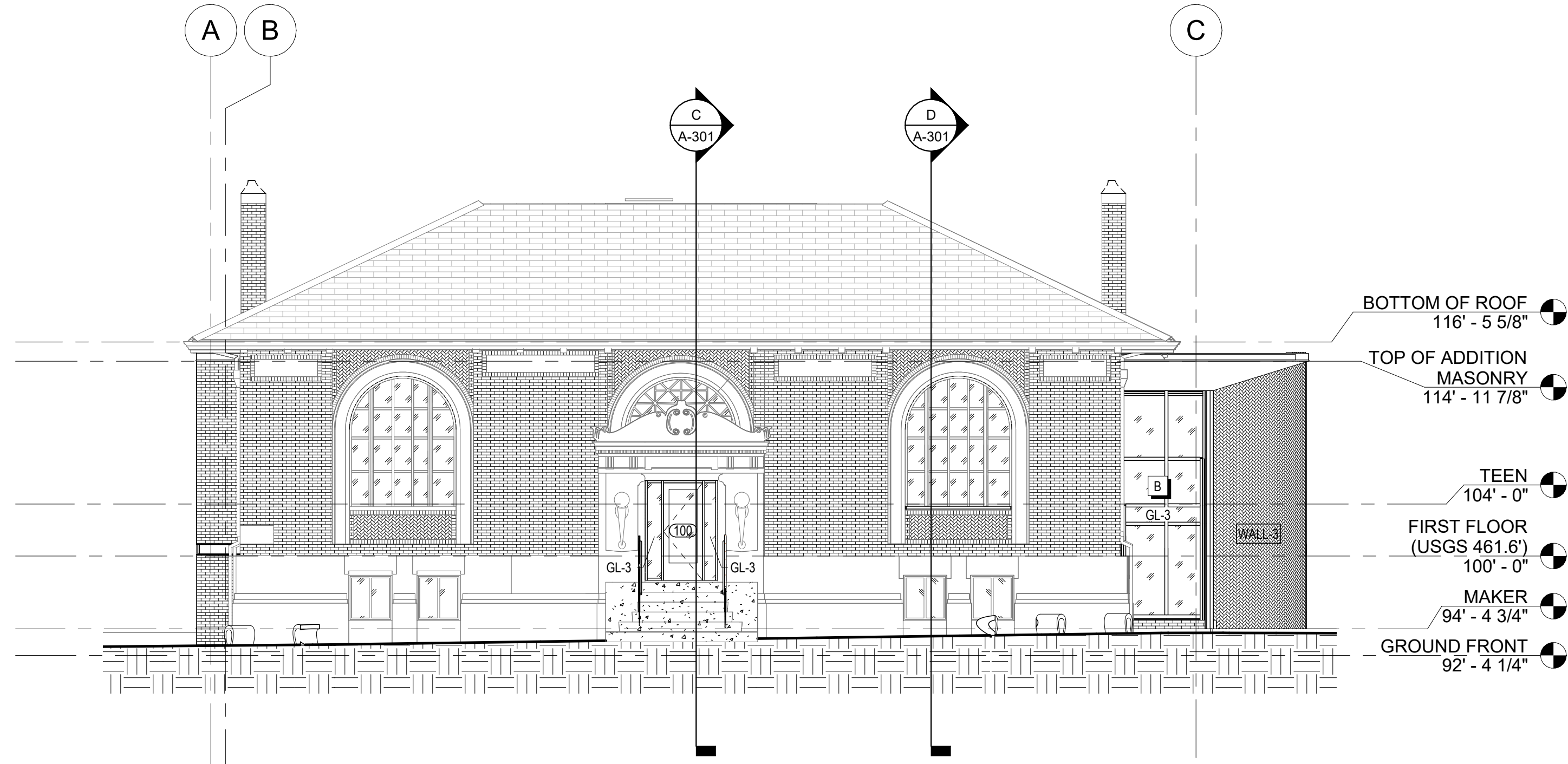
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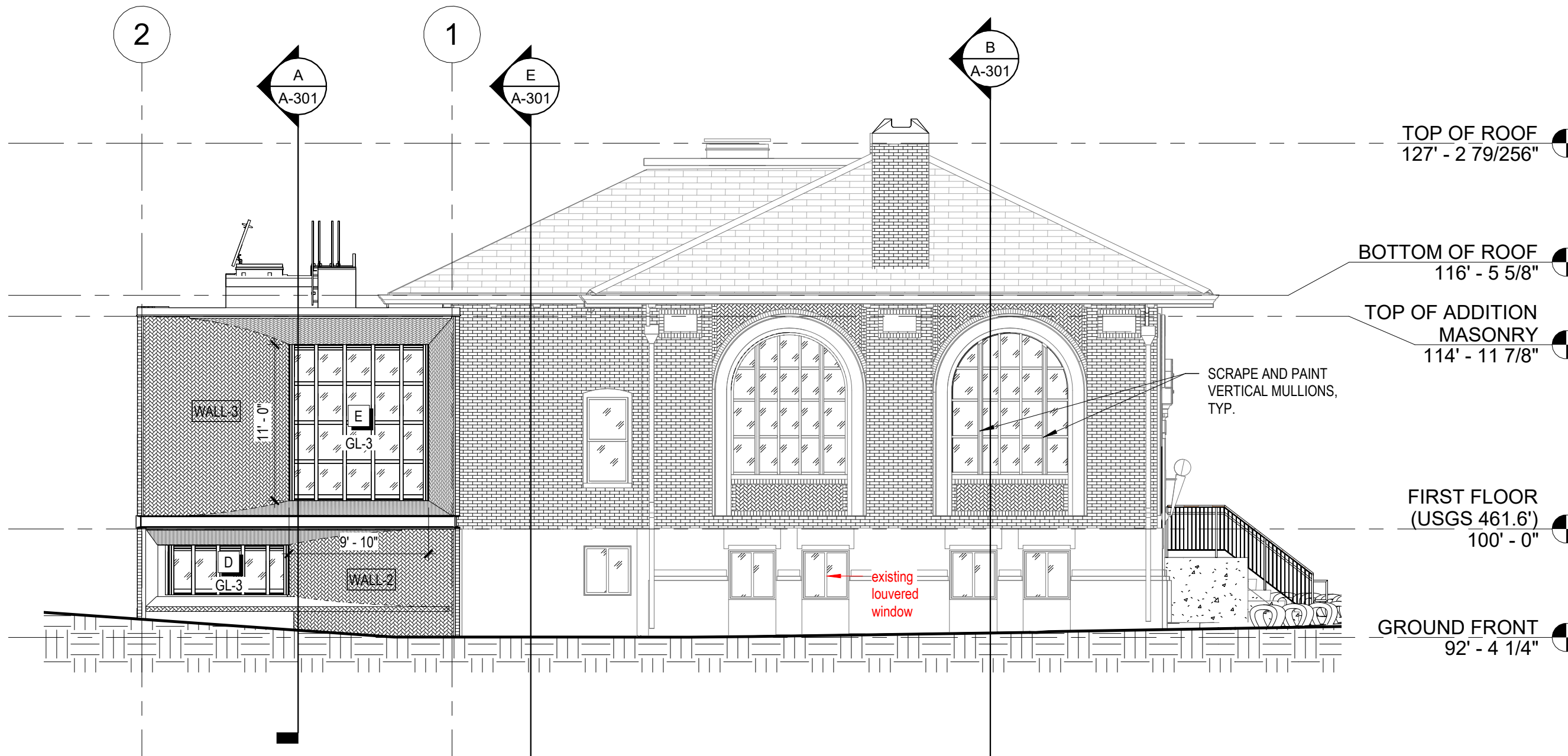
A NORTH BUILDING ELEVATION
1/8" = 1'-0"



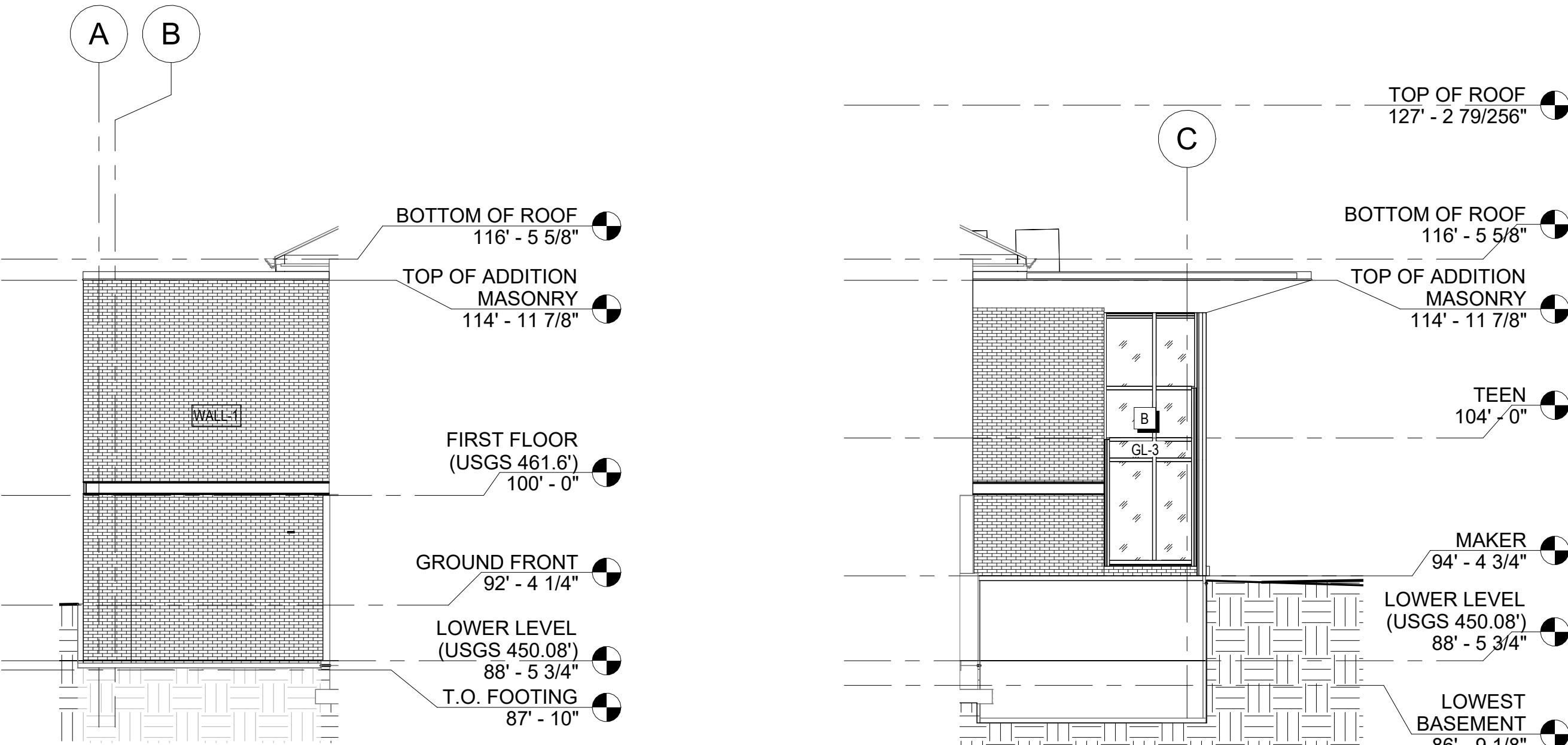
B EAST BUILDING ELEVATION
1/8" = 1'-0"



C SOUTH BUILDING ELEVATION
1/8" = 1'-0"



D WEST BUILDING ELEVATION
1/8" = 1'-0"

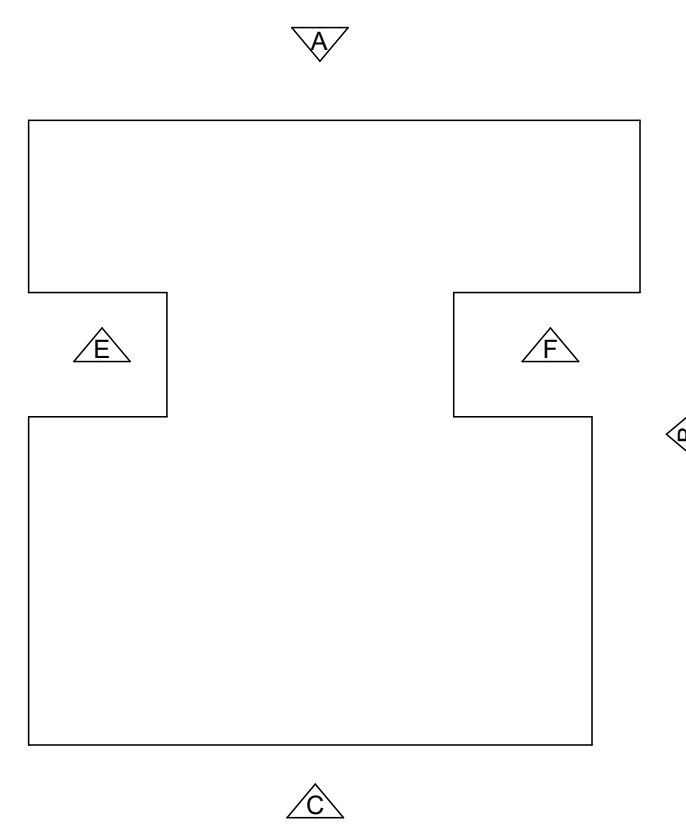
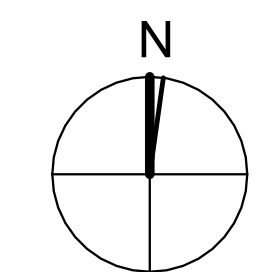


E BUILDING ELEVATION E
1/8" = 1'-0"

F BUILDING ELEVATION F
1/8" = 1'-0"

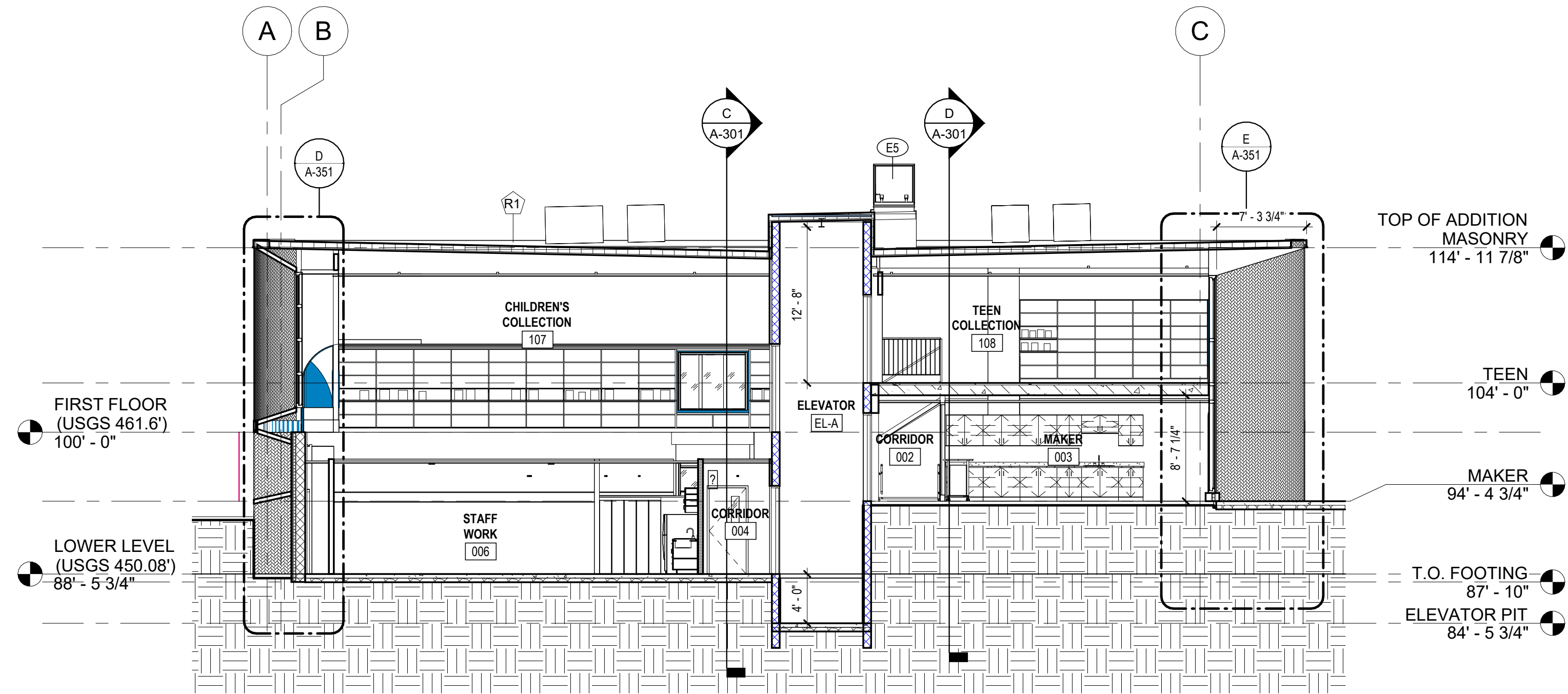
GLAZING SCHEDULE		
MARK	TYPE	
GL-1	1/4" CLEAR TEMPERED	
GL-2	1/2" CLEAR TEMPERED	
GL-3	1" INSULATED, CLEAR TEMPERED	
GL-4	DONOR GLASS - TBD	

KEY PLAN

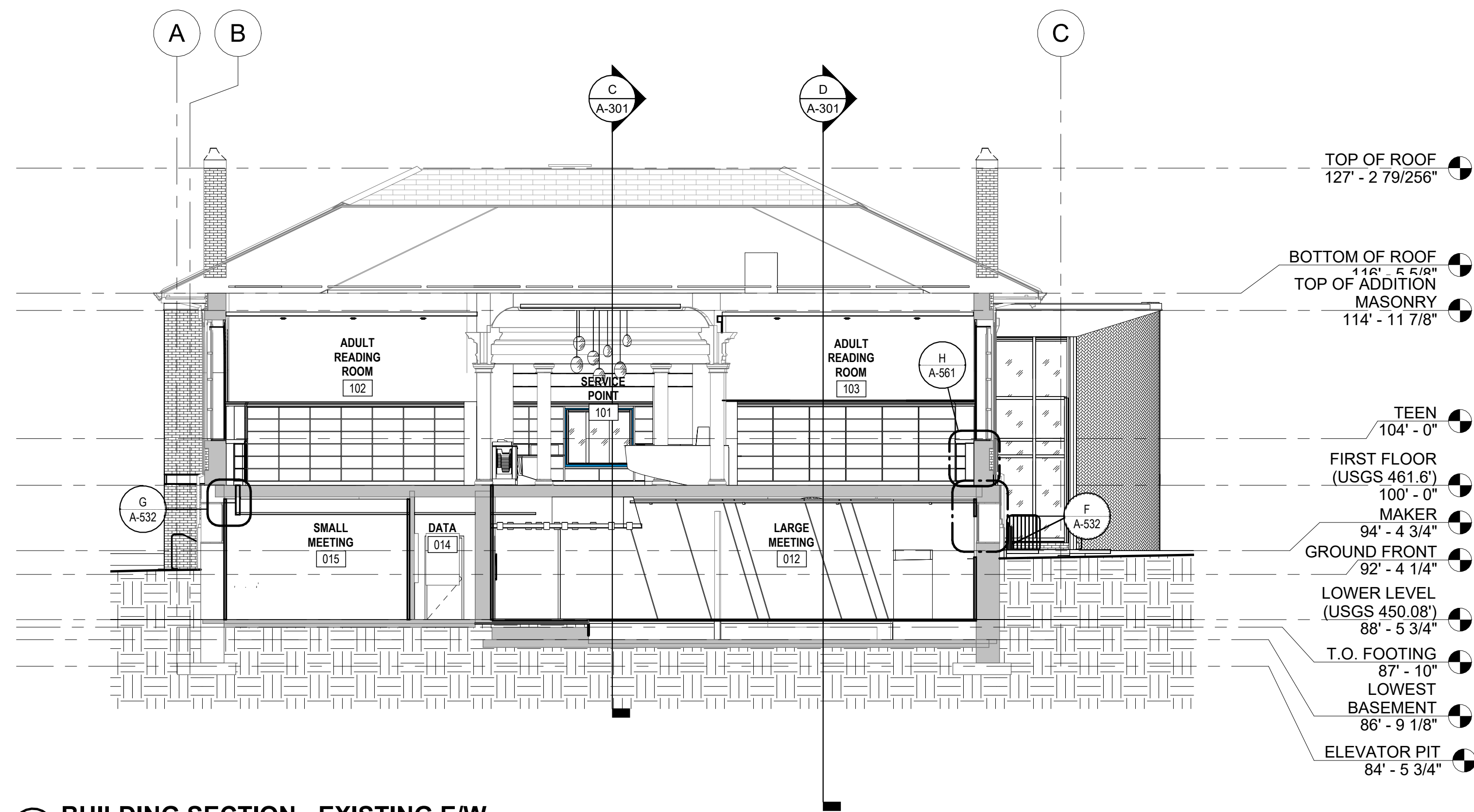


REVISIONS		
No.	Description	Date

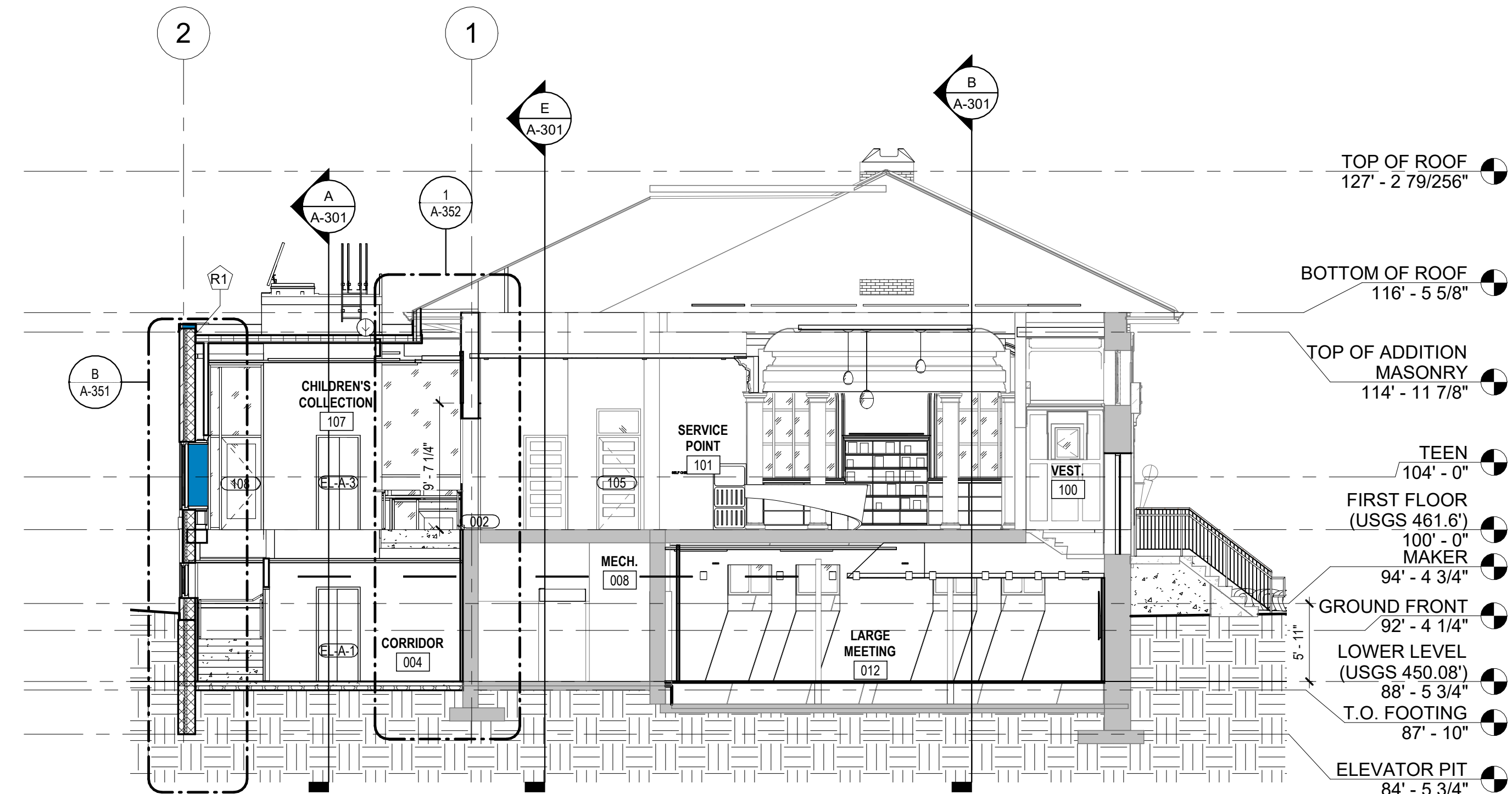
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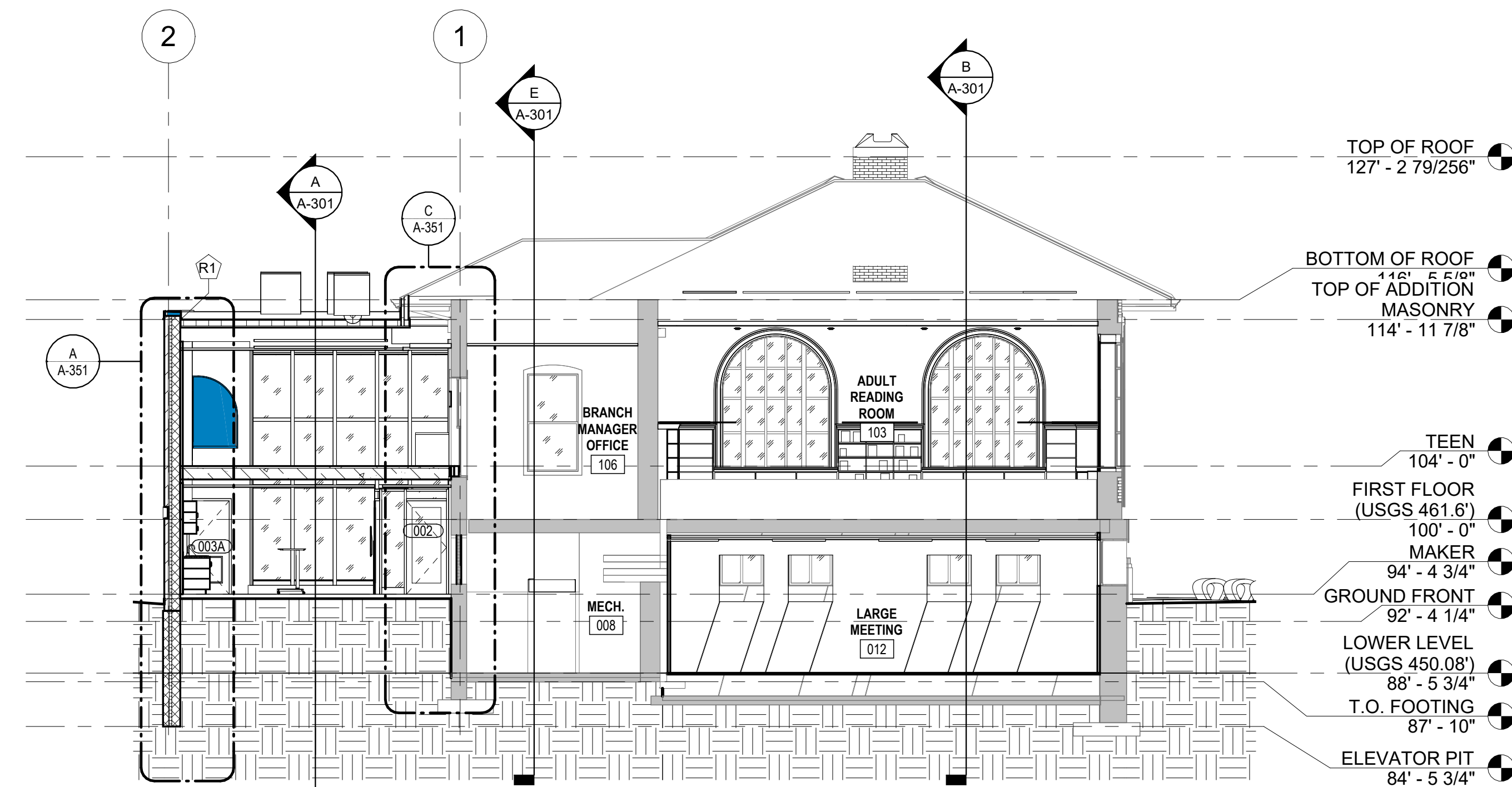
A BUILDING SECTION - NEW ADDITION E/W
1/8" = 1'-0"



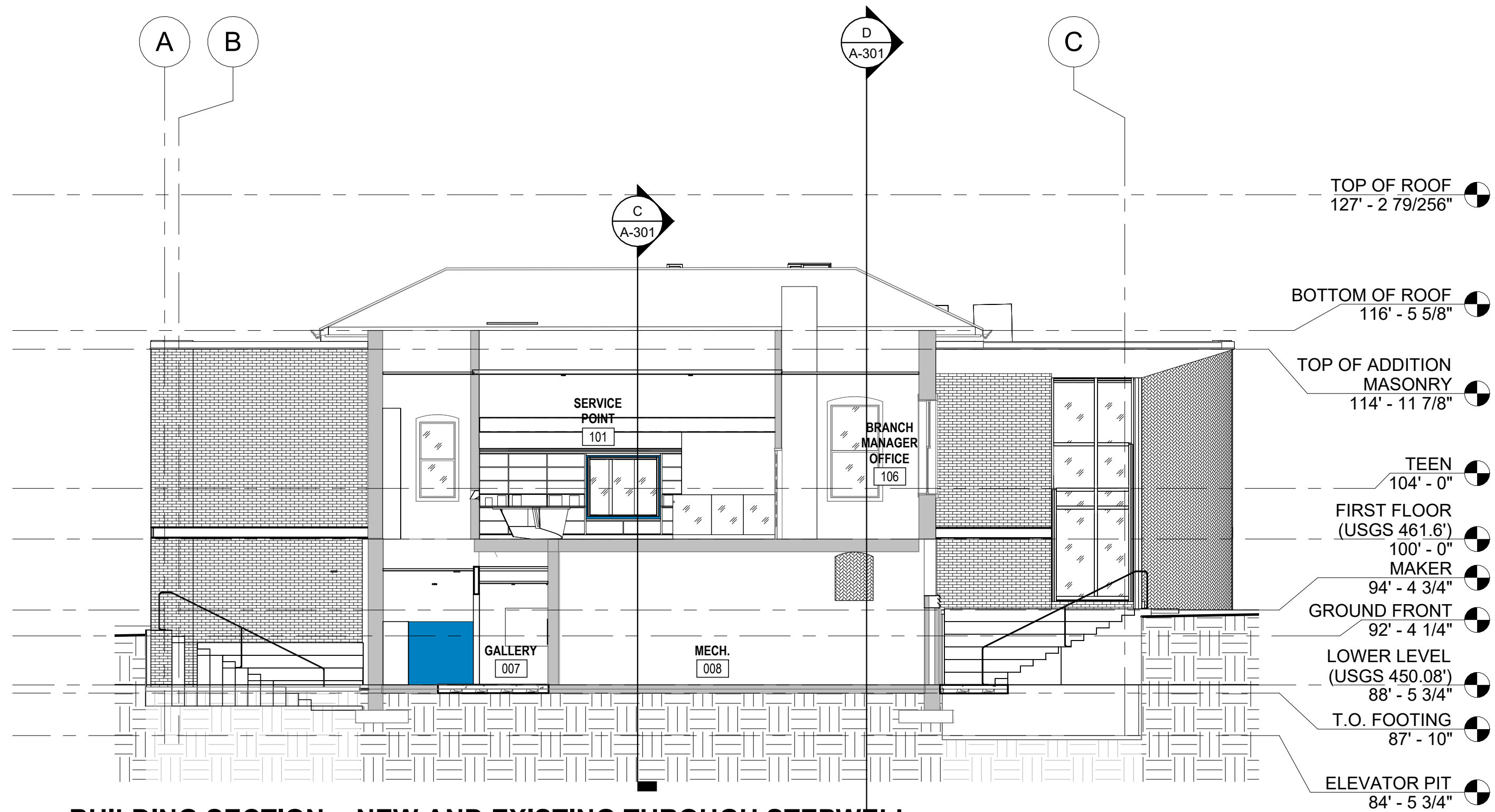
B BUILDING SECTION - EXISTING E/W
1/8" = 1'-0"



C BUILDING SECTION- NEW AND EXISTING N/S
1/8" = 1'-0"

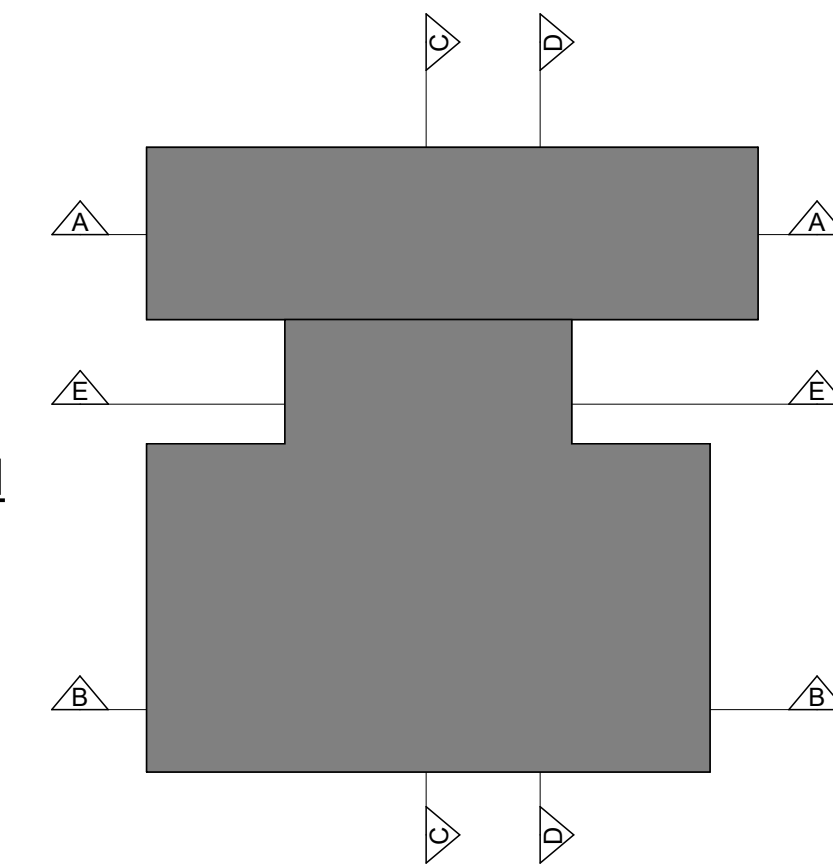
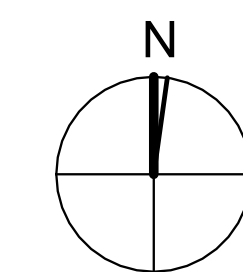


D BUILDING SECTION- NEW AND EXISTING N/S
1/8" = 1'-0"



E BUILDING SECTION - NEW AND EXISTING THROUGH STEPWELL
1/8" = 1'-0"

KEY PLAN

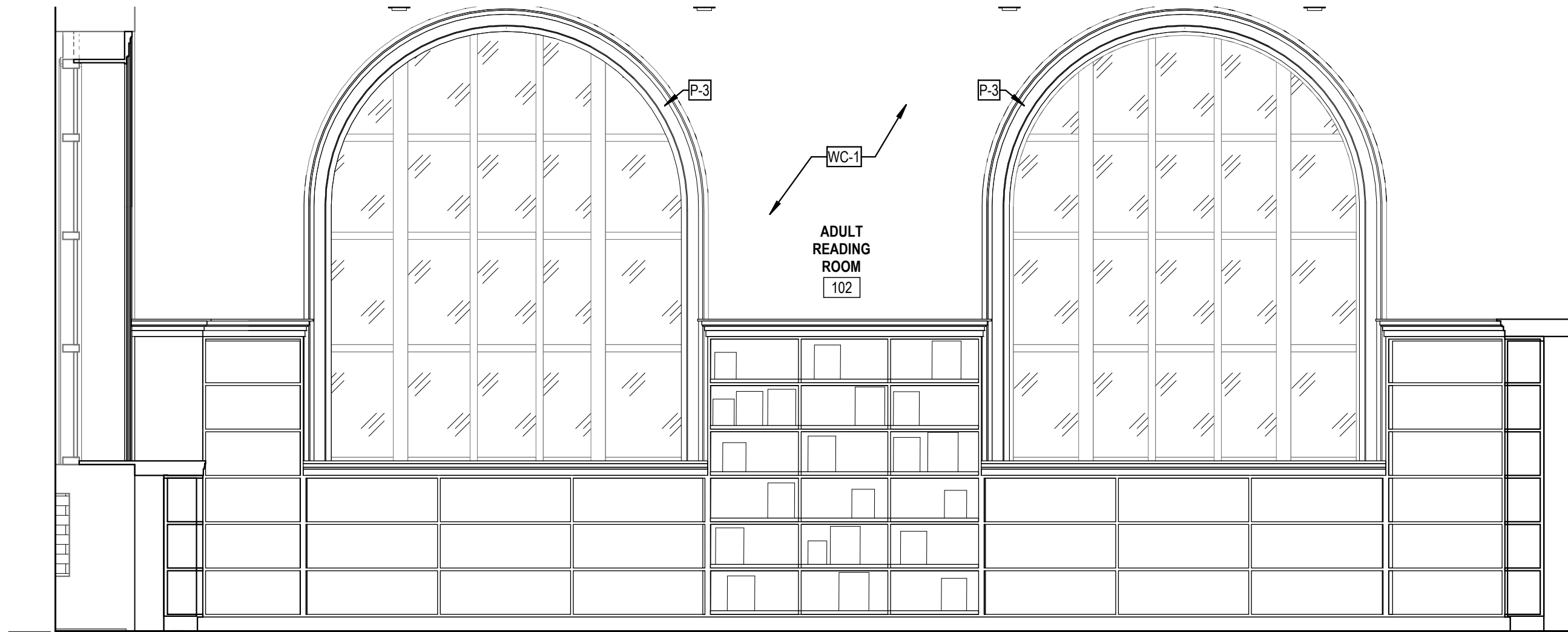


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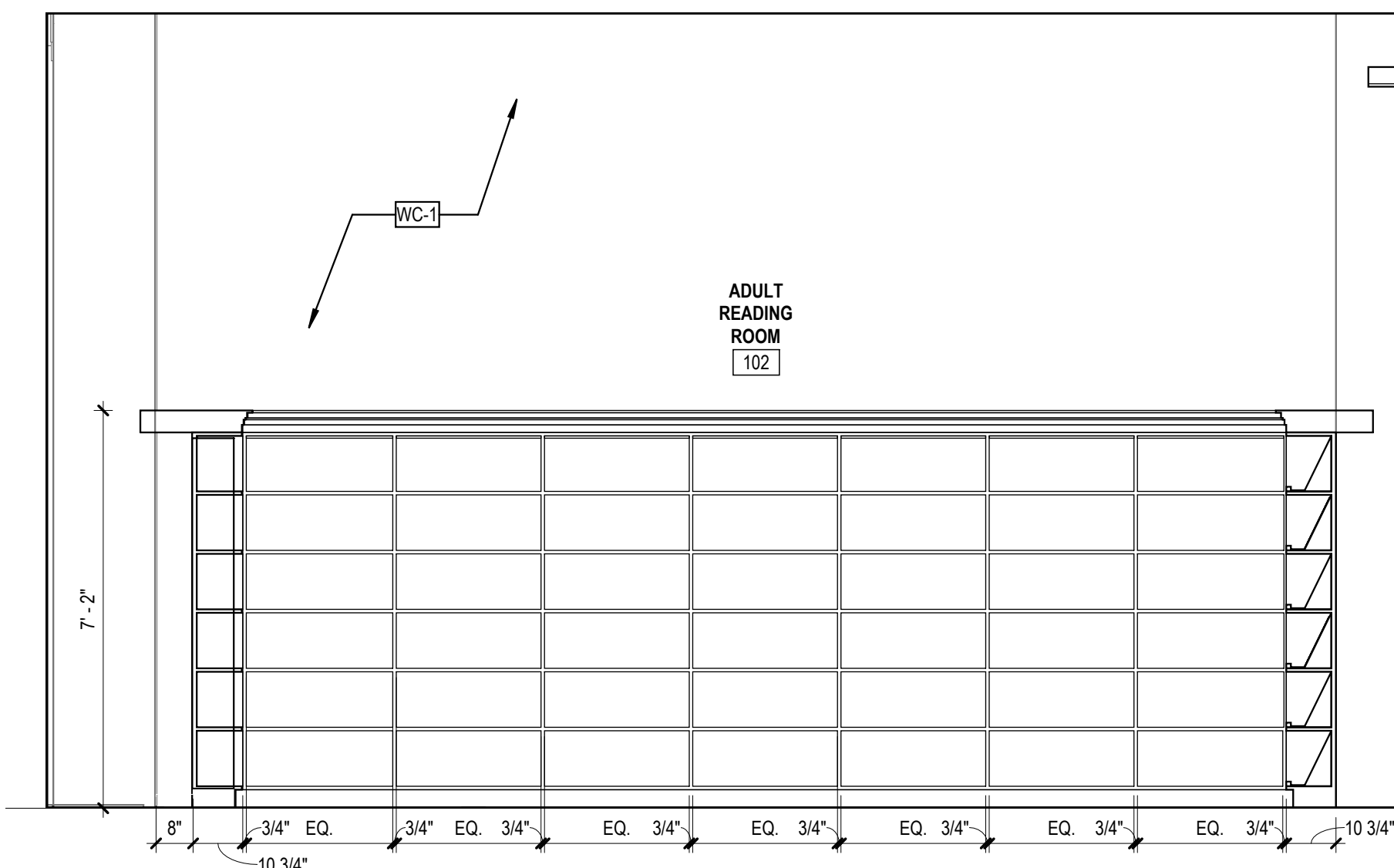
A ADULT READING ROOM 102 EAST
3/8" = 1'-0"



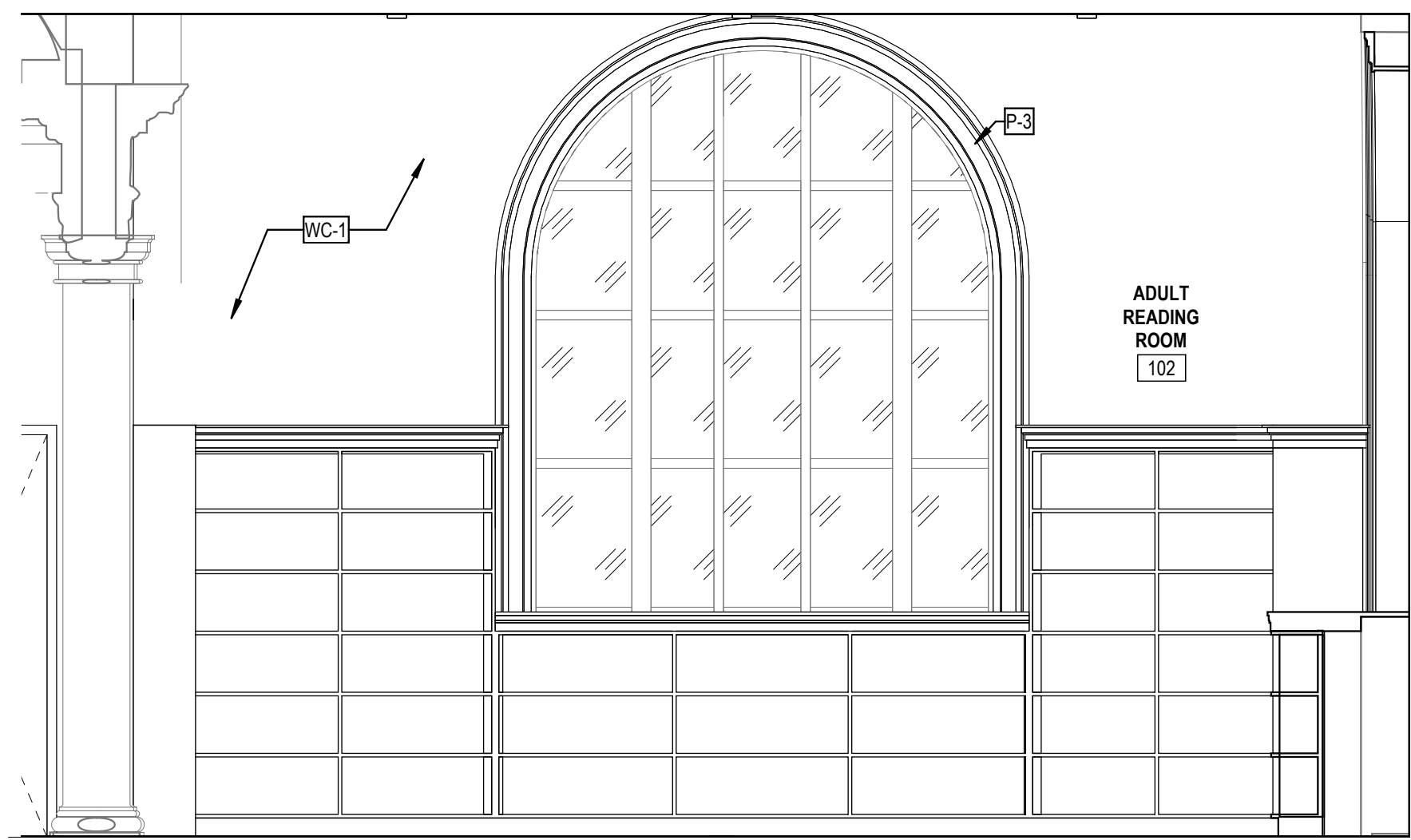
B ADULT READING ROOM 102 WEST
3/8" = 1'-0"

SPECIALTIES & EQUIPMENT SCHEDULE			
MARK	DESCRIPTION	PROVIDED BY	COMMENTS
10 2800 - TOILET ACCESSORY			
T1	GRAB BAR SET - 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
T3	DYSON AIRBLADE V HANDRYER	C.F.C.I.	
T4	SOAP DISPENSER - SURFACE MOUNTED, VERTICAL	O.F.O.I.	
T5	FRAMED MIRROR - 18" x 30"	C.F.C.I.	
T7	BABY CHANGING STATION	C.F.C.I.	
T8	ADULT CHANGING STATION	C.F.C.I.	
T9	JUNIBO BATH TISSUE DISPENSER - SINGLE ROLL	C.F.C.I.	
T10	BOBRICK B-2260 STANDING TRASH CAN	C.F.C.I.	
11 3100 - RESIDENTIAL APPLIANCES			
A1	REFRIGERATOR - TOP FREEZER	O.F.O.I.	
A2	MICROWAVE	O.F.O.I.	
11 5116 - BOOK DEPOSITORY			
BOOK DEPOSITORY			
EQUIPMENT			
E1	MULTI-FUNCTION PRINTER/COPIER	O.F.O.I.	
E2	COPPER	O.F.O.I.	
E4	General purpose access door for all surface types	C.F.C.I.	
E5	ROOF HATCH	C.F.C.I.	
E7	EMPLOYEE LOCKER	C.F.C.I.	
E8A	TV - 60"	O.F.O.I.	
E8B	TV - 50"	O.F.O.I.	
E9	LAPTOP KIOSK	O.F.O.I.	
VERTICAL LADDER			
L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
L3	EXTERIOR ROOF LADDER	C.F.C.I.	

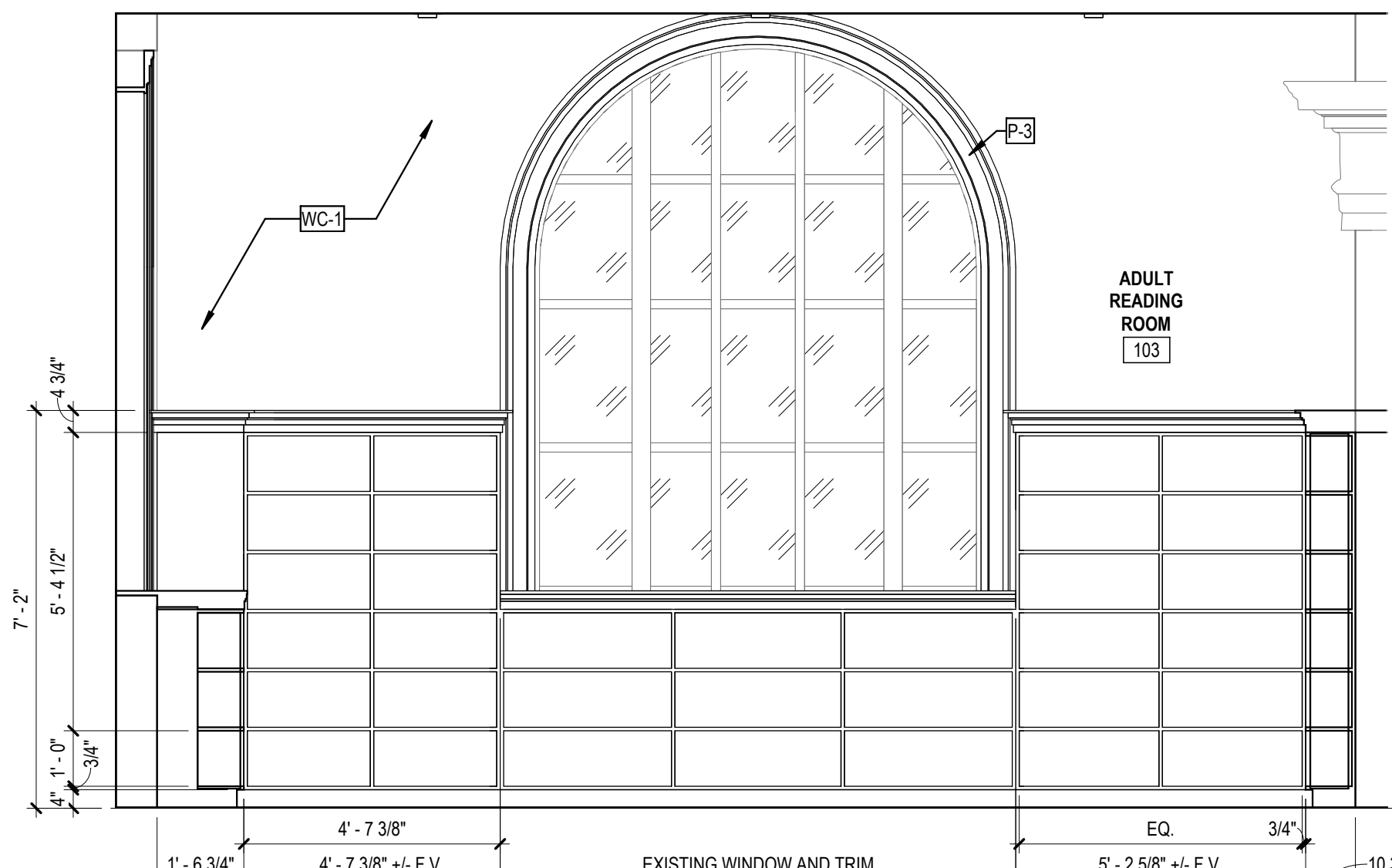
FIRST FLOOR
(USGS 461.6')
100' - 0"



C ADULT READING ROOM 102 NORTH
3/8" = 1'-0"

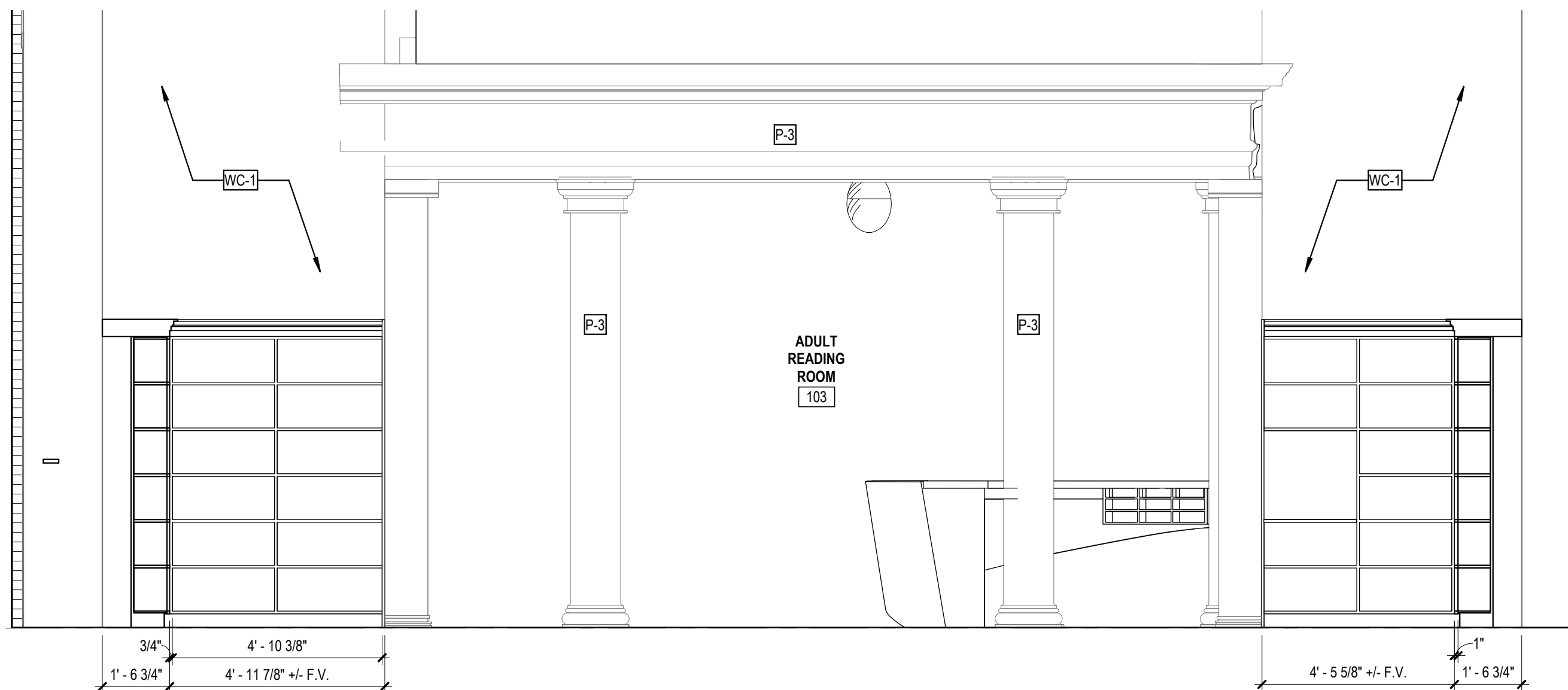


D ADULT READING ROOM 102 SOUTH
3/8" = 1'-0"

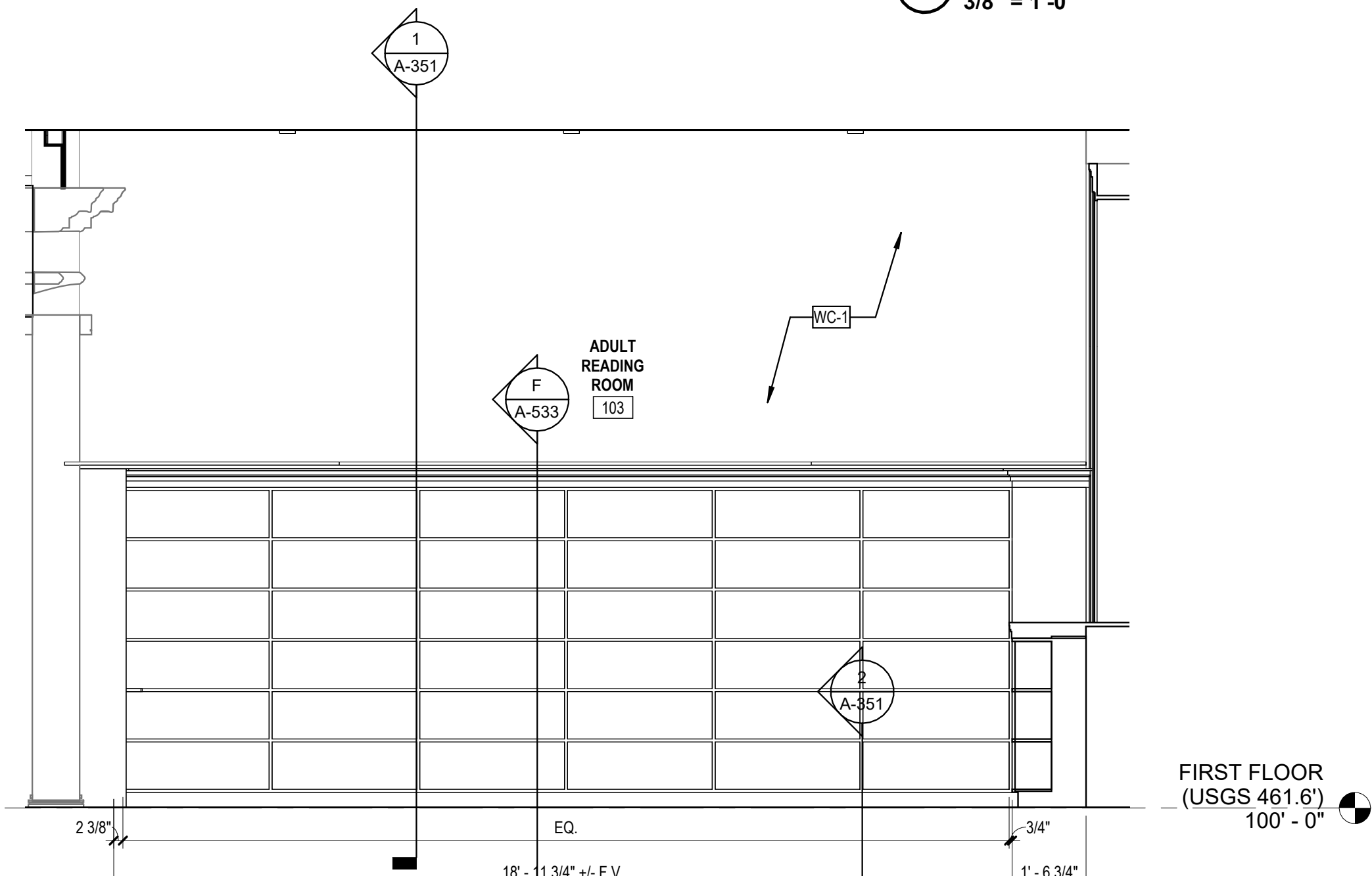


E ADULT READING ROOM 103 SOUTH
3/8" = 1'-0"

FIRST FLOOR
(USGS 461.6')
100' - 0"

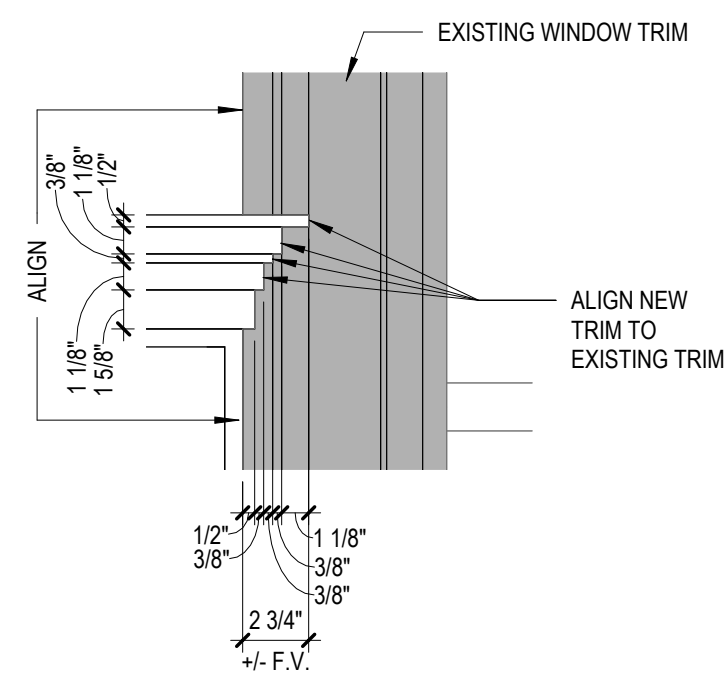


F ADULT READING ROOM 103 WEST
3/8" = 1'-0"

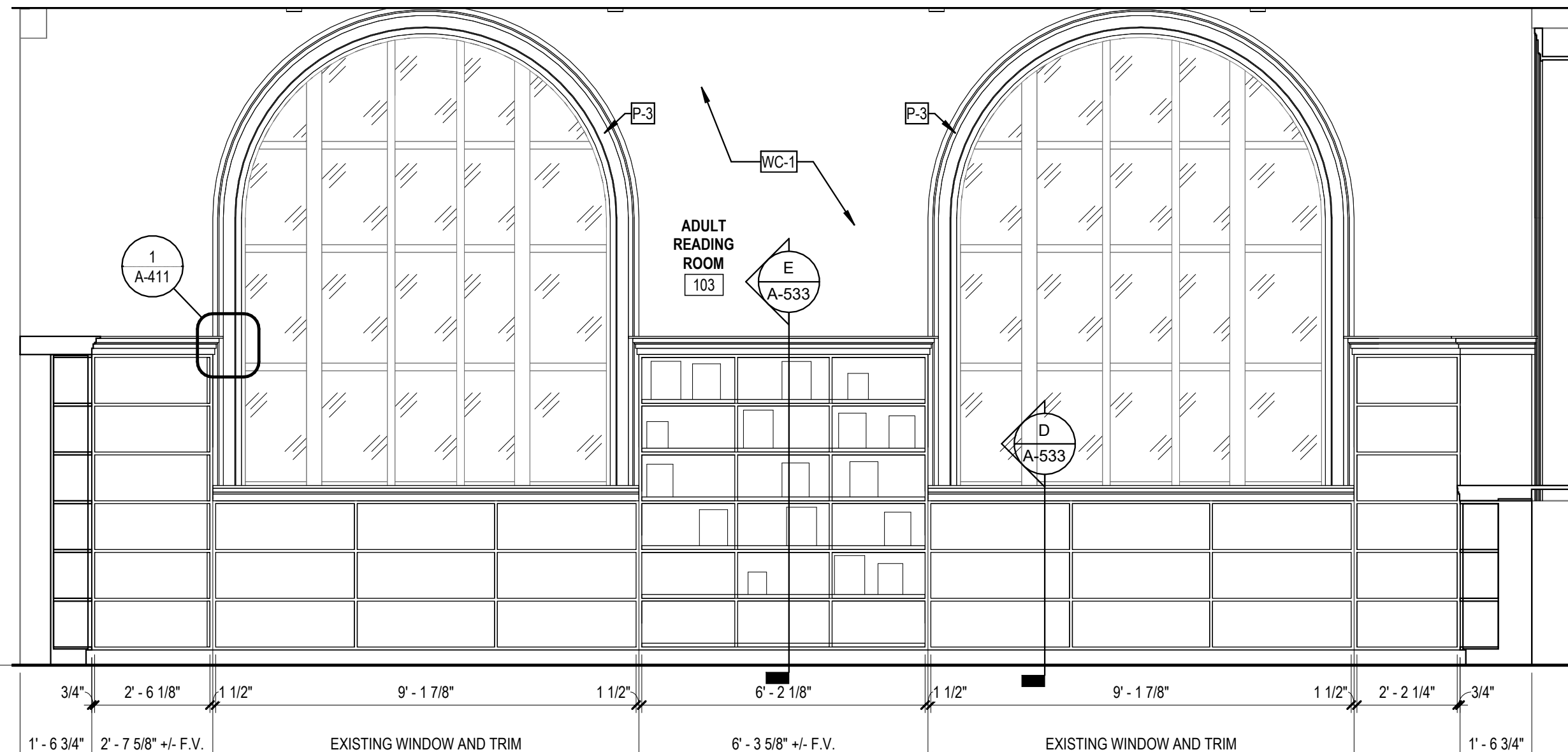


G ADULT READING ROOM 103 NORTH
3/8" = 1'-0"

FIRST FLOOR
(USGS 461.6')
100' - 0"



1 ADULT READING ROOM BOOKSHELF TRIM AT WINDOWS
1 1/2" = 1'-0"

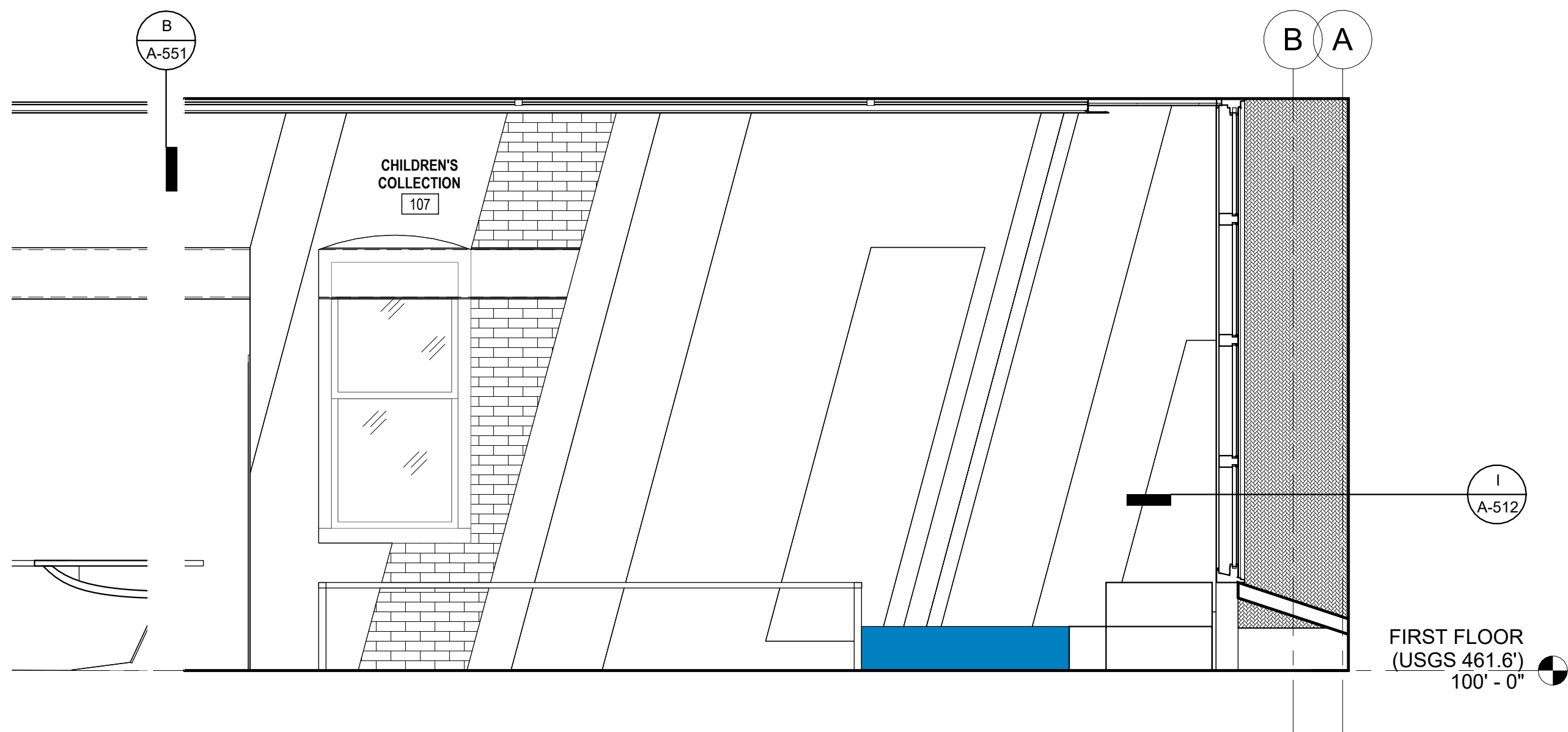


H ADULT READING ROOM 103 EAST
3/8" = 1'-0"

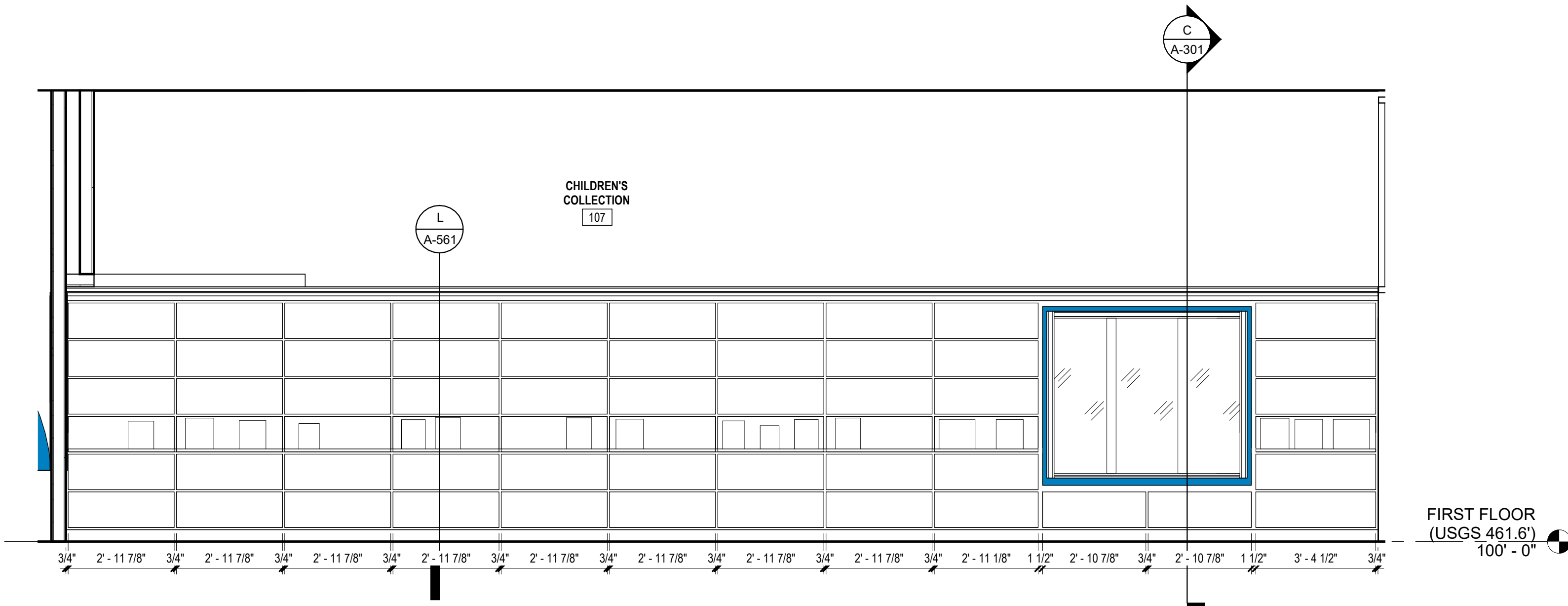
FIRST FLOOR
(USGS 461.6')
100' - 0"

No.	Description	Date

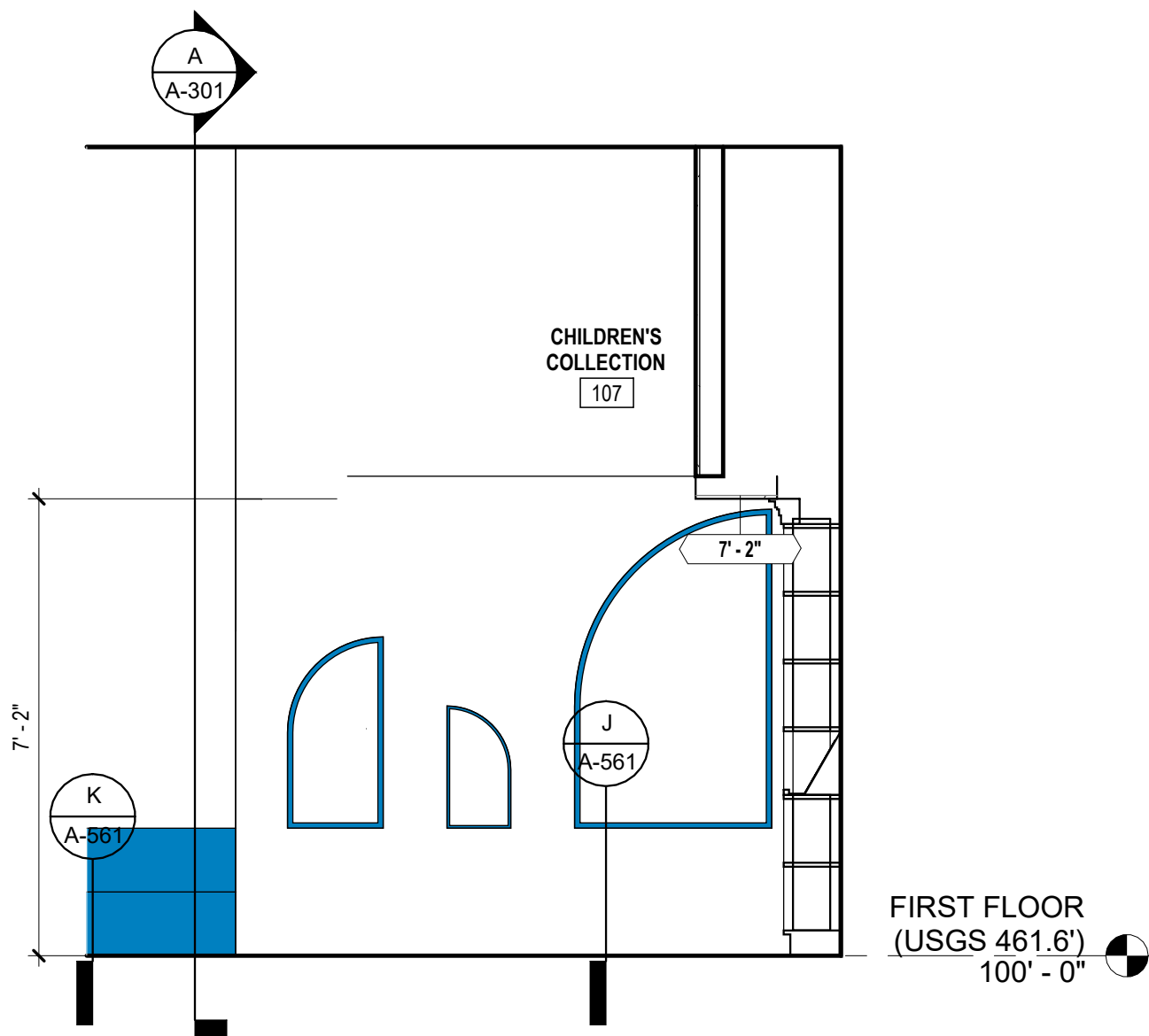
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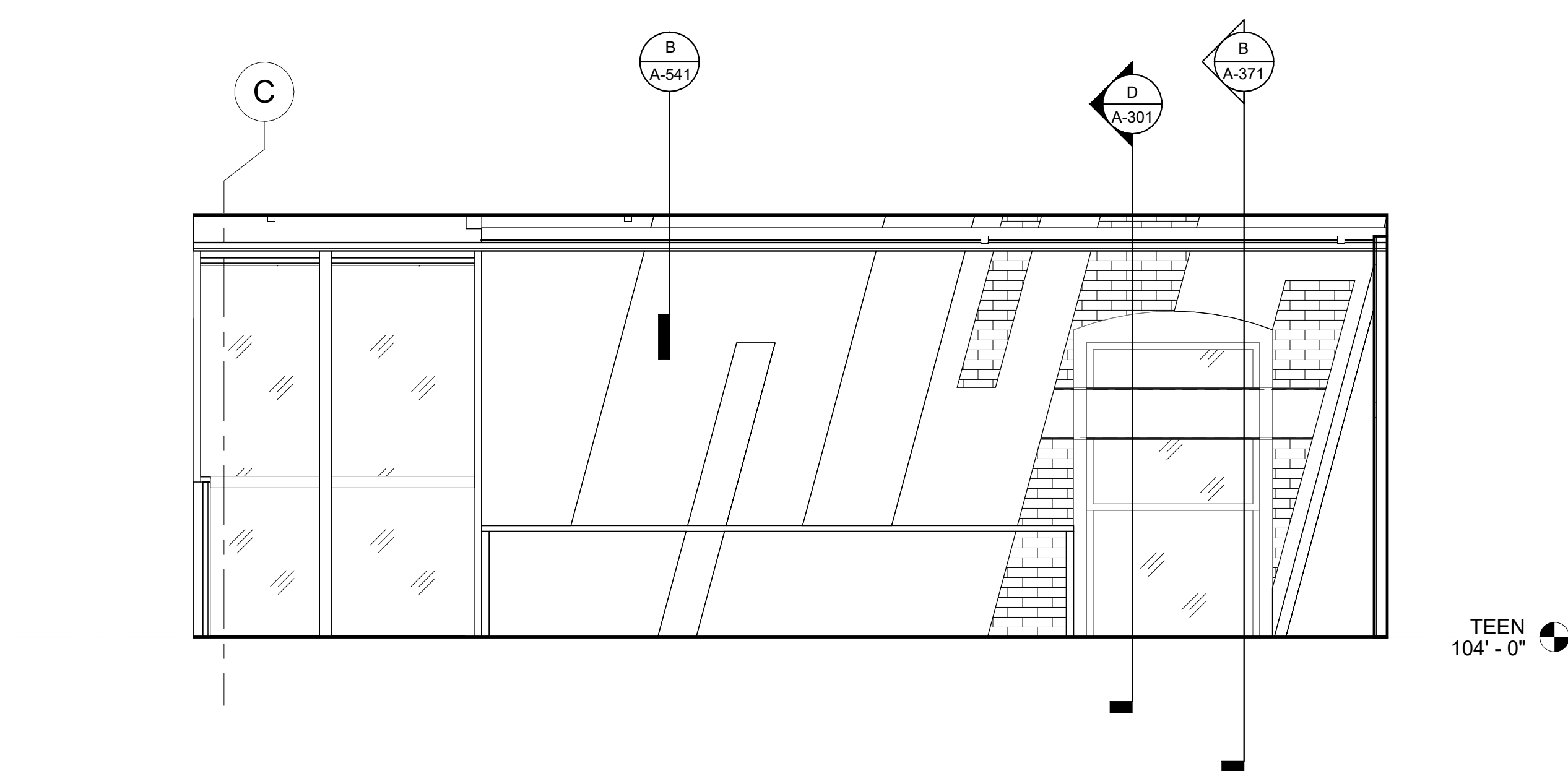
A CHILDREN'S COLLECTION ROOM 107 SOUTH
3/8" = 1'-0"



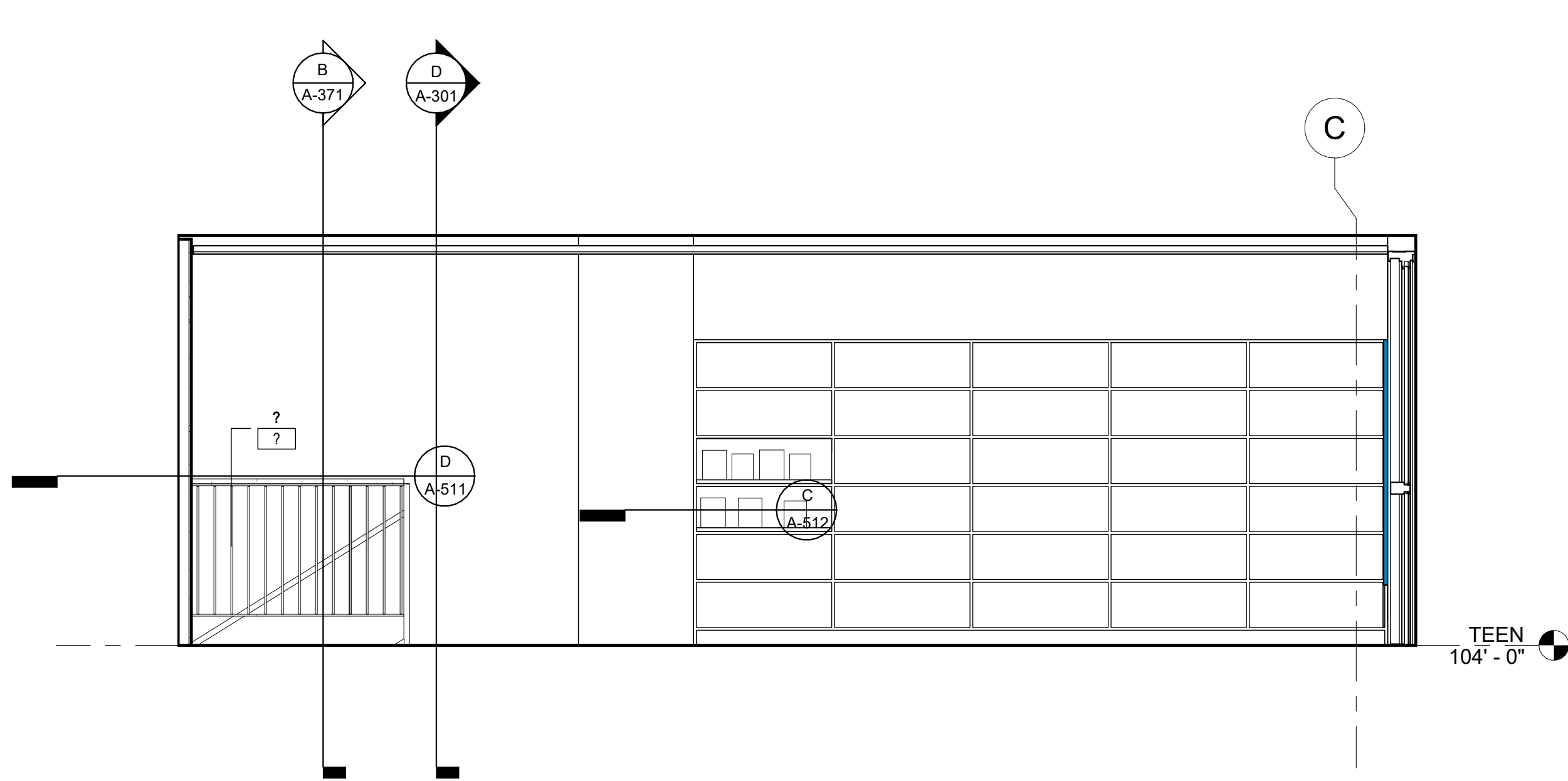
B CHILDREN'S COLLECTION ROOM 107 NORTH
3/8" = 1'-0"



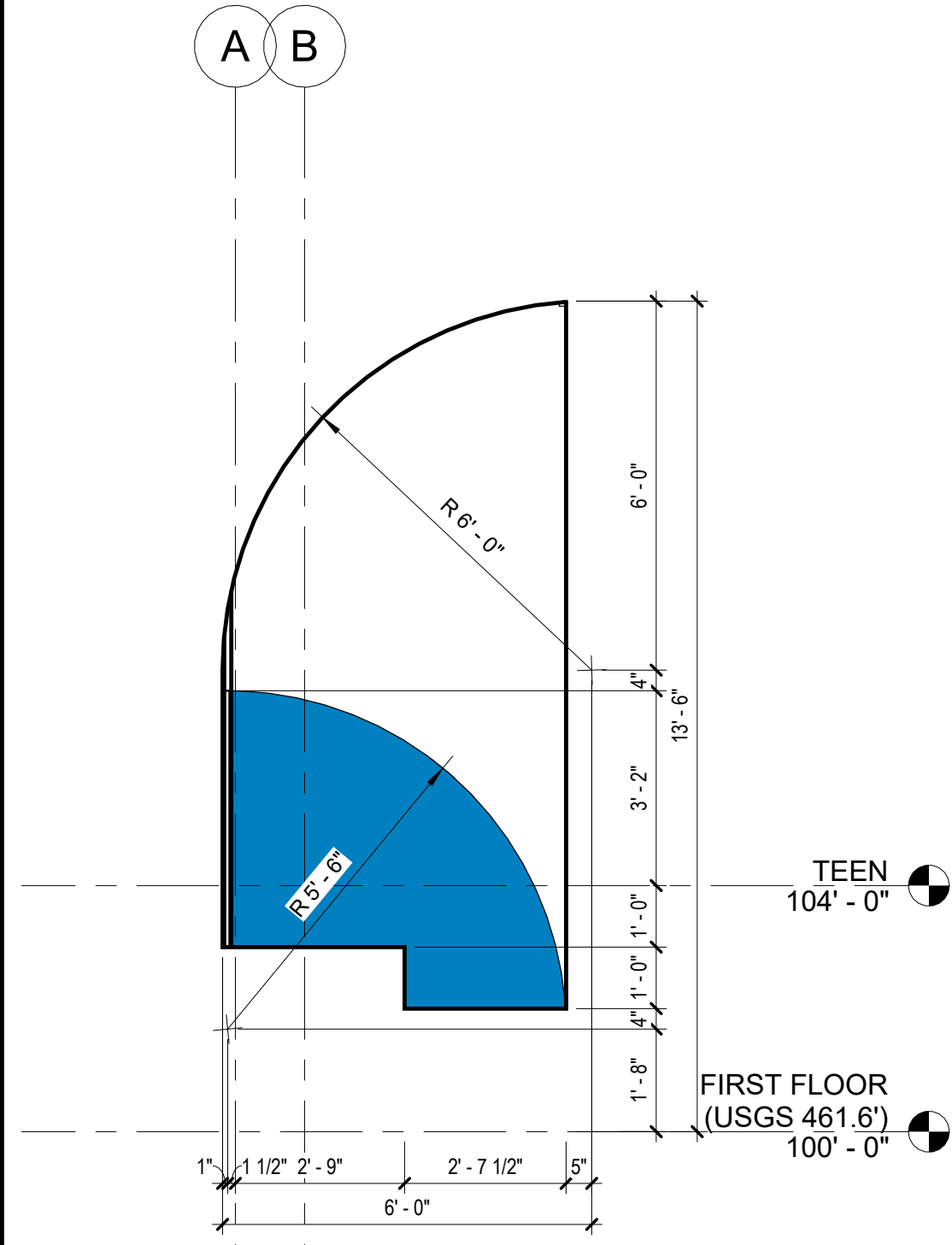
C CHILDREN'S COLLECTION ROOM 107 WEST
3/8" = 1'-0"



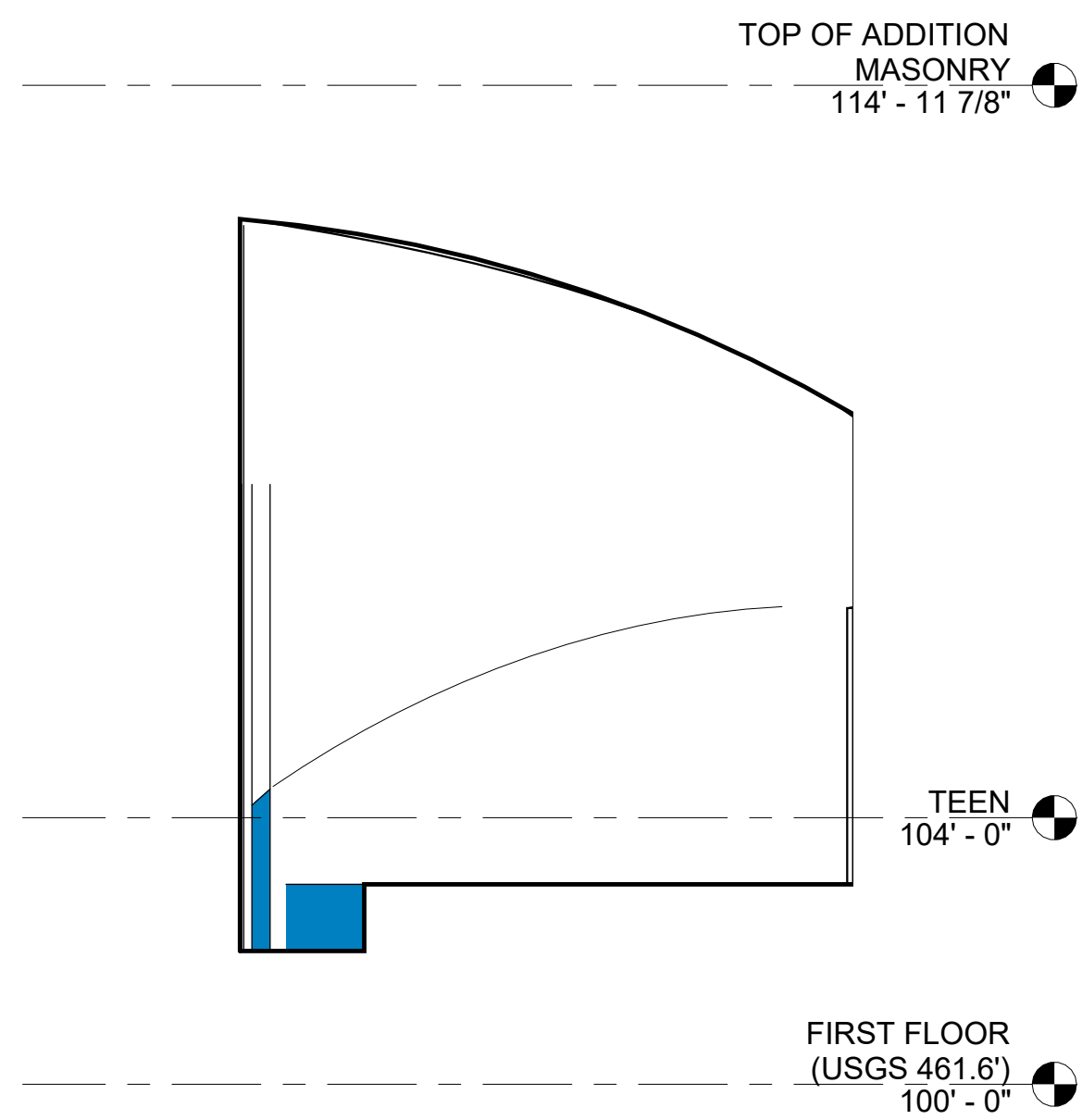
D TEEN COLLECTION ROOM 108 SOUTH
3/8" = 1'-0"



E TEEN COLLECTION ROOM 108 NORTH
3/8" = 1'-0"



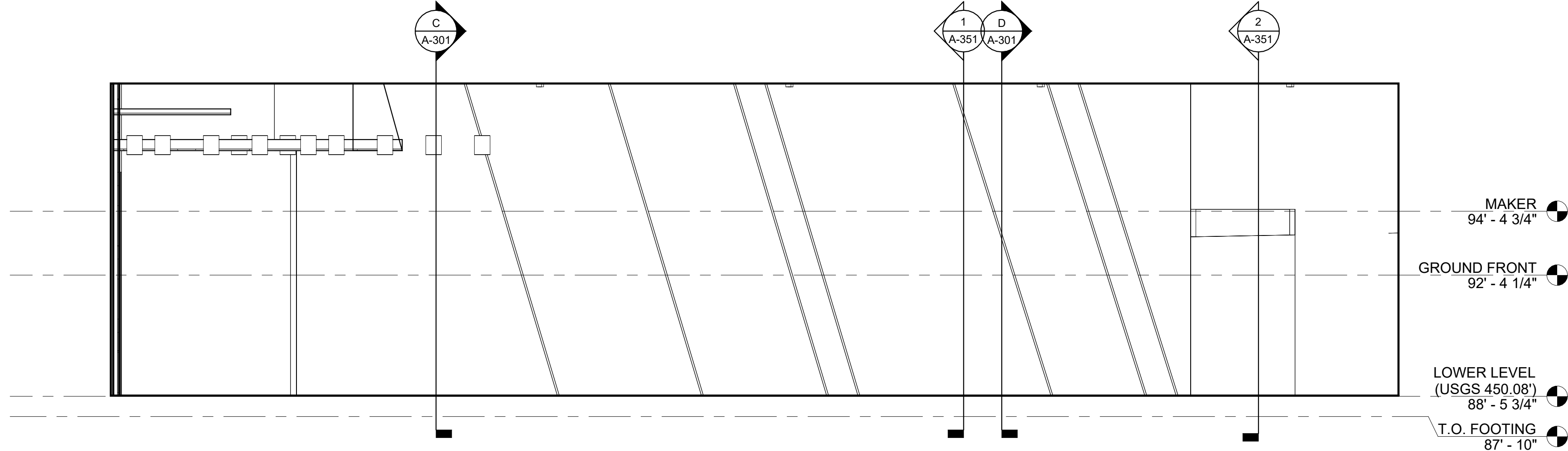
1 CHILDRENS NOOK NORTH ELEVATION
3/8" = 1'-0"



2 CHILDRENS NOOK WALL WEST ELEVATION
3/8" = 1'-0"

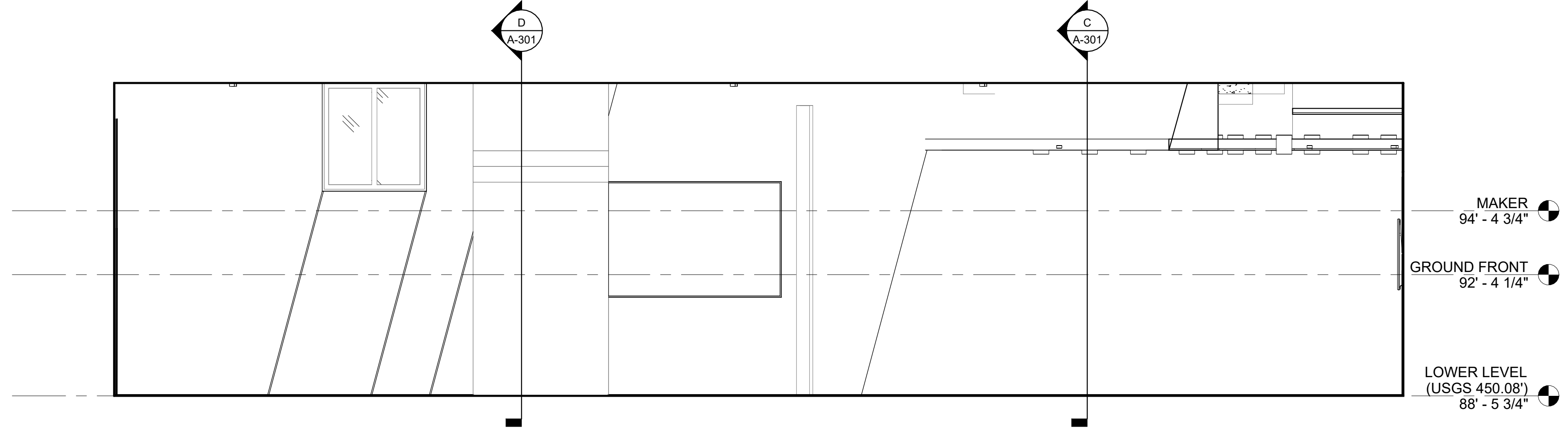
SPECIALTIES & EQUIPMENT SCHEDULE			
MARK	DESCRIPTION	PROVIDED BY	COMMENTS
10 2800 - TOILET ACCESSORY			
T1	GRAB BAR SET - 36" BACK, 42" SIDE, 18" VERTICAL	C.F.C.I.	
T3	DYSON AIRBLADE V HANDDRYER	C.F.C.I.	
T4	SOAP DISPENSER - SURFACE MOUNTED, VERTICAL	O.F.O.I.	
T5	FRAMED MIRROR - 18" x 30"	C.F.C.I.	
T7	BABY CHANGING STATION	C.F.C.I.	
T8	ADULT CHANGING STATION	C.F.C.I.	
T9	JUMBO BATH TISSUE DISPENSER - SINGLE ROLL	C.F.C.I.	
T10	BOBRICK B-2260 STANDING TRASH CAN	C.F.C.I.	
11 3100 - RESIDENTIAL APPLIANCES			
A1	REFRIGERATOR - TOP FREEZER	O.F.O.I.	
A2	MICROWAVE	O.F.O.I.	
11 5116 - BOOK DEPOSITORY			
BOOK DEPOSITORY			
EQUIPMENT			
E1	MULTI-FUNCTION PRINTER/COPIER	O.F.O.I.	
E2	COPIER	O.F.O.I.	
E4	General purpose access door for all surface types	C.F.C.I.	
E5	ROOF HATCH	C.F.C.I.	
E7	EMPLOYEE LOCKER	C.F.C.I.	
E8A	TV - 60"	O.F.O.I.	
E8B	TV - 50"	O.F.O.I.	
E9	LAPTOP KIOSK	O.F.O.I.	
VERTICAL LADDER			
L1	ATTIC ACCESS LADDER	C.F.C.I.	
L2	ROOF ACCESS LADDER	C.F.C.I.	
L3	EXTERIOR ROOF LADDER	C.F.C.I.	

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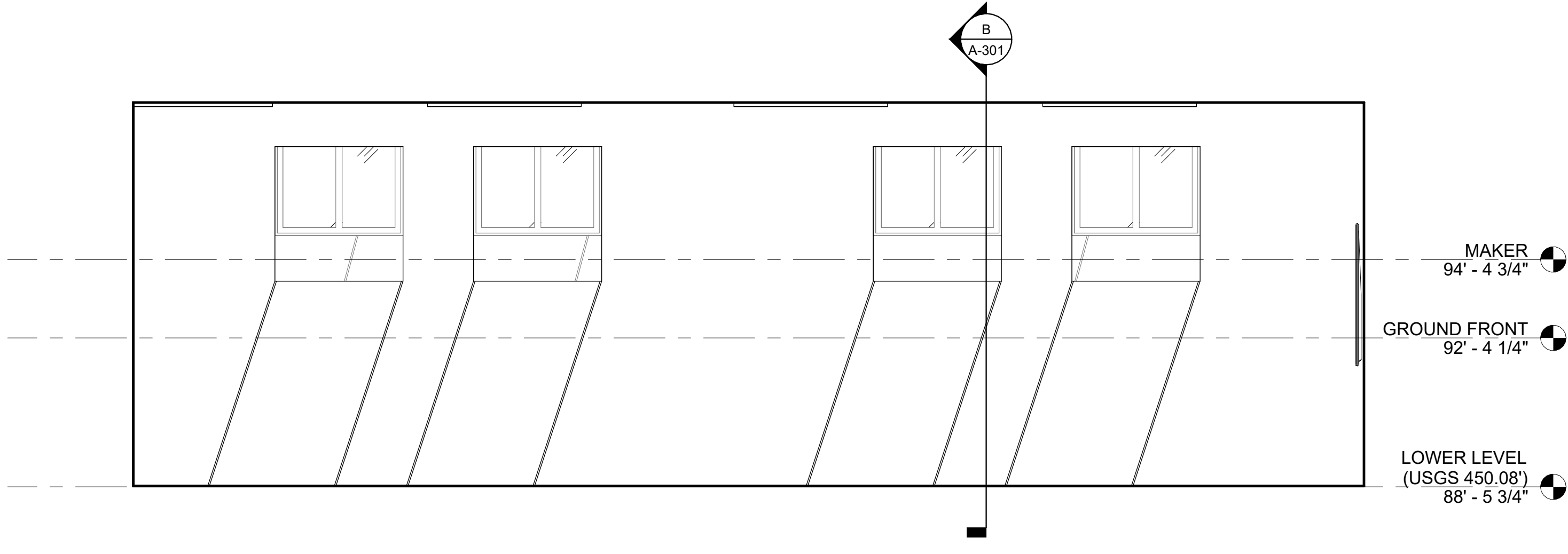
A LARGE MEETING NORTH

3/8" = 1'-0"



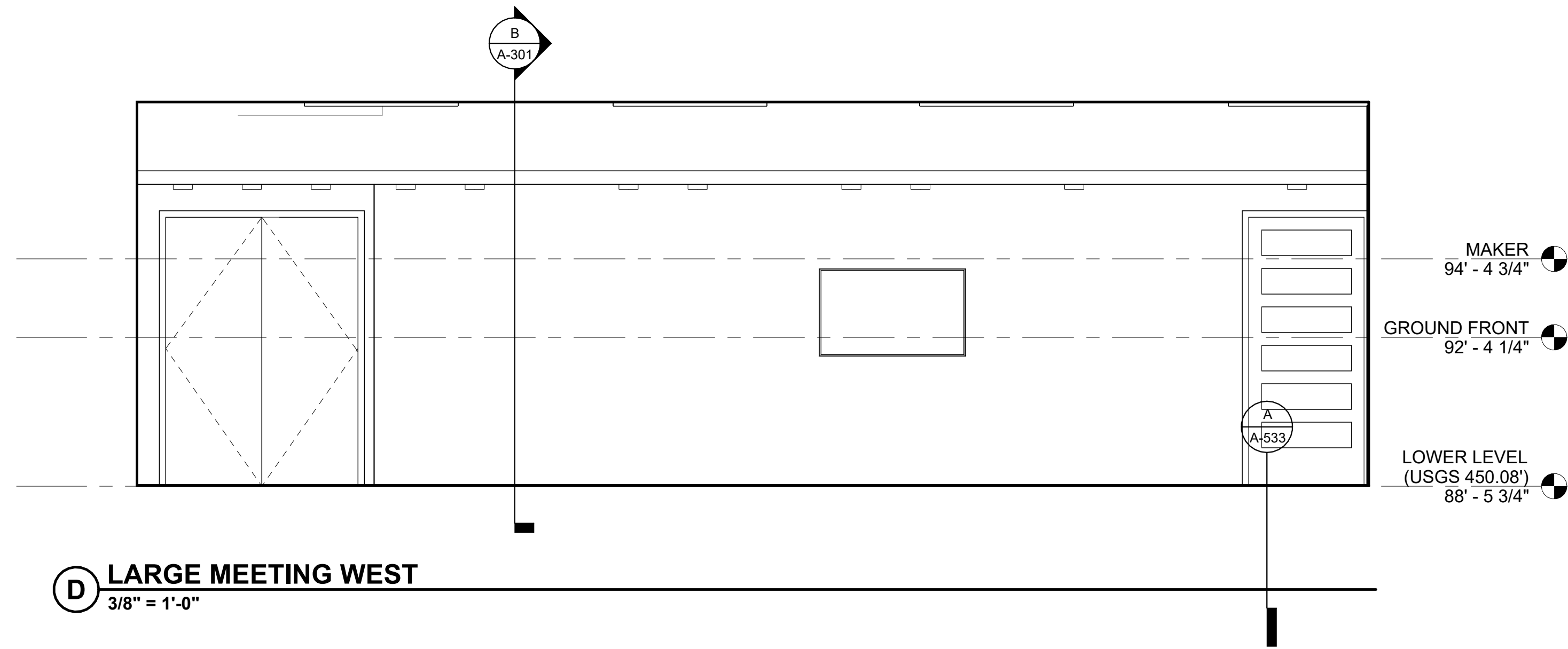
B LARGE MEETING SOUTH

3/8" = 1'-0"



C LARGE MEETING EAST

3/8" = 1'-0"



D LARGE MEETING WEST

3/8" = 1'-0"



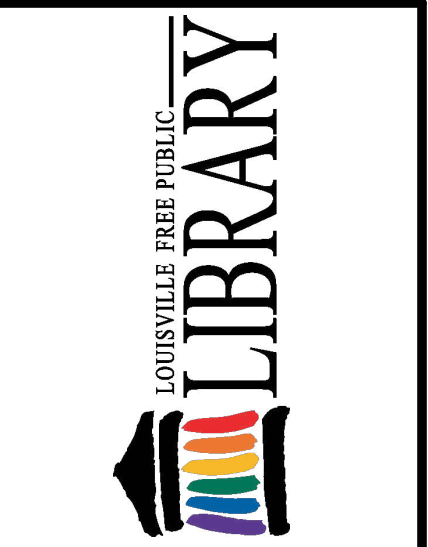
829 E Market Street, Suite B
Louisville, Kentucky 40206
502.583.4697

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CONSTRUCTION DOCUMENTS

PARKLAND BRANCH

2743 VIRGINIA AVENUE
LOUISVILLE, KENTUCKY



ARCHITECTURAL

PROJECT 2022-28
DATE 3/31/23

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INTERIOR ELEVATIONS

A-413

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