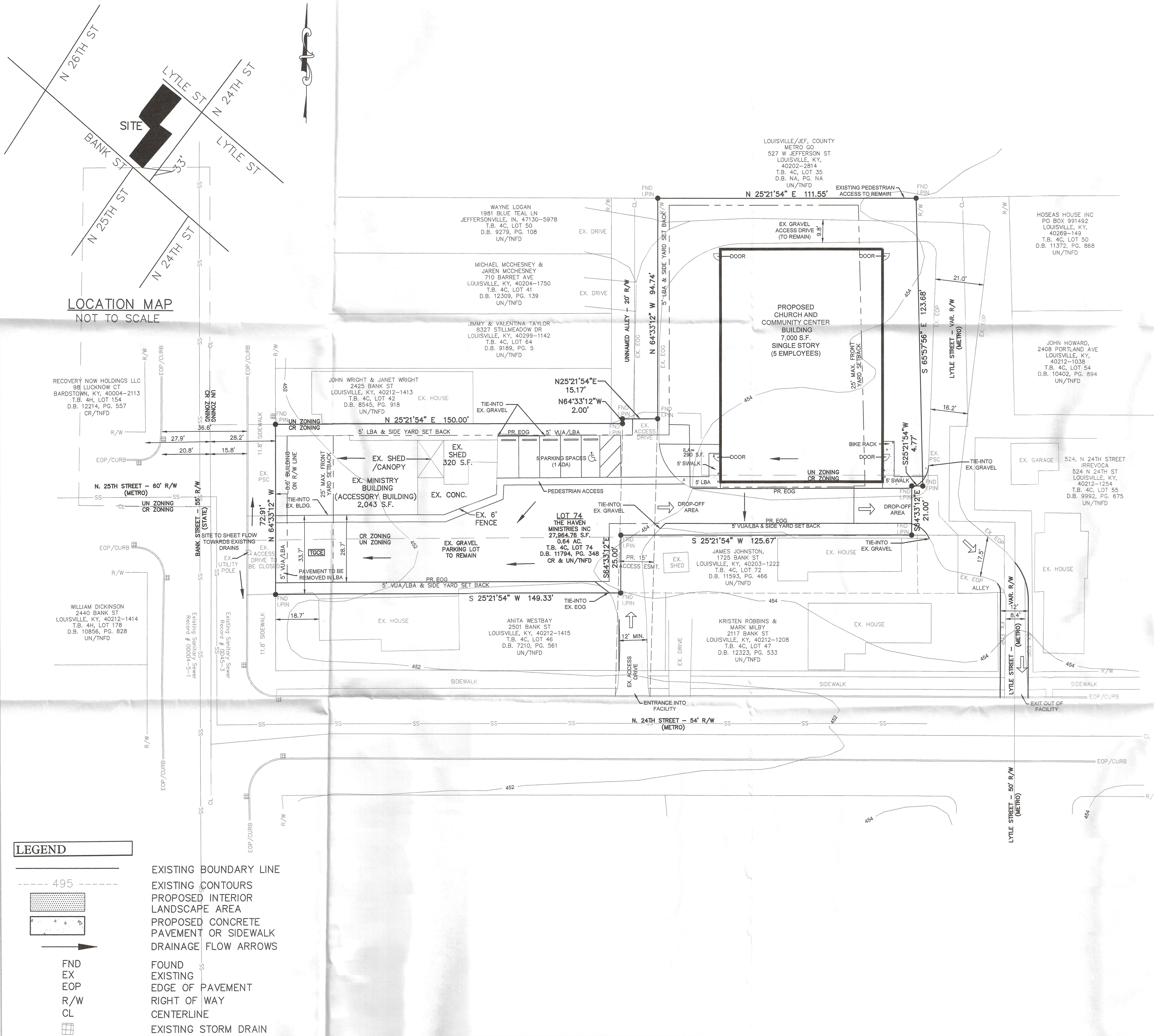




SITE DATA

PROPERTY SIZE	27,964.76 S.F. / 0.64 AC.
EXISTING USE	RESTAURANT
EXISTING ZONING	UN & CR
EXISTING FORM DISTRICT	TRADITIONAL NEIGHBORHOOD
PROPOSED USE	COMMUNITY CENTER AND RESTAURANT
PROPOSED ZONING	UNCHANGED
PROPOSED FORM DISTRICT	UNCHANGED
EXISTING BUILDING SIZES	2,363 S.F. ±
PROPOSED BUILDING SIZE	7,000 S.F. ±
TOTAL BUILDING SIZE	9,363 S.F. ±
FLOOR AREA RATIO (F.A.R.)	0.33 F.A.R. (3.0 MAX. IN CR ZONING & NO RESTRICTION IN UN ZONING)
CR ZONING	
MIN. LOT SIZE	N/A (PROVIDED 27,964.76 S.F.)
MIN. LOT WIDTH	NONE (PROVIDED 72.91')
MIN. FRONT YARD / STREET SIDE YARD SETBACK	15' FRONT YARD / 3' STREET SIDE YARD (PROVIDED 0.0') INFILL DEVELOPMENT
MAX. FRONT YARD	25' (PROVIDED 0.0')
MIN. SIDE YARD	5' (PROVIDED 5' AND 33.7')
MIN. REAR YARD	5' (PROVIDED 183')
MAX. BUILDING HEIGHT	45' (PROVIDED 15', 1 STORY)
UN ZONING	
MIN. LOT SIZE	2,500 S.F. (PROVIDED 27,964.76 S.F.)
MIN. LOT WIDTH	25' (PROVIDED 144.68')
MIN. FRONT YARD / STREET SIDE YARD SETBACK	15' FRONT YARD / 3' STREET SIDE YARD (PROVIDED 15') INFILL DEVELOPMENT
MAX. FRONT YARD	25' (PROVIDED 15')
MIN. SIDE YARD	3' (PROVIDED 21.8' AND 22.8')
MIN. REAR YARD	5' (PROVIDED N/A)
MAX. BUILDING HEIGHT	45' (PROVIDED 25', 1 STORY)
PARKING	
NUMBER OF EMPLOYEES	5 EMPLOYEES
MIN. PARKING SPACES	5 SPACES (1 SPACE/EMPLOYEE)
MAX. PARKING SPACES	10 SPACES (2 SPACES/EMPLOYEE)
PARKING SPACES PROVIDED	5 SPACES (ONSITE)
VEHICLE USE AREA	10,116 S.F.
ILA REQ. (2.5%)	253 S.F.
ILA AREA PROVIDED	280 S.F.
EPSC DATA	
EXISTING IMPERVIOUS AREA	18,377 S.F. (INCLUDES R/W)
PROPOSED IMPERVIOUS AREA	7,999 S.F.
INCREASE IN IMPERVIOUS AREA	30%
SENSITIVE FEATURES	NONE
SOIL TYPE	URBAN LAND
HYDROLOGIC SOIL GROUP	ASSUMED C

RECEIVED
JUL 20 2023
PLANNING & DESIGN SERVICES

WAIVER REQUEST

WAIVER OF 10.2.4 TO NOT PROVIDE INTERNAL LBA

AGENCY NOTES

- MSD
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE, FEDERAL ORDINANCES
 - SANITARY SEWER WILL UTILIZE EXISTING PROPERTY SERVICE CONNECTION AND MAY BE SUBJECT TO FEES AND CHARGES. SEWAGE WILL BE TREATED AT THE MORRIS FORMAN WQTC.
 - THIS SITE IS SUBJECT TO REGIONAL FACILITIES FEES.
 - AN EPSC PLAN SHALL BE DEVELOPED AND APPROVED IN ACCORDANCE WITH MSD DESIGN MANUAL AND STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION PLAN APPROVAL.
 - MSD SITE DISTURBANCE PERMIT REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
 - NO INCREASE OF DRAINAGE ONTO 2501, 2509-2515 BANK STREET, AND 2400-2402 LYTLE STREET PERMITTED. PROJECT SHALL SHEET FLOW TO THE BANK STREET ROW ACROSS THE EXISTING ACCESS DRIVE. CAPACITY OF THE DOWNSTREAM CATCH BASIN MAY BE REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- ARCD
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULAR EMISSION FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- HEALTH DEPARTMENT
- ALL CONSTRUCTION & SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH & WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
 - MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.

- MPW
- ALL DRIVING AND PARKING SURFACES TO BE HARD DURABLE MATERIAL.
 - ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 - CONSTRUCTION PLANS, BOND, AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
 - COMPATIBLE UTILITY LINES SHALL BE PLACED IN COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
 - EXISTING SIDEWALK RECONSTRUCTION AND REPAIRS SHALL BE REQUIRED, AS NECESSARY, TO MEET CURRENT MPW STANDARDS ARE SHALL BE INSPECTED PRIOR TO FINAL BOND RELEASE.
 - KYTC APPROVAL REQUIRED.

- PD
- DUMPSTERS TO BE SCREENED COMPLIANT WITH THE LDC.
 - ALL SIGNAGE SHALL COMPLY WITH CHAPTER 8 OF THE LDC.
 - PRIOR TO REQUESTING A BUILDING PERMIT, A SHARED/CROSSOVER ACCESS EASEMENT IN A FORM ACCEPTABLE TO PLANNING COMMISSION LEGAL COUNSEL SHALL BE CREATED BETWEEN THE ADJACENT PROPERTIES AND RECORDED.
 - STREET TREES TO BE PROVIDED IN ACCORDANCE WITH LAND DEVELOPMENT CODE 10.2.8.

- MPW
- ALL DRIVING AND PARKING SURFACES TO BE HARD DURABLE MATERIAL.
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 - CONSTRUCTION PLANS, BOND, AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
 - COMPATIBLE UTILITY LINES SHALL BE PLACED IN COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
 - EXISTING SIDEWALK RECONSTRUCTION AND REPAIRS SHALL BE REQUIRED, AS NECESSARY, TO MEET CURRENT MPW STANDARDS ARE SHALL BE INSPECTED PRIOR TO FINAL BOND RELEASE.
 - KYTC APPROVAL REQUIRED.

22-CAT3-0012, 23-CUPPA-0194, WM# 12486



Seals

The Haven Ministries
Conditional Use Permit Application
2507 Bank Street
Louisville, Kentucky 40212
Owner:
The Haven Ministries, Inc.
2415 Portland Avenue
Louisville, Kentucky 40212

DESCRIPTION	DATE	REV #

Conditional Use Permit
Job No: 23852.000
Date: July 17, 2023
Scale: 1" = 20'
Drawn By: AWB
Checked By: AWB
Drawing Title:
The Haven Ministries
Conditional Use Permit Application

Drawing No:
1 of 1

22-CAT3-0012