

THIS SITE IS LOCATED IN THE CITY OF ST. MATTHEWS AND SUBJECT TO DEVELOPMENT CODE AS IN EFFECT APRIL, 2001

THERE IS NO NEW CONSTRUCTION ASSOCIATED WITH THIS APPLICATION

CONDITIONAL USE PERMIT GRANTED:

1. A Conditional Use Permit was Granted from Section 5.4.B of St. Matthews Development Code (April 1, 2001) to allow a private proprietary club to operate in the OR-3 zoning district. Additionally relief was granted from the required 30' Conditional Use Permit setback.

VARIANCE GRANTED:

1. A Variance was Granted from Section 9.1.B.1.a of St. Matthews Development Code (April 1, 2001) to allow a 6' privacy fence to exceed the maximum 4' height within the Front Yard Setback.
2. A Variance was Granted from Section 9.1.B.1.a of St. Matthews Development Code (April 1, 2001) to allow a 10' chain link fence to exceed the maximum 4' height within the Street Side Yard Setback.

WAIVER GRANTED:

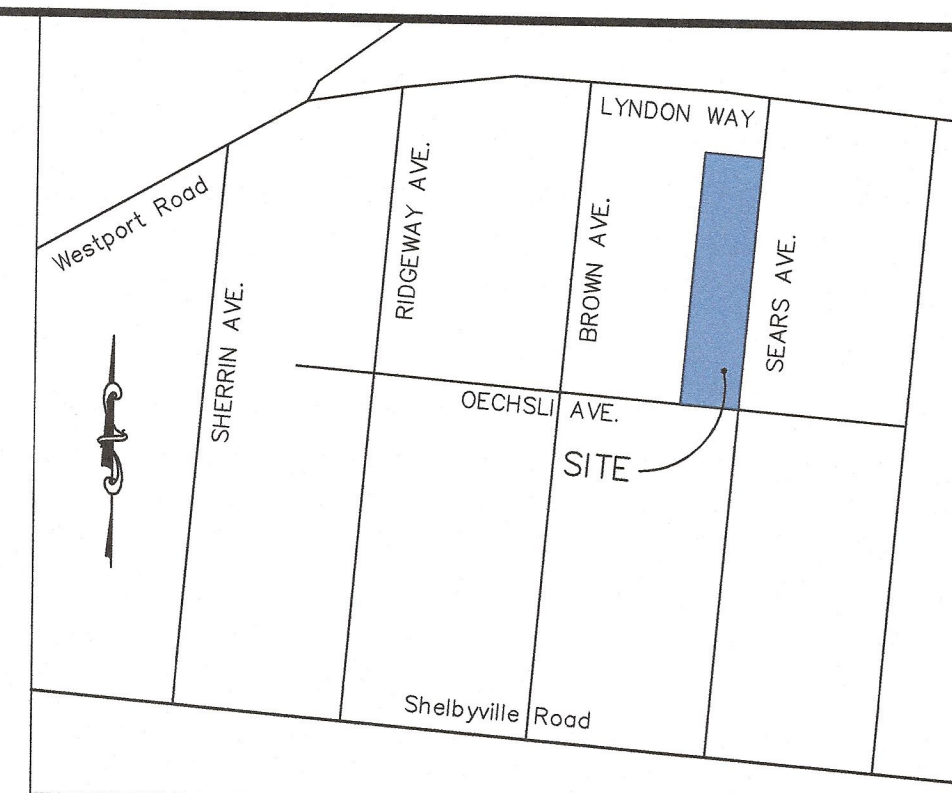
1. A Waiver was Granted from Section 12.C.3 part D.1.(a).1 of St. Matthews Development Code (April 1, 2001) to not provide the required 15' Landscape Buffer and associated plantings along a portion of the west property line and along the north property line currently used by St. Matthews Fire Department.
2. A Waiver was Granted from Section 12.C.3 part D.1.(a).7 of St. Matthews Development Code (April 1, 2001) to not provide the required 4' Landscape Buffer and associated plantings along Sears Avenue and Oechsl Avenue.

CONDITIONAL USE PERMIT REQUESTED:

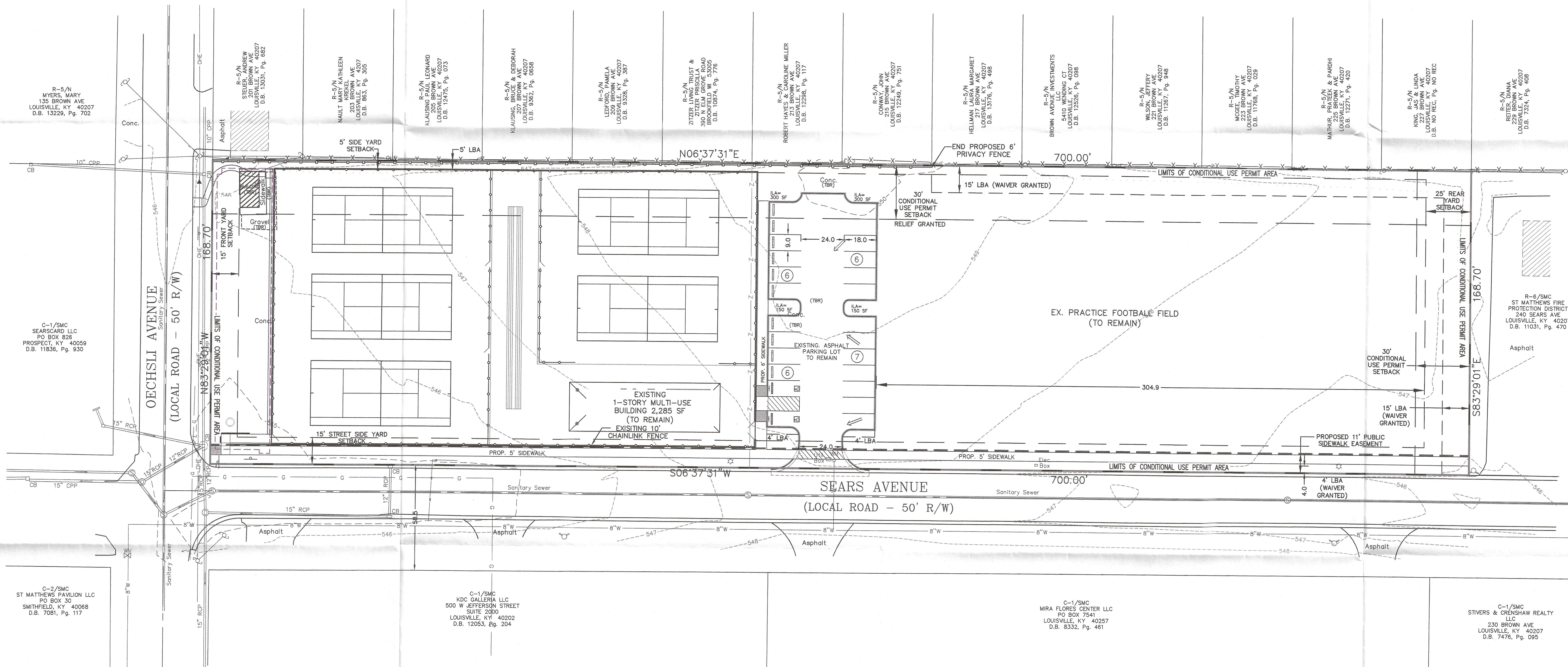
1. A Conditional Use Permit is requested from Section 5.4.B of St. Matthews Development Code (April 1, 2001) to allow Off-Street Parking within the OR-3 zoning district.

PROJECT DATA

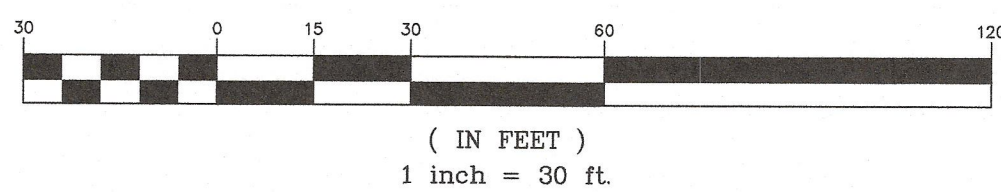
TOTAL SITE AREA = 2.59± Ac. (112,610 SF)
EXISTING ZONING = OR-3
FORM DISTRICT = SUBURBAN MARKETPLACE CORRIDOR
EXISTING USE = TENNIS COURTS / SPORTS PRACTICE FIELDS
PROPOSED USE = TENNIS COURTS / SPORTS PRACTICE FIELDS / OFF STREET PARKING



LOCATION MAP
NOT TO SCALE

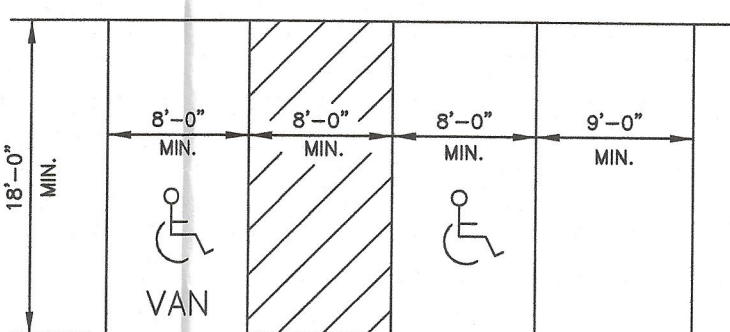


GRAPHIC SCALE



LEGEND

- EX. FENCE
- EXISTING STORM SEWER, CATCH BASIN W/ INLET PROTECTION AND HEADWALL
- EXISTING SEWER AND MANHOLE
- EX. CONTOUR
- PROPOSED DITCH/SWALE
- CONDITIONAL USE PERMIT LIMITS



TYPICAL PARKING SPACE LAYOUT
NO SCALE

SITE ADDRESSES: 150 SEARS AVE
LOUISVILLE, KY 40207
PARCEL ID 025400630000
D.B. 12490, PG. 428

OWNERS: TRINITY HIGH SCHOOL FOUNDATION
4011 SHELBYVILLE ROAD
LOUISVILLE, KY, 40207-3122

RELATED CASES: 9-83-80 / 23-CUP-0010



RECEIVED

JUN 17 2026

OFFICE OF PLANNING

UTILITY NOTE: ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY 811" (TOLL FREE PHONE NO. 1-800-732-6007 OR LOCAL NO. 502-256-5123) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (E.G. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). WHEN CONTACTING THE "KENTUCKY 811" CALL CENTER, PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

WM #12527

REVISIONS	
NO.	DESCRIPTION

PROJECT DATA	
FILE NAME: 21097-2_CUP_Plan	SCALE: 1" = 30'-0"
DATE: 4-17-26	CHECKED BY: TB

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LD&D	LAND DESIGN & DEVELOPMENT, INC.
ENGINEERS • LANDSCAPE ARCHITECTS	505 WESTERN AVENUE, SUITE 400 LOUISVILLE, KY 40202 TEL: 502-444-0276 FAX: 502-444-0274 WEB SITE: WWW.LD-D.COM

CONDITIONAL USE PERMIT PLAN	TRINITY HIGH SCHOOL TENNIS CENTER PARKING
OWNER/DEVELOPER	TRINITY HIGH SCHOOL FOUNDATION
	4011 SHELBYVILLE ROAD LOUISVILLE, KY 40207

JOB NO. 21097	SHEET 1.0
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26 - CUP - 0101